

City of Springfield



Agenda

Land Clearance for Redevelopment Authority

October 7, 2025

4:00 PM

Conference Room 2 - West
Busch Municipal Building
840 N Boonville Avenue,
Springfield, MO

Rules and procedures can be found on the [Agenda Center](#).

1. CALL TO ORDER.

2. ROLL CALL.

3. APPROVAL OF MINUTES.

3.1. Approval of Minutes of August 20, 2025 Meeting.

4. NEW BUSINESS.

4.1. Request for Real Property Tax Abatement for Redevelopment Project inside the Grant Avenue Parkway Redevelopment Area located at 1073 South Grant Avenue. HMNT Investments, LLC, applicant.

https://www1.springfieldmo.gov/bills_pdfs/ord27777.pdf

4.2. Request for Real Property Tax Abatement for Redevelopment Project inside the Grant Avenue Parkway Redevelopment Area located at 1112 South Grant Avenue. HMNT Investments, LLC, applicant.

4.3. Request for Real Property Tax Abatement for Redevelopment Project inside the Grant Avenue Parkway Redevelopment Area located at 505 West Grand Street. Valiant Group, applicant.

5. ADJOURN.

[ADA-STMT]

Springfield Land Clearance for Redevelopment Authority

**Tuesday, August 20, 2025, at 4:00 PM
Conference Room 2-West
Busch Municipal Building
840 N Boonville Ave, Springfield, MO**

Minutes

1. Call to Order

2. Roll Call

Present: Ryan Cosby, Ben Edmondson, and Steve Jackson
Staff: Matt Schaefer, Kyle Tolbert, and Judy White,
Others Present: *Brandon Dickman*

3. Approval of Minutes

Ben Edmondson made a motion to approve. Steve Jackson seconded the motion. Motion carried (3-0).

4. New Business

- a. Request for Real Property Tax Abatement for Redevelopment Project inside the Hampton-Florence Redevelopment Area located at 315, 319, 323, and 327 South Florence Avenue and 316, 320, and 324 South Hampton Avenue. Soflo, LLC, applicant.

Steve Jackson made a motion to approve the Tax Abatement for Redevelopment Project inside the Hampton-Florence Redevelopment Area. Ryan Cosby seconded the motion. Motion carried (3-0)

5. Adjourn @ 4:05 p.m.





EXPLANATION TO REQUEST FOR REAL PROPERTY TAX ABATEMENT FOR REDEVE

FILED: 10/01/2025

ORIGINATING DEPARTMENT: Economic Vitality

TITLE:

PURPOSE:

BACKGROUND INFORMATION:

Submitted By:

Authorized for inclusion on the agenda pursuant to City Code section 2-33:
Maurice S. Jones, Deputy City Manager

Attachments: 1. The Glade - 1073 S Grant Ave



Land Clearance for Redevelopment Authority Application for Real Property Tax Abatement

Sections 99.700-99.715, RSMo
Chapter 40, Article II, Springfield City Code

Property Address: 1073 S Grant


Redevelopment Area: Grant Avenue Parkway

Applicant/Developer

Name:	<u>Morelock Builders + Associates</u>		
Mailing Address:	<u>722 W Olive Street, Springfield MO 65806</u>		
Telephone:	<u>417-864-6661</u>	E-Mail:	<u>cwebster@morelockbuilders.com</u>

Property Owner

Name:	<u>HMNT Investments LLC</u>		
Contact Person:	<u>Wayne Morelock</u>		
Mailing Address:	<u>722 W Olive Street, Springfield MO 65806</u>		
Telephone:	<u>417 864-6661</u>	E-Mail:	<u>wayne@morelockbuilders.com</u>

Applicant/Developer Signature: 

Printed Name and Title: Crystal Webster, CEO Date: 9/18/25

Required Attachments:

- \$637 application fee (payable to the City of Springfield).
- Legal description of project.
- Narrative identifying the scope of the project.
- Site plan and floor plans.
- Concept plan and/or renderings, if available.
- Narrative describing relationship of project to the adopted redevelopment plan.
- If project is in the Downtown Redevelopment Area, please see additional requirements on page 2 of this application.

LEGAL DESCRIPTION – 1073 South Grant

A TRACT OF LAND BEING ALL OF LOTS 1 AND 2 OF GRANT-DOUGLAS A SUBDIVISION IN THE CITY OF SPRINGFIELD, GREENE COUNTY, MISSOURI AS RECORDED IN PLAT BOOK U AT PAGE 4 AND ALSO DESCRIBED IN BOOK 2021 AT PAGE 046145-21 AND SAID TRACT BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT THE NORTHWEST CORNER OF LOT 1 OF GRANT-DOUGLAS ADDITION, A SUBDIVISION IN THE CITY OF SPRINGFIELD, GREENE COUNTY, MISSOURI AND RECORDED IN THE GREENE COUNTY RECORDER'S OFFICE IN BOOK U AT PAGE 4 SAID POINT ALSO LYING ON THE EAST RIGHT-OF-WAY OF DOUGLAS AVENUE; THENCE ALONG THE NORTH LINE OF SAID LOT 1, SOUTH 88°54'01" EAST, 319.58 FEET TO A POINT LYING ON THE WEST RIGHT-OF-WAY OF GRANT AVENUE; THENCE LEAVING SAID NORTH LINE AND ALONG SAID WEST RIGHT-OF-WAY, SOUTH 02°06'39" WEST, 199.94 FEET TO THE SOUTHEAST CORNER OF LOT 2 OF SAID GRANT-DOUGLAS SUBDIVISION; THENCE LEAVING SAID WEST RIGHT-OF-WAY AND ALONG THE SOUTH LINE OF SAID LOT 2, NORTH 88°52'29" WEST, 319.38 FEET TO A POINT LYING ON THE AFOREMENTIONED EAST RIGHT-OF-WAY OF DOUGLAS AVENUE; THENCE LEAVING SAID SOUTH LINE AND ALONG SAID EAST RIGHT-OF-WAY, NORTH 02°03'12" EAST, 199.80 FEET TO THE POINT OF BEGINNING. ALL LYING IN THE NORTH HALF OF THE NORTHEAST QUARTER OF SECTION 26, TOWNSHIP 29 NORTH, RANGE 22 WEST, IN THE CITY OF SPRINGFIELD, GREENE, COUNTY, MISSOURI. CONTAINING 1.47 ACRES, MORE OR LESS. BEARINGS BASED ON GRID NORTH OF THE MISSOURI COORDINATE SYSTEM OF 1983, CENTRAL ZONE.

Narrative Identifying the Scope of the Project

This project consists of a newly constructed multi-family development **1073 S. Grant** - planned, financed, and executed as a **redevelopment investment** to bring new housing and economic activity to the Grant Avenue corridor in Springfield Missouri. The property represents a **total of 42 residential units** and over **43,000 square feet of new housing**:

- **1073 S. Grant** – 43,878 SF; 27 one-bedroom, 9 two-bedroom, and 6 studio apartments (42 total units). Currently **under construction** with anticipated completion in December.

The buildings are designed to bring modern, energy-efficient housing options to a high-visibility corridor, with ADA-compliant units, bike- and pedestrian-friendly access, and proximity to Springfield's urban core. The development fills a critical market need as the only active multi-family project currently under construction in Springfield, helping address housing demand, support workforce retention, and catalyze additional private investment.

SITE PLAN + FLOOR PLANS (see attached)

CONCEPT PLAN and/or renderings (see attached)

Narrative Describing Relationship of Project to the Adopted Redevelopment Plan

The Glade is strategically located within the **Grant Avenue Parkway Redevelopment Plan boundary**, a city-led initiative to transform Grant Avenue into a vibrant, pedestrian- and bicycle-friendly spine connecting Downtown Springfield to key destinations like Bass Pro Shops, Wonders of Wildlife, and surrounding neighborhoods. This \$26 million infrastructure and streetscape investment—along with new zoning incentives—was adopted by the City of Springfield to attract **private development, stimulate reinvestment, and revitalize adjacent properties.**

Our project directly supports these objectives by:






- Activating underutilized parcels with high-density, market-rate multi-family housing.
- Delivering 42 modern units within walking distance of downtown, supporting Springfield’s urban living and workforce housing goals.
- Aligning with the City’s corridor placemaking vision, complementing investments like underground utility relocation, widened sidewalks, bike lanes, and enhanced landscaping.
- Demonstrating a public-private partnership success story, where substantial public infrastructure improvements are leveraged to attract meaningful private-sector development.
- Complying with GAP district regulations adopted to implement the GAP redevelopment plan.

In summary, this multi-family building serves as a cornerstone project within the Grant Avenue Parkway revitalization corridor, illustrating the redevelopment plan’s goal of transforming Grant Avenue into a thriving, connected, and economically vibrant urban corridor.

The project complies with the redevelopment plan and was permitted following development review to the standards required by the redevelopment plan. By virtue of being permitted, the project is in conformance with and zoned within the GAP district and meets all requirements of abatement.

The project is NOT in the Downtown Redevelopment Area ... it is a separate corridor-focused redevelopment zone. This corridor includes area-specific improvements, zoning overlays, and incentives aimed at revitalizing Grant Avenue.

EXTERIOR ELEVATION LEGEND

-  FIBER CEMENT SIDING
TEXTURE: SMOOTH
SEE SPECIFICATIONS FOR MORE INFORMATION
-  FIBER CEMENT PANEL
TEXTURE: SMOOTH
SEE SPECIFICATIONS FOR MORE INFORMATION
-  STUCCO
TEXTURE: LIGHT SAND
SEE SPECIFICATIONS FOR MORE INFORMATION
-  STUCCO
TEXTURE: LIGHT SAND
SEE SPECIFICATIONS FOR MORE INFORMATION
-  BRICK VENEER
SIZE: MODULAR
PATTERN: RUNNING BOND
SEE SPECIFICATIONS FOR MORE INFORMATION

APPROVED
FOR CONSTRUCTION BY THE CITY OF SPRINGFIELD, MO
BUILDING OFFICIAL
REVIEWED FOR COMPLIANCE WITH THE CITY CODE, CODES, ORDINANCES, STANDARDS, REGULATIONS AND DESIGN STANDARDS. THIS REVIEW AND APPROVAL DOES NOT RELIEVE THE DEVELOPER OR HIS AGENTS OF ANY RESPONSIBILITY FOR COMPLIANCE WITH ALL APPLICABLE REQUIREMENTS, OR ADDRESS OR OVERRULE THE REQUIREMENTS OF OTHER JURISDICTIONS OR AGENCIES, UNLESS SPECIFICALLY NOTED OTHERWISE.

OWNER:
HMNT INVESTMENTS, LLC
722-B W. OLIVE ST
SPRINGFIELD, MO 65806
(417) 664-6561
7/3/2024

SIGNATURE _____ DATE _____
PRJ2023-01956

PROJECT TEAM

CIVIL ENGINEER
OWN ENGINEERING
3213 SOUTH WEST BYPASS
SPRINGFIELD, MO 65807
(417) 866-2741

STRUCTURAL ENGINEER
PINNACLE DESIGN CONSULTANTS
304 W. ERIE STREET
SPRINGFIELD MO, 65807
(417) 501-8820

MEP ENGINEER
CJD ENGINEERING
2225 W. CHESTERFIELD ST. SUITE 200,
SPRINGFIELD, MO 65807
(417) 877-1700

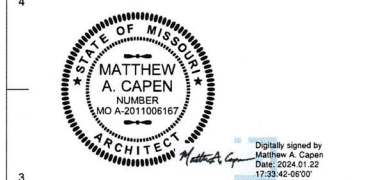
INTERIOR DESIGNER
CREATIVE DESIGN CONSULTANTS
1513 E. WALNUT STREET
SPRINGFIELD, MO 65802
(417) 886-4258

REVISIONS

NO.	DESCRIPTION	DATE
1	ADDENDUM #1	1/22/2024

PROJECT NO.: 23-036 DRAWN BY: HDG
DATE: 11.02.2023 REVIEWED BY: HDG

PROFESSIONAL SEAL
MATTHEW A. CAPEN
PROFESSIONAL TITLE: ARCHITECT
MO# A-2011006187



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PROJECT TITLE
1051 S. GRANT AVENUE DEVELOPMENT

PROJECT ADDRESS:
1051 S. GRANT AVE
SPRINGFIELD, MISSOURI 65807

OVERALL EXTERIOR ELEVATIONS

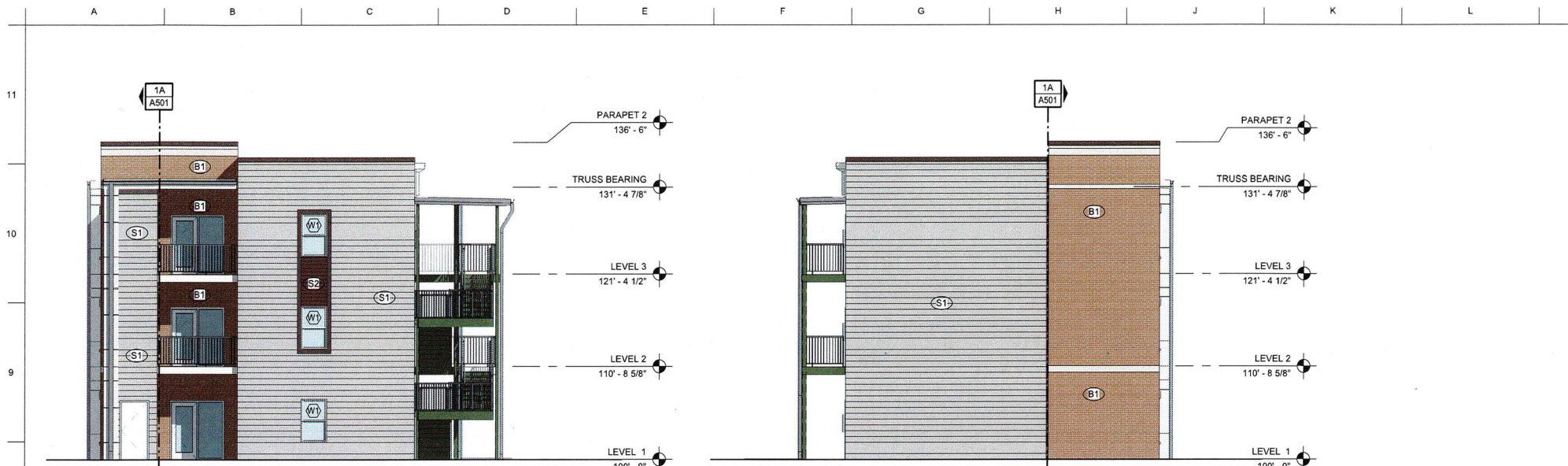


9A OVERALL EAST ELEVATION
A401 scale: 1/16" = 1'-0"

6A OVERALL WEST ELEVATION
A401 scale: 1/16" = 1'-0"

4A OVERALL SOUTH ELEVATION
A401 scale: 1/16" = 1'-0"

1A OVERALL NORTH ELEVATION
A401 scale: 1/16" = 1'-0"



8A AREA A - WEST ELEVATION
A402 scale: 1/8" = 1'-0"

8F AREA A - EAST ELEVATION
A402 scale: 1/8" = 1'-0"



4A AREA A - SOUTH ELEVATION
A402 scale: 1/8" = 1'-0"

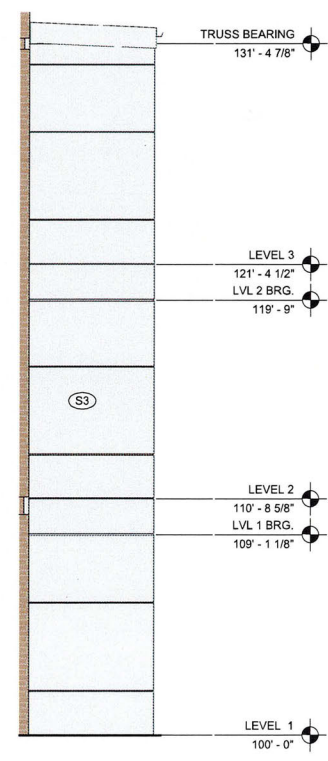


1A AREA A - NORTH ELEVATION
A402 scale: 1/8" = 1'-0"

EXTERIOR ELEVATION LEGEND

- FIBER CEMENT SIDING
TEXTURE: SMOOTH
SEE SPECIFICATIONS FOR MORE INFORMATION
- FIBER CEMENT PANEL
TEXTURE: SMOOTH
SEE SPECIFICATIONS FOR MORE INFORMATION
- STUCCO
TEXTURE: LIGHT SAND
SEE SPECIFICATIONS FOR MORE INFORMATION
- STUCCO
TEXTURE: LIGHT SAND
SEE SPECIFICATIONS FOR MORE INFORMATION
- BRICK VENEER
SIZE: MODULAR
PATTERN: RUNNING BOND
SEE SPECIFICATIONS FOR MORE INFORMATION

1M FIBER CEMENT (S-2) DETAIL
A402 scale: 1/4" = 1'-0"



APPROVED
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BUILDING OFFICIAL
REVIEWED FOR COMPLIANCE WITH THE CITY CODE, ZONING ORDINANCES, AND DESIGN STANDARDS. THIS REVIEW AND APPROVAL DOES NOT RELIEVE THE DEVELOPER OR HIS AGENTS OF ANY RESPONSIBILITY FOR COMPLIANCE WITH ALL APPLICABLE REQUIREMENTS, OR ADDRESS OR OVERRULE THE REQUIREMENTS OF OTHER JURISDICTIONS OR AGENCIES, UNLESS SPECIFICALLY NOTED OTHERWISE.

OWNER
HUNT INVESTMENTS, LLC
722-B W. OLIVE ST.
SPRINGFIELD, MO 65806
417-664-6561
7/3/2024
SIGNATURE: _____ DATE: _____
PRJ/2023-01956

PROJECT TEAM
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OWN ENGINEERING
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STRUCTURAL ENGINEER
PINNACLE DESIGN CONSULTANTS
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




PROJECT ADDRESS:
1051 S. GRANT AVE
SPRINGFIELD, MISSOURI 65807

AREA A - EXTERIOR ELEVATIONS



A B C D E F G H J K L M N P Q

EXTERIOR ELEVATION LEGEND

- FIBER CEMENT SIDING
TEXTURE: SMOOTH
SEE SPECIFICATIONS FOR MORE INFORMATION

- FIBER CEMENT PANEL
TEXTURE: SMOOTH
SEE SPECIFICATIONS FOR MORE INFORMATION

- STUCCO
TEXTURE: LIGHT SAND
SEE SPECIFICATIONS FOR MORE INFORMATION

- STUCCO
TEXTURE: LIGHT SAND
SEE SPECIFICATIONS FOR MORE INFORMATION

- BRICK VENEER
SIZE: MODULAR
PATTERN: RUNNING BOND
SEE SPECIFICATIONS FOR MORE INFORMATION


APPROVED
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BUILDING OFFICIAL
Matthew A. Capen
REVIEWED FOR COMPLIANCE WITH THE CITY OF SPRINGFIELD BUILDING CODE, FIRE ORDINANCE AND DESIGN STANDARDS. THIS REVIEW AND APPROVAL DOES NOT RELIEVE THE DEVELOPER OR HIS AGENTS OF ANY RESPONSIBILITY FOR COMPLIANCE WITH ALL APPLICABLE REQUIREMENTS, OR ADDRESS OR OVERHAUL THE REQUIREMENTS OF OTHER JURISDICTIONS OR AGENCIES, UNLESS SPECIFICALLY NOTED OTHERWISE.
OWNER: HUNT INVESTMENTS, LLC
722-B W. OLIVE ST.
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SIGNATURE: [Signature] DATE: [Date]
PRJ2023-01956

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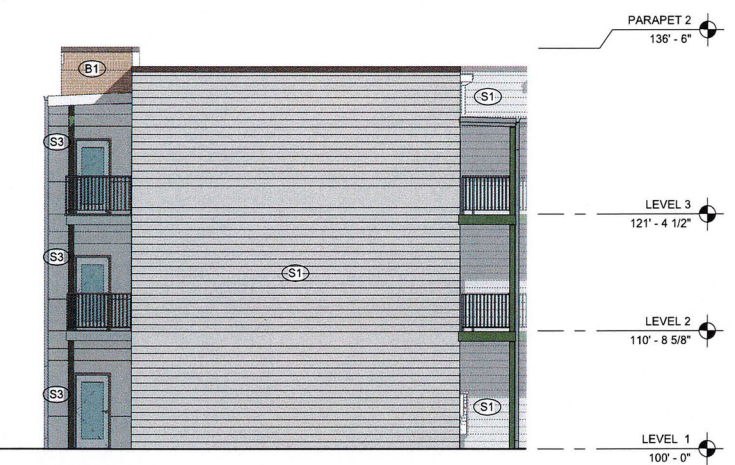
PROJECT NO.: 23-036 DRAWN BY: HDG
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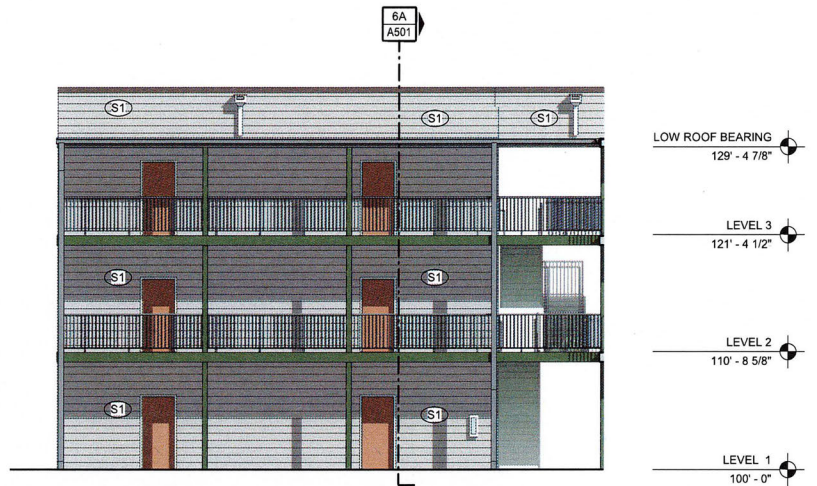
Digitally signed by Matthew A. Capen
Date: 2024.01.22 18:13:05-06'00'

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SPRINGFIELD, MISSOURI 65807

AREA B - EXTERIOR ELEVATIONS
SHEET
A403



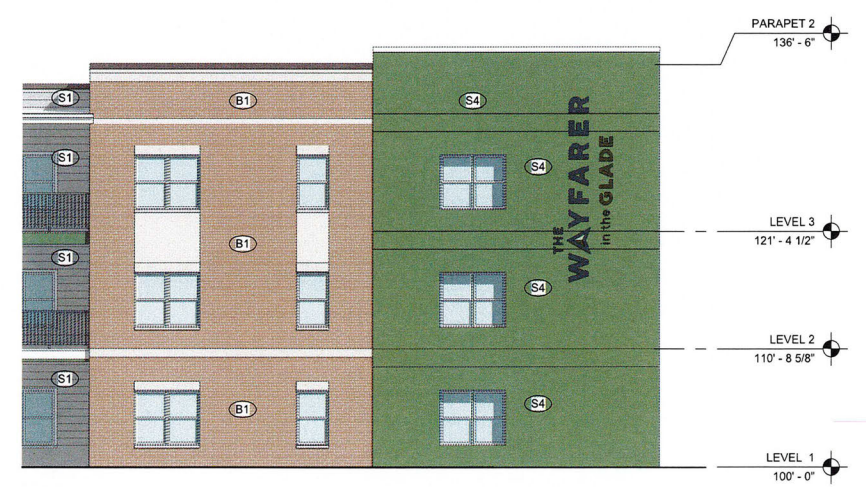
5A AREA B - WEST ELEVATION
A403 scale: 1/8" = 1'-0"



5F AREA B - SOUTH ELEVATION
A403 scale: 1/8" = 1'-0"




1A AREA B - NORTH ELEVATION
A403 scale: 1/8" = 1'-0"





1J AREA B - EAST ELEVATION
A403 scale: 1/8" = 1'-0"


A B C D E F G H J K L M N P Q


EXTERIOR ELEVATION LEGEND

- 

FIBER CEMENT SIDING
TEXTURE: SMOOTH
SEE SPECIFICATIONS FOR MORE INFORMATION
- 

FIBER CEMENT PANEL
TEXTURE: SMOOTH
SEE SPECIFICATIONS FOR MORE INFORMATION
- 

STUCCO
TEXTURE: LIGHT SAND
SEE SPECIFICATIONS FOR MORE INFORMATION
- 

STUCCO
TEXTURE: LIGHT SAND
SEE SPECIFICATIONS FOR MORE INFORMATION
- 

BRICK VENEER
SIZE: MODULAR
PATTERN: RUNNING BOND
SEE SPECIFICATIONS FOR MORE INFORMATION

APPROVED
FOR CONSTRUCTION BY THE CITY OF SPRINGFIELD, MO
BUILDING OFFICIAL
REVIEWED FOR COMPLIANCE WITH THE CITY CODE, CODE BOOKS, BUILDING CODES, FIRE ORDINANCES AND DESIGN STANDARDS. THIS REVIEW AND APPROVAL DOES NOT RELIEVE THE DEVELOPER OR HIS AGENTS OF ANY RESPONSIBILITY FOR COMPLIANCE WITH ALL APPLICABLE REQUIREMENTS, LOCAL ORDINANCES OR OVERRULE THE REQUIREMENTS OF OTHER JURISDICTIONS OR AGENCIES, UNLESS SPECIFICALLY NOTED OTHERWISE.

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7/3/2024
SIGNATURE DATE
PRJ2023-01956

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(417) 866-4258

REVISIONS

NO.	DESCRIPTION	DATE
1	ADDENDUM #1	1/22/2024

PROJECT NO.: 23-036 DRAWN BY: HDG
DATE: 11.02.2023 REVIEWED BY: HDG

PROFESSIONAL SEAL
MATTHEW A. CAPEN
PROFESSIONAL TITLE: ARCHITECT
MO# A-2011006187

MATTHEW A. CAPEN
ARCHITECT
MO# A-2011006187

Digitally signed by Matthew A. Capen
Date: 2024.01.22
17:34:13-06'00'

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PROJECT TITLE
1051 S. GRANT AVENUE DEVELOPMENT

PROJECT ADDRESS:
1051 S. GRANT AVE
SPRINGFIELD, MISSOURI 65807

AREA C - EXTERIOR ELEVATIONS

ADD-01 SHEET
A404



1L AREA C - SOUTH ELEVATION
A404 scale: 1/8" = 1'-0"



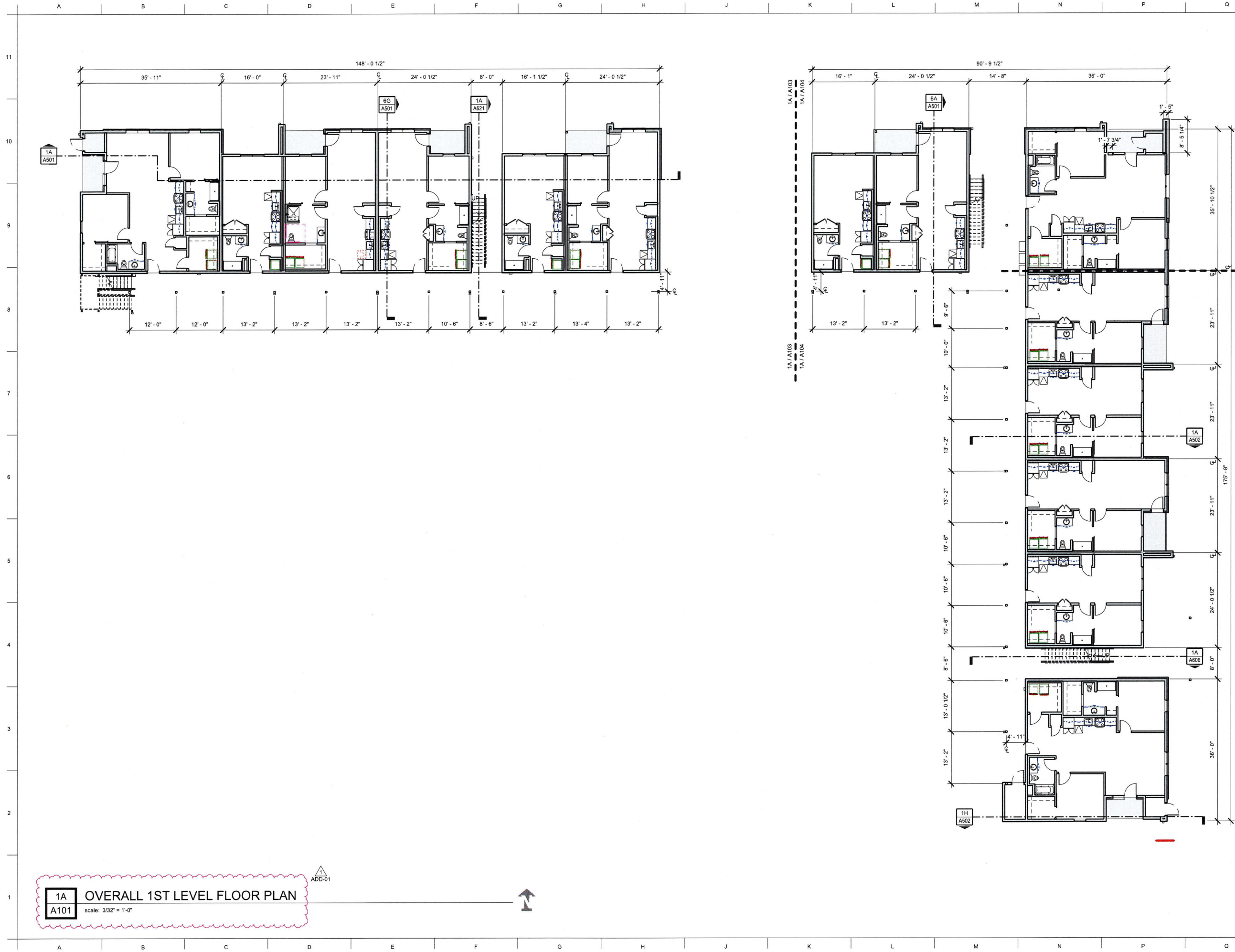
8G WINDOW ELEVATION DETAIL
A404 scale: 1/4" = 1'-0"



4A AREA C - WEST ELEVATION
A404 scale: 1/8" = 1'-0"



1A AREA C - EAST ELEVATION
A404 scale: 1/8" = 1'-0"



APPROVED
 FOR CONSTRUCTION BY THE CITY OF SPRINGFIELD, MO
BUILDING OFFICIAL
H DESIGN GROUP
 REVIEWED FOR COMPLIANCE WITH THE CITY OF SPRINGFIELD
 BUILDING CODES, THE ORDINANCE AND DESIGN
 STANDARDS. THIS REVIEW AND APPROVAL DOES NOT RELIEVE
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 ADDRESS OR OVERRULE THE REQUIREMENTS OF OTHER
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OWNER
THUNT INVESTMENTS, LLC
 722-B W. OLIVE ST.
 SPRINGFIELD, MO 65806 7/3/2024
 417-866-6361

SIGNATURE _____ **DATE** _____
 PRJ2023-01956

PROJECT TEAM
CIVIL ENGINEER
 OWN ENGINEERING
 3215 SOUTH WEST BYPASS
 SPRINGFIELD, MO 65807
 (417) 866-2741
STRUCTURAL ENGINEER
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MEP ENGINEER
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 2225 W. CHESTERFIELD ST. SUITE 200,
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INTERIOR DESIGNER
 CREATIVE DESIGN CONSULTANTS
 1513 E. WALNUT STREET
 SPRINGFIELD, MO 65802
 (417) 866-4258

REVISIONS

NO.	DESCRIPTION	DATE
1	ADDENDUM #1	1/22/2024

PROJECT NO.: 23-036 DRAWN BY: HDG
 DATE: 11.02.2023 REVIEWED BY: HDG

PROFESSIONAL SEAL
 MATTHEW A. CAPEN
 PROFESSIONAL TITLE: ARCHITECT
 MO# A-2011006187



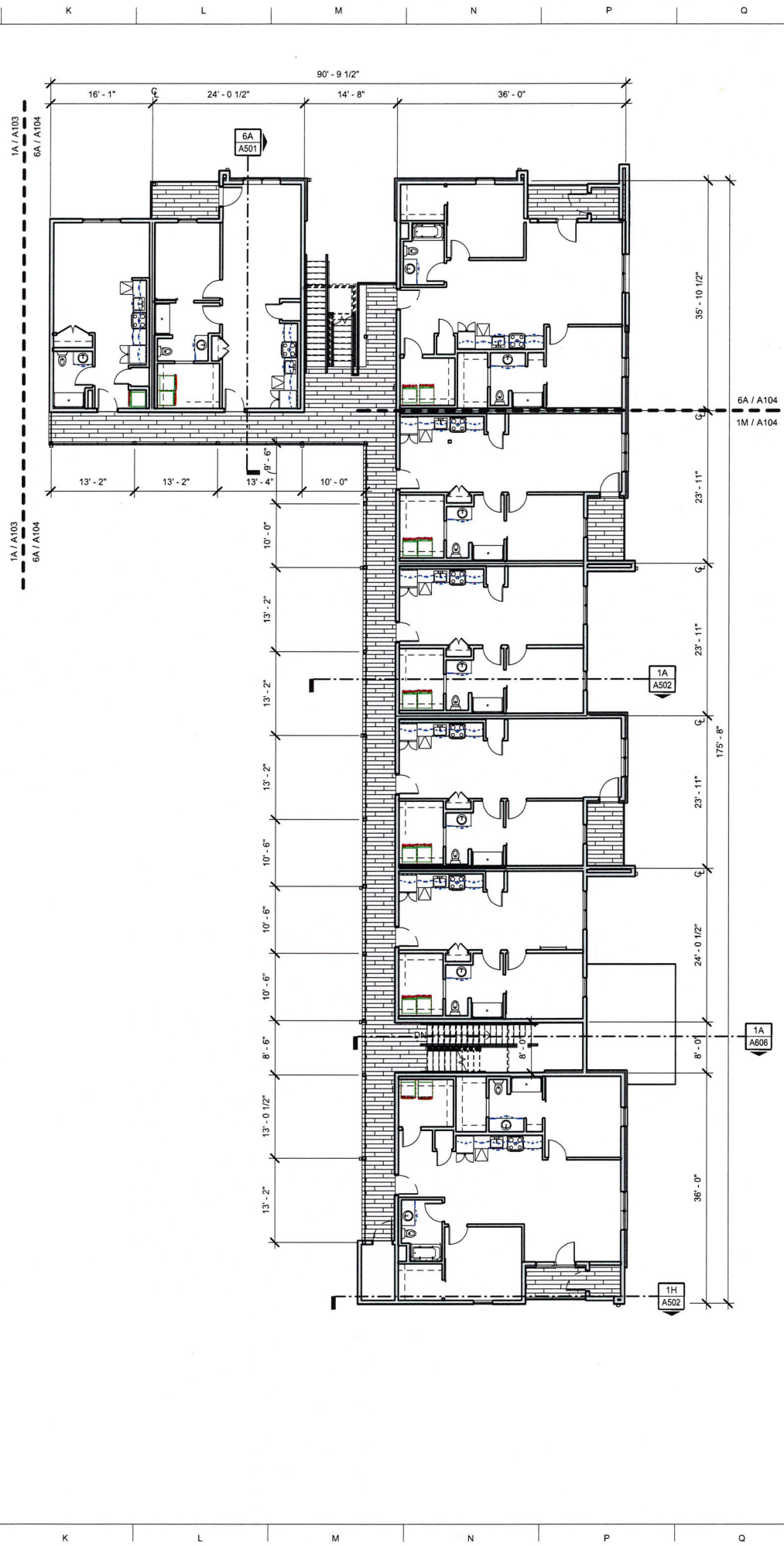
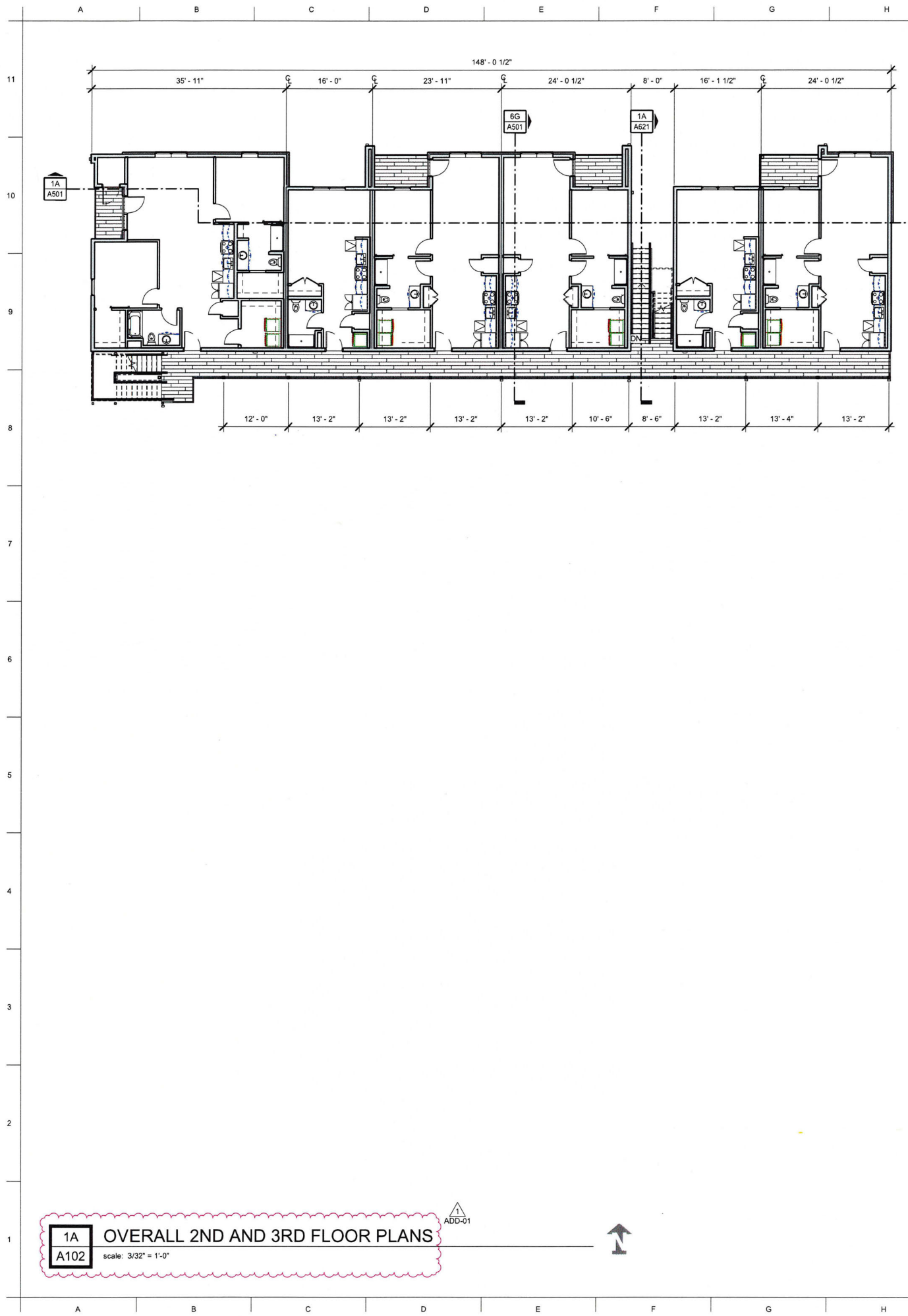
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PROJECT TITLE
1051 S. GRANT AVENUE DEVELOPMENT
 PROJECT ADDRESS:
 1051 S. GRANT AVE
 SPRINGFIELD, MISSOURI 65807

OVERALL 1ST LEVEL FLOOR PLAN

SHEET
A101

1A OVERALL 1ST LEVEL FLOOR PLAN
 A101 scale: 3/32" = 1'-0"



1A OVERALL 2ND AND 3RD FLOOR PLANS
A102 scale: 3/32" = 1'-0"

ADD-01



APPROVED
 FOR CONSTRUCTION BY THE CITY OF SPRINGFIELD, MO
 BUILDING OFFICIAL
 H DESIGN GROUP
 1107 W. UNIVERSITY AVENUE
 SPRINGFIELD, MO 65802

REVIEWED FOR COMPLIANCE WITH THE CITY OF SPRINGFIELD BUILDING CODES, ZONING ORDINANCE AND DESIGN STANDARDS. THIS REVIEW AND APPROVAL DOES NOT RELIEVE THE DEVELOPER OR HIS AGENTS OF ANY RESPONSIBILITY FOR COMPLIANCE WITH ALL APPLICABLE REQUIREMENTS, OR ADDRESS OR OVERTAKE THE REQUIREMENTS OF OTHER JURISDICTIONS OR AGENCIES, UNLESS SPECIFICALLY NOTED OTHERWISE.
 OWNER
MINT INVESTMENTS, LLC
 722-B W. OLIVE ST
 SPRINGFIELD, MO 65806 7/3/2024
 (417) 864-6561
 SIGNATURE DATE
 PRJ2023-01956

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 PINNACLE DESIGN CONSULTANTS
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REVISIONS

NO.	DESCRIPTION	DATE
1	ADDENDUM #1	1/22/2024

PROJECT NO.: 23-036 DRAWN BY: HDG
 DATE: 11.02.2023 REVIEWED BY: HDG

PROFESSIONAL SEAL
 MATTHEW A. CAPEN
 PROFESSIONAL TITLE: ARCHITECT
 MO# A-2011006187



"Digitally signed by Matthew A. Capen Date: 2024.01.22 17:36:07-06'00"

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PROJECT TITLE
 1051 S. GRANT AVENUE DEVELOPMENT

PROJECT ADDRESS:
 1051 S. GRANT AVE
 SPRINGFIELD, MISSOURI 65807

OVERALL 2ND AND 3RD LEVEL FLOOR PLANS

APPROVED
FOR CONSTRUCTION BY THE CITY OF SPRINGFIELD, MO
BUILDING OFFICIAL
H DESIGN GROUP
 REVIEWER FOR COMPLIANCE WITH THE CITY CODE, CODES, RULES,
 REGULATIONS, ORDINANCES AND DESIGN
STANDARDS. THIS REVIEW AND APPROVAL DOES NOT RELIEVE
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ADDRESS OR OVERRULE THE REQUIREMENTS OF OTHER
JURISDICTIONS OR AGENCIES, UNLESS SPECIFICALLY NOTED

GENERAL NOTES - FLOOR PLAN

1. ALL DIMENSIONS INDICATED IN CONTRACT DOCUMENTS ARE FROM FACE OF STUD FOR INTERIOR PARTITIONS, FACE OF EXISTING STRUCTURE OR FINISH, FACE OF CONCRETE OR BLOCK, OR TO STRUCTURAL LINE, EXCEPT AS NOTED OTHERWISE. DIMENSIONS OF EXISTING STRUCTURE, ETC. ARE +/- AND SHOULD BE FIELD VERIFIED PRIOR TO COMMENCEMENT OF WORK AND ARCHITECT NOTIFIED OF ANY DISCREPANCIES.
2. EQUIPMENT SHOWN ON THIS PLAN IS FOR REFERENCE ONLY. SEE EQUIPMENT, MECHANICAL, PLUMBING, AND/OR ELECTRICAL PLANS FOR ADDITIONAL INFORMATION. COORDINATE WITH OWNER ON OWNER SUPPLIED APPLIANCES AND EQUIPMENT PRIOR TO FABRICATION/INSTALLATION.
3. WALL TYPES INDICATE TYPICAL CONDITIONS, SOME CONDITIONS MAY VARY. REFER TO SECTIONS, INTERIOR ELEVATIONS AND STRUCTURAL DRAWINGS FOR ADDITIONAL DETAILS. WALL SECTIONS INDICATE PRIMARY WALL TYPE. OVERLAID VENEERS, WAINSCOT, PILASTERS, PAINT, WALL COVERINGS ETC. ARE INDICATED ON FLOOR PLANS. FINISH PLANS INTERIOR ELEVATIONS, SCHEDULES, SPECIFICATIONS OR OTHER DETAILS.
4. GENERAL CONTRACTOR TO PROVIDE ALL BACKING AS REQUIRED IN WALL FOR CABINETS, FIRE EXTINGUISHER CABINETS, GRAB BARS, BATHROOM ACCESSORIES, WALL STOP LOCATIONS, ETC. AS REQUIRED.
5. PENETRATIONS OF PIPES, CONDUIT, DUCTS AND VENTS THROUGH RATED ASSEMBLIES SHALL BE PROTECTED AS REQUIRED TO MAINTAIN ASSEMBLY RATING.
6. PROVIDE V95 DRYWALL CONTROL JOINTS ON WALL SECTIONS LONGER THAN 30'-0" O.C. MAX. AND NO AREA ABOVE 900 SF WITHOUT CONTROL JOINT. VERIFY LOCATIONS WITH ARCHITECT.
7. ALL WALL INSULATION SHALL EXTEND THE FULL HEIGHT OF THE GYP. BD. UNLESS NOTED OTHERWISE.
8. RECESSED FIXTURES SUCH AS OUTLETS SHOULD NOT BE PLACED BACK TO BACK IN THE SAME STUD CAVITY.
9. ALL WALLS WITH PLUMBING FIXTURES SHALL RECEIVE MOISTURE AND MOLD RESISTANT GYPSUM BOARD - BASIS OF DESIGN 5/8" FIRE RESISTANT GYPSUM BOARD (GOLDBOND BRAND XP GYP. BD WITH SPORGUARD OR EQUAL), BOTH SIDES OF WALL TYP. UNLESS ABUTTING SURFACE. ALL WALLS IN RESTROOMS, KITCHENS, JANITOR, LOCKER AND SHOWER ROOMS SHALL RECEIVE MOLD, MILDEW AND MOISTURE RESISTANT GYPSUM BOARD, BASIS OF DESIGN 5/8" FIRE RESISTANT GYPSUM BOARD (GOLDBOND BRAND XP GYP. BD WITH SPORGUARD OR EQUAL).

KEYNOTE LEGEND

- 05.52.C METAL TUBE GUARDRAILS, REFER TO STRUCTURAL DWG'S (SPACE SUCH THAT ANY GAP IS CONTINUOUSLY LESS THAN 4"), CAP ALL OPEN ENDS (PRIME TO PAINT).

OWNER
 THMT INVESTMENTS, LLC
 722-B W. OLIVE ST.
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 (417) 664-6561
 7/3/2024

SIGNATURE
 PRJ2023-01956
DATE

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REVISIONS

NO.	DESCRIPTION	DATE
1	ADDENDUM #1	1/22/2024

PROJECT NO.: 23-036 DRAWN BY: HDG
 DATE: 11.02.2023 REVIEWED BY: HDG

PROFESSIONAL SEAL
 MATTHEW A. CAPEAN
 PROFESSIONAL TITLE: ARCHITECT
 MO# A-2011006187



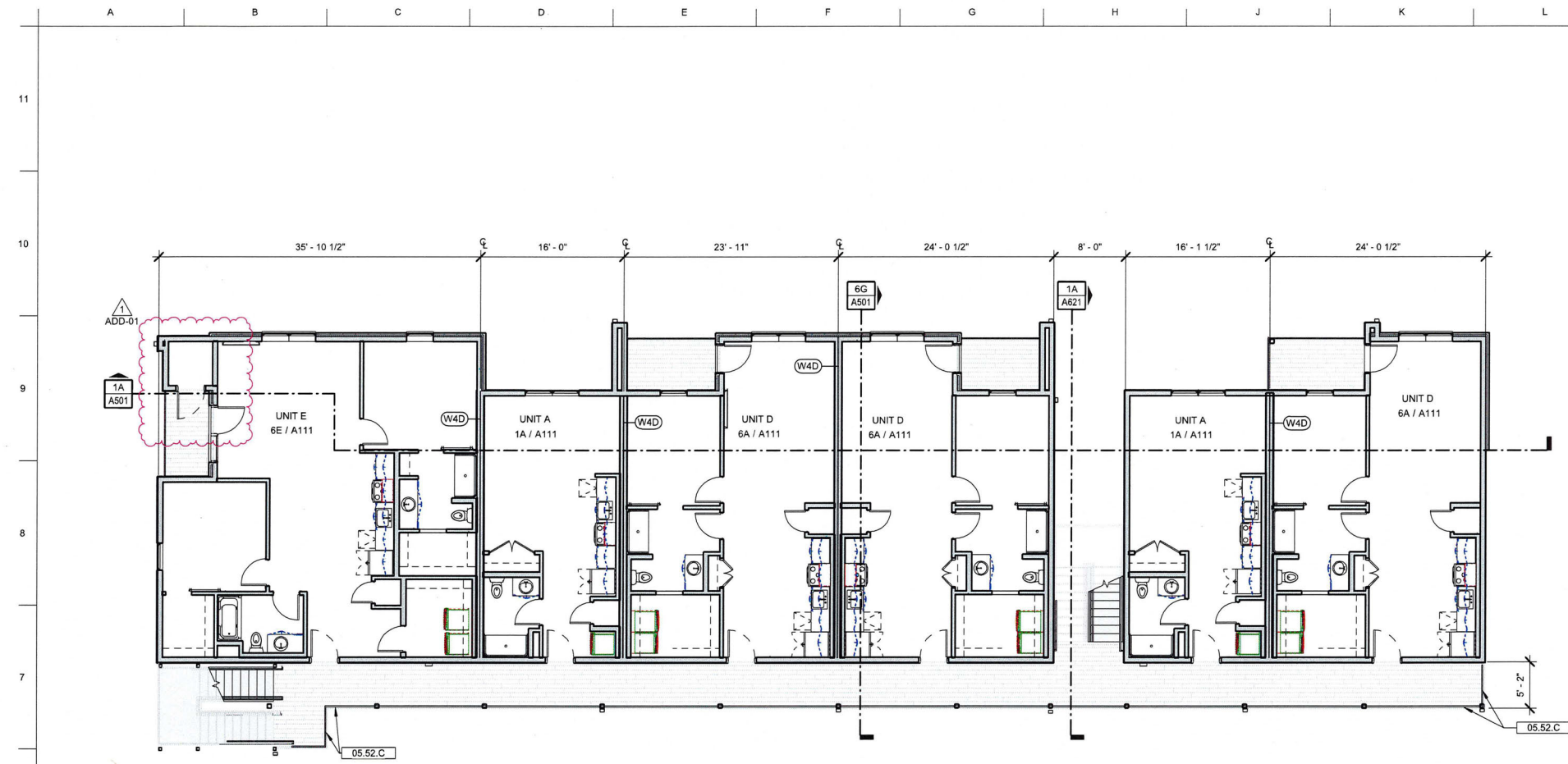
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PROJECT TITLE
 1051 S. GRANT AVENUE DEVELOPMENT

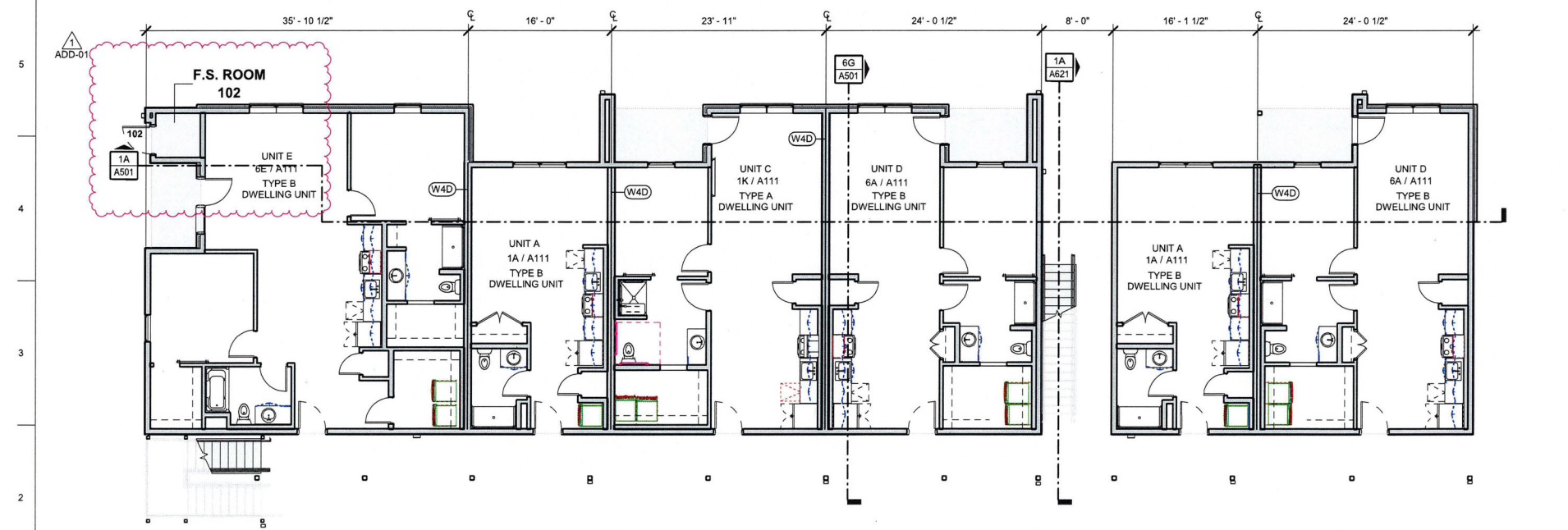
PROJECT ADDRESS:
 1051 S. GRANT AVE
 SPRINGFIELD, MISSOURI 65807

ENLARGED FLOOR PLAN - AREA A

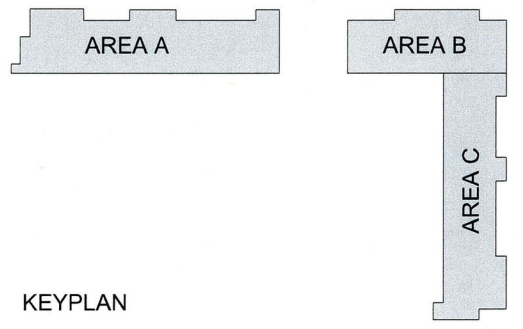
A103



6A AREA A - 2ND & 3RD FLOOR PLAN
 A103 scale: 1/8" = 1'-0"



1A AREA A - 1ST FLOOR PLAN
 A103 scale: 1/8" = 1'-0"



APPROVED
FOR CONSTRUCTION BY THE CITY OF SPRINGFIELD, MO
BUILDING OFFICIAL
REVIEWER FOR COMPLIANCE WITH THE CODE ADOPTED
BUILDING CODE, PLUMBING CODE AND DESIGN
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OTHERWISE.

OWNER
TIMM INVESTMENTS, LLC
722-B W. OLIVE ST.
SPRINGFIELD, MO 65806
7/3/2024

SIGNATURE
DATE
PRJ2023-01956

PROJECT TEAM
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STRUCTURAL ENGINEER
PINNACLE DESIGN CONSULTANTS
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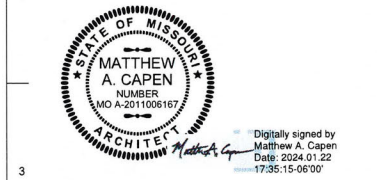
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REVISIONS

NO.	DESCRIPTION	DATE
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PROJECT NO.: 23-036 DRAWN BY: HDG
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PROFESSIONAL SEAL
MATTHEW A. CAPEN
PROFESSIONAL TITLE: ARCHITECT
MO# A-2011006187



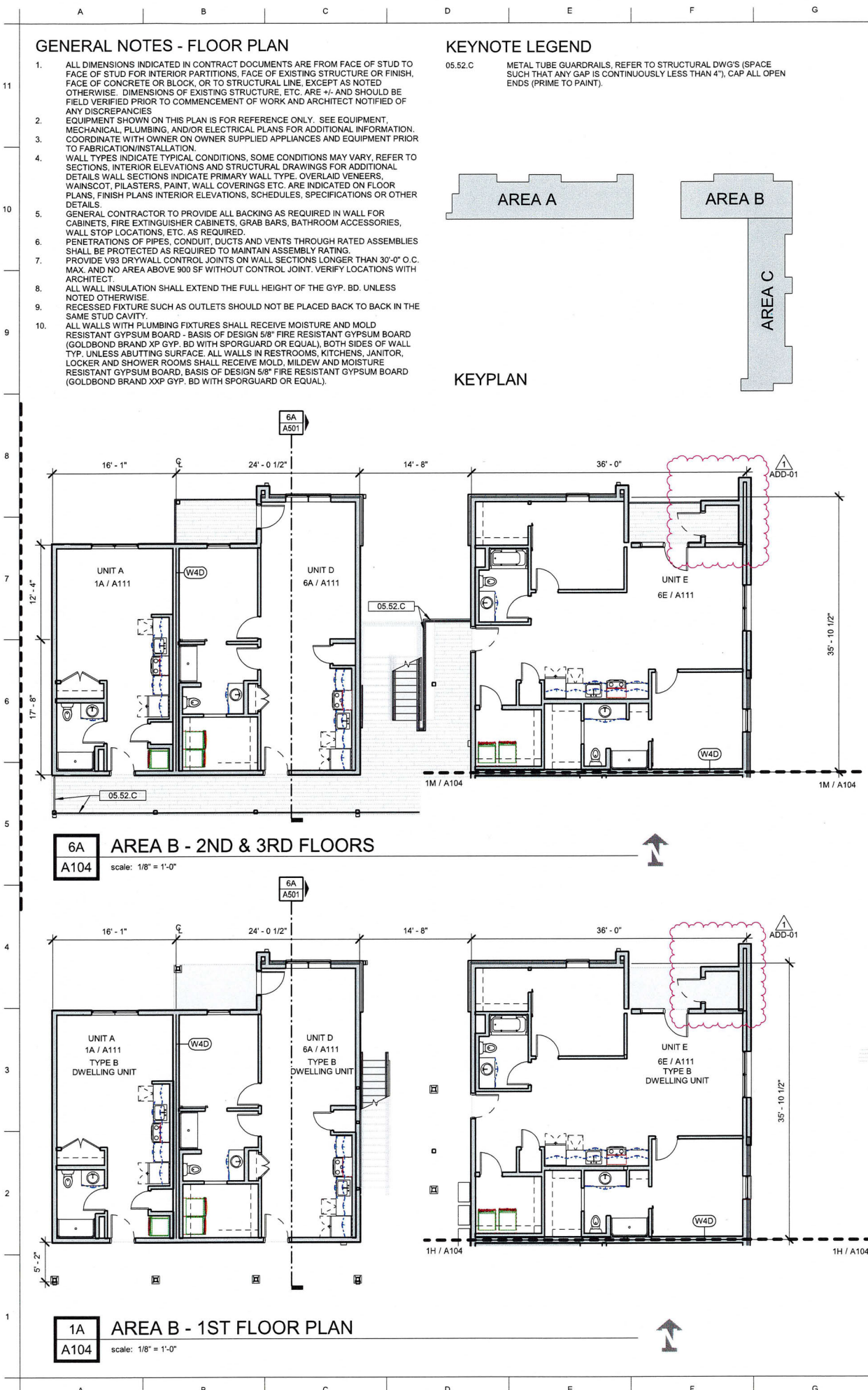
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PROJECT TITLE
1051 S. GRANT AVENUE DEVELOPMENT

PROJECT ADDRESS:
1051 S. GRANT AVE
SPRINGFIELD, MISSOURI 65807

ENLARGED FLOOR PLANS - AREAS B & C

A104

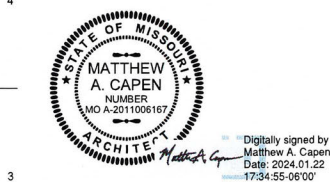


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NO.	DESCRIPTION	DATE
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PROJECT NO.: 23-036 DRAWN BY: HDG
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PROFESSIONAL SEAL
MATTHEW A. CAPEN
PROFESSIONAL TITLE: ARCHITECT
MO# A-2011006187



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PROJECT TITLE
1051 S. GRANT AVENUE DEVELOPMENT

PROJECT ADDRESS:
1051 S. GRANT AVE
SPRINGFIELD, MISSOURI 65807

UNIT PLANS

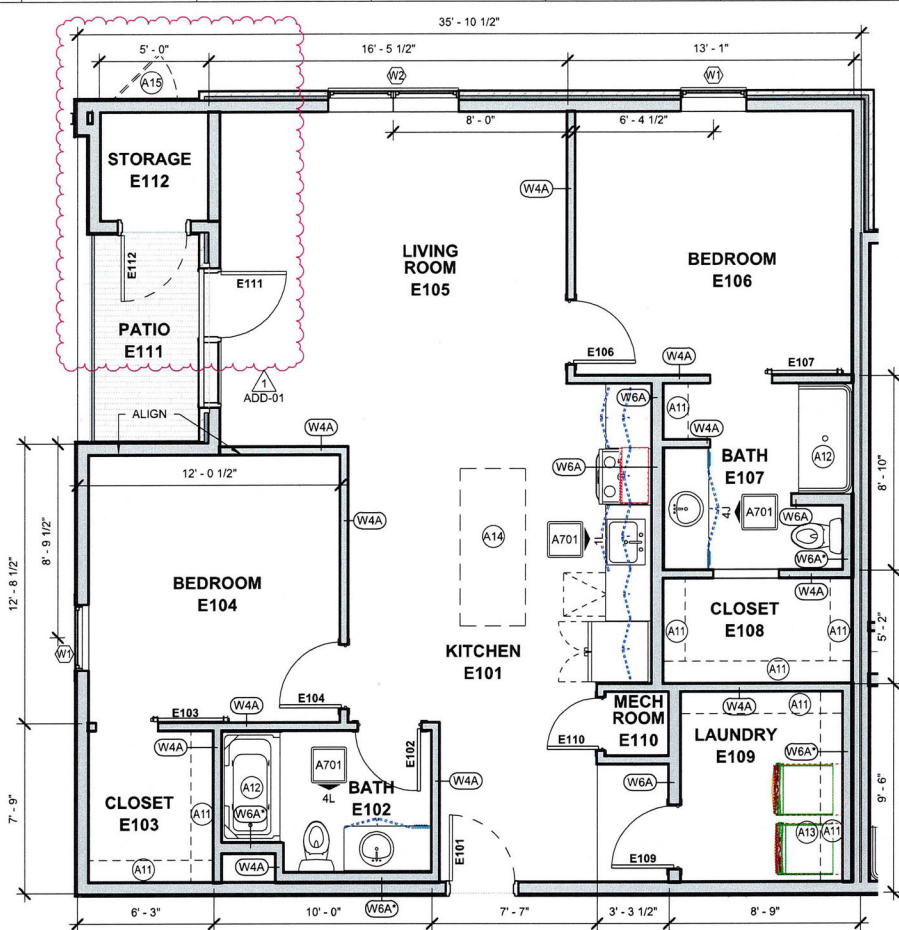
SHEET
A111

GENERAL NOTES - FLOOR PLAN

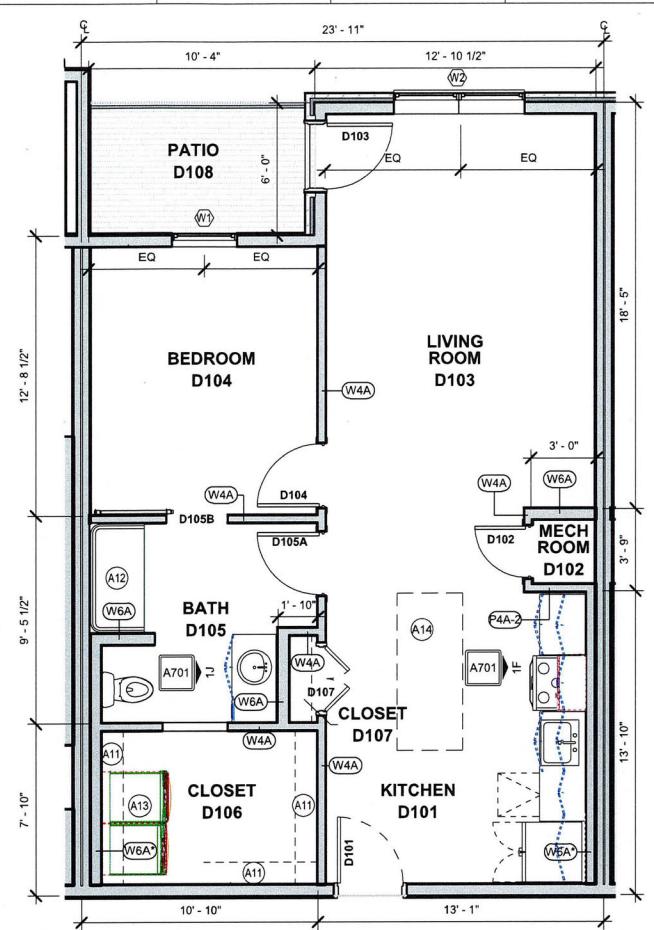
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- PROVIDE V93 DRYWALL CONTROL JOINTS ON WALL SECTIONS LONGER THAN 30'-0" O.C. MAX. AND NO AREA ABOVE 900 SF WITHOUT CONTROL JOINT. VERIFY LOCATIONS WITH ARCHITECT.
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KEYNOTE LEGEND

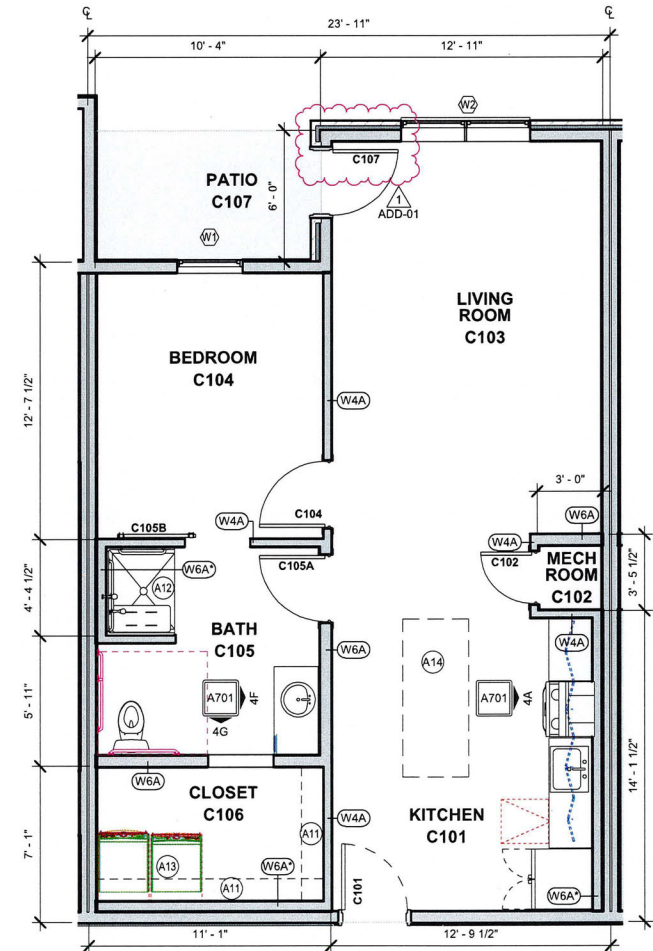
- A11 BUILT IN SHELVING, COORDINATE BLOCKING, FINAL HEIGHTS, AND LOCATION WITH OWNERS PRIOR TO INSTALLATION. SEE SPECIFICATIONS FOR MORE INFORMATION.
- A12 VERIFY EXACT ROUGH IN DIMENSION REQUIREMENTS WITH APPROVED SHOWER/TUB SUBMITTALS PRIOR TO FRAMING. IF ADJACENT TO A RATED CORRIDOR OR TENANT SEPARATION WALL, ADJUST THE ROUGH OPENING TO ACCOMMODATE THE CONTINUOUS LAYER OF FIRED RATED MOISTURE RESISTANT GYPSUM BOARD.
- A13 WASHER AND DRYER TO BE PROVIDED BY CONTRACTOR HAVE BEEN DESIGNED AROUND STANDARD INDUSTRY DIMENSIONS. COORDINATE WITH OWNER ANY VARIANCES IN APPLIANCE DIMENSIONS SO ADJUSTMENTS TO ROOM DIMENSIONS OR DOOR SIZES CAN BE MADE.
- A14 KITCHEN ISLAND FURNITURE TO BE SELECTED BY INTERIOR DESIGNER/OWNER.
- A15 REFER TO OVERALL FLOOR PLANS FOR LOCATION OF FIRE SUPPRESSION DOOR THAT WILL TAKE THE PLACE OF DOOR E112.



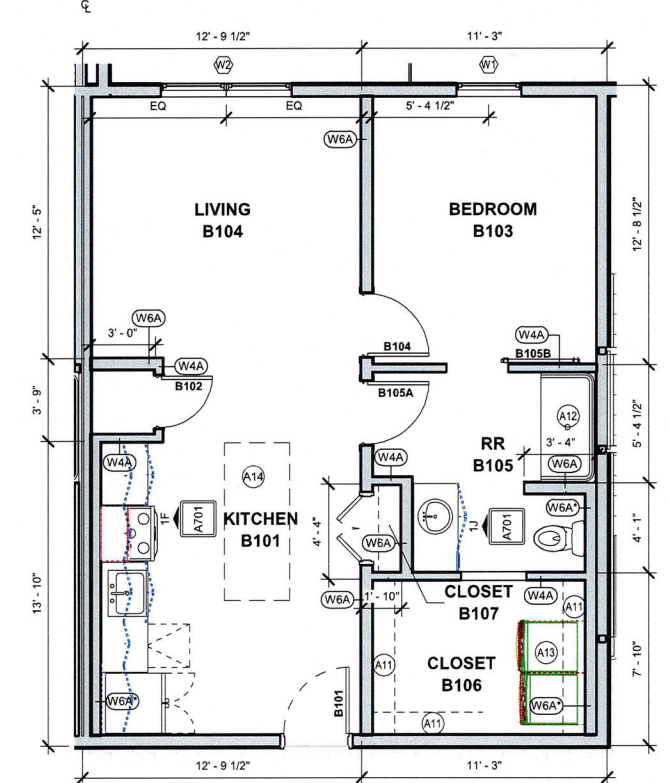
6E UNIT E - 2 BED
A111 scale: 1/4" = 1'-0" 1193 SF
TYPE B DWELLING UNIT
ONLY GROUND FLOOR UNITS NOT INDICATED AS TYPE A ON OVERALL BUILDING FLOOR PLANS REFER TO G-SERIES SHEETS FOR TYPE A/B DWELLING UNIT REQUIREMENTS



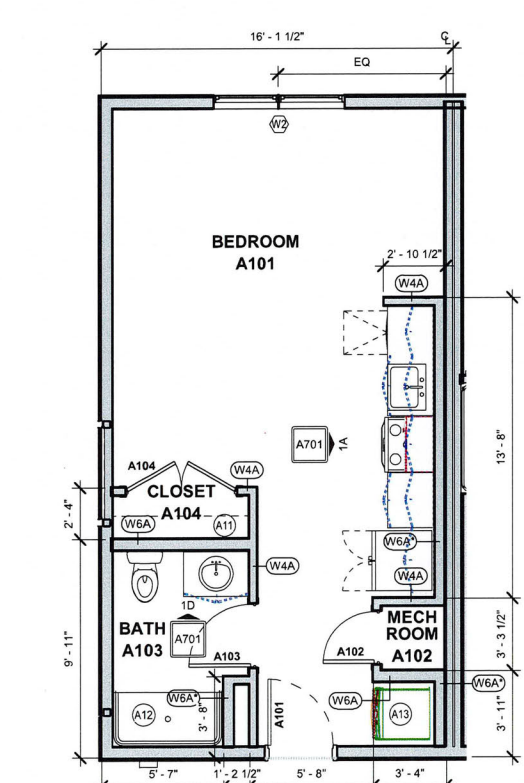
6A UNIT D - 1 BED
A111 scale: 1/4" = 1'-0" 800 SF
TYPE B DWELLING UNIT
ONLY GROUND FLOOR UNITS NOT INDICATED AS TYPE A ON OVERALL BUILDING FLOOR PLANS REFER TO G-SERIES SHEETS FOR TYPE A/B DWELLING UNIT REQUIREMENTS



1K UNIT C - 1 BED
A111 scale: 1/4" = 1'-0" 800 SF
TYPE A DWELLING UNIT
REQUIREMENTS APPLY TO UNITS INDICATED ON OVERALL BUILDING FLOOR PLANS REFER TO G-SERIES SHEETS FOR TYPE A/B DWELLING UNIT REQUIREMENTS



1E UNIT B - 1 BED
A111 scale: 1/4" = 1'-0" 721 SF
TYPE B DWELLING UNIT
ONLY GROUND FLOOR UNITS NOT INDICATED AS TYPE A ON OVERALL BUILDING FLOOR PLANS REFER TO G-SERIES SHEETS FOR TYPE A/B DWELLING UNIT REQUIREMENTS



1A UNIT A - STUDIO
A111 scale: 1/4" = 1'-0" 483 SF
TYPE B DWELLING UNIT
ONLY GROUND FLOOR UNITS NOT INDICATED AS TYPE A ON OVERALL BUILDING FLOOR PLANS REFER TO G-SERIES SHEETS FOR TYPE A/B DWELLING UNIT REQUIREMENTS

REVIEWED FOR COMPLIANCE WITH BUILDING CODES, ZONING ORDINANCES AND DESIGN STANDARDS. THIS REVIEW AND APPROVAL DOES NOT RELIEVE THE DEVELOPER OR HIS AGENTS OF ANY RESPONSIBILITY FOR COMPLIANCE WITH ALL APPLICABLE REQUIREMENTS OF OTHER JURISDICTIONS OR AGENCIES, UNLESS SPECIFICALLY NOTED OTHERWISE.

OWNER: HMNT INVESTMENTS, LLC 722-B W. LIVE ST. SPRINGFIELD, MO 65806 (417) 864-3661
DATE: 7/3/2024
SIGNATURE: PRJ2023-01956

PROJECT TEAM
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OWN: 3213 S. WEST BYPASS SPRINGFIELD, MO 65807 (417) 866-2741

STRUCTURAL ENGINEER
PINNACLE DESIGN CONSULTANTS
304 WEST ERIE STREET, SUITE B SPRINGFIELD, MO 65807 (417) 501-8820

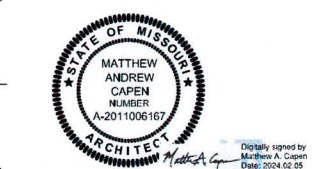
MEP ENGINEER
CJD ENGINEERING
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INTERIOR DESIGNER
CREATIVE DESIGN CONSULTANTS
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REVISIONS table with columns: NO., DESCRIPTION, DATE. Includes revision 1: ADDENDUM #1 01/22/2024 and revision 2: ADDENDUM #2 02/09/2024.

PROJECT NO.: 23-036 DRAWN BY: HDG
DATE: 11.02.2023 REVIEWED BY: MAC

PROFESSIONAL SEAL
MATTHEW A. CAPEN, AIA
PROFESSIONAL TITLE: ARCHITECT
MO# A-2011006187



PROJECT TITLE:
THE GLADE

PROJECT ADDRESS:
1051 S GRANT AVE
SPRINGFIELD, MO 65804

ARCHITECTURAL SITE PLAN

FIRE APPARATUS ACCESS LANE
FIRE APPARATUS ACCESS LANES SHALL BE MARKED WITH 4" RED STRIPING ON BOTH SIDES OF THE FIRE LANE ALONG THE ENTIRE LENGTH OF THE LANE.
"NO PARKING - FIRE LANE" SHALL BE STENCILLED IN 12" LETTERS EVERY 50' IN THE CENTER OF THE FIRE LANE (PERPENDICULAR TO TRAFFIC FLOW AND IN ALTERNATING DIRECTIONS).
IF A CURB IS PRESENT ALONG ONE SIDE OF THE LANE, THE CURB SHOULD BE PAINTED RED IN PLACE OF THE 4" STRIPING (2018 IFC SECTION 503.3)
A DEAD-END FIRE ACCESS LANE THAT EXCEEDS 150 FEET IN LENGTH SHALL INSTALL A FIRE APPARATUS TURN AROUND PER 2018 IFC SECTION 503 & APPENDIX D
TRAFFIC CALMING DEVICES WITHIN THE FIRE LANES ARE PROHIBITED (2018 IFC SECTION 503.4.1)
THE MINIMUM FIRE DEPARTMENT APPARATUS ACCESS REQUIREMENTS ARE 20 FOOT ROAD WIDTH OR 26 FOOT ROAD WIDTH WHEN EAVE/PARAPET IS GREATER THAN 30 FEET, PROXIMITY TO STRUCTURES, 28 FOOT INSIDE TURNING RADIUS, REQUIRED FIRE LANE MARKING, 8% OR LESS GRADE, FIRE APPARATUS TURN AROUND IF GREATER THAN 150 FEET IN LENGTH WITH A DEAD END, & CAPABLE OF SUPPORTING 85,000 LB FIRE APPARATUS-IMPOSED LOAD. (2018 IFC SECTION 503, APPENDIX D, & CITY ORDINANCE 6675)

LANDSCAPING SCHEDULE
LANDSCAPING IS SHOWN GRAPHICALLY, BUT A LANDSCAPING PLAN DONE BY THE LANDSCAPING CONTRACTOR WILL BE A DEFERRED SUBMITTAL AND INCLUDED INTO THE CONSTRUCTION SET OF DRAWINGS ONCE THE CONTRACTOR SELECTS THE LANDSCAPING CONTRACTOR. THE LANDSCAPING CONTRACTOR SHALL PROVIDE A LANDSCAPING DESIGN AND PROVIDE LANDSCAPE SPECIES THAT FOLLOW DIVISION 7, SECTION 36-492 OF THE GRANT AVENUE PARKWAY DISTRICT STANDARDS UNDER ARTICLE III OF THE CITY OF SPRINGFIELD LAND DEVELOPMENT CODE. THE FOLLOWING DESIGN STANDARDS SHALL BE INCORPORATED INTO THE LANDSCAPING PLAN:
7' WIDE PERIMETER LANDSCAPING: ALONG R.O.W. ADJACENT TO OFF STREET PARKING ALONG DOUGLAS AVENUE. LANDSCAPING SHALL BE SHRUBS OR NATIVE GRASS THAT IS A MINIMUM 3', BUT NOT MORE THAN 5' TALL. A 3" TALL FENCE PER DETAIL ON SHEET AS102 SHALL BE PROVIDED ALONG WITH THE SHRUBS OR NATIVE GRASS LOCATED BETWEEN THE PARKING LOT CURB AND PROPERTY LINE.
PARKING LOT INTERIOR LANDSCAPING (ISLANDS): IN PARKING LOTS WITH 15 TO 100 SPACES, REQUIRED PARKING LOT INTERIOR LANDSCAPING SHALL CONSIST OF (1) CANOPY TREE.
PARKING LOT INTERIOR LANDSCAPING (MEDIAN): IN PARKING LOTS WITH 15 TO 100 SPACES, REQUIRED PARKING LOT INTERIOR LANDSCAPING SHALL CONSIST OF (1) CANOPY TREE AND (15) SHRUBS OR NATIVE GRASSES EVERY 50 LINEAR FEET OF PARKING LOT MEDIAN.
FOUNDATION LANDSCAPING: PLANTINGS INCLUDING TREES, SHRUBS, NATIVE GRASSES, AND GROUND COVER SHALL BE INSTALLED ACROSS 80% OF THE LENGTH OF THE FRONT AND EXTERIOR SIDE FACADE OF THE BUILDING. THE PLANTINGS SHALL BE SET 18" ON CENTER OFF OF THE FOUNDATION / EXTERIOR FACE OF THE BUILDING.
SCREENING AROUND TRASH ENCLOSURE: PROVIDE SHRUBS INSTALLED EVERY THREE FEET ALONG THE EXTERIOR OF THE ENCLOSURE, WITH THE EXCEPTION OF ENCLOSURE OPENINGS.
LANDSCAPE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL UNDERGROUND UTILITIES PRIOR TO THE INSTALLATION OF PLANT MATERIAL.
ALL TREE SAUCERS AND SHRUB PLANTINGS ARE TO BE MULCHED WITH A MINIMUM OF 2" DEEP OF SHREDDED CYPRESS MULCH.
ALL PROPOSED PLANTINGS SHALL BE EXCAVATED TO A DEPTH TO ALLOW THE PLANTING OF A 2.5" BB TREE. ALL ROCK, TRACES OF SOIL STABILIZATION MATERIAL, ROCK SUB-BASE, AND COMPACTED SOIL SHOULD BE REMOVED TO CREATE A PLANT PIT.
THE FINISHED GRADE AT ALL SIDEWALKS & CURBS OR ANY PAVED SURFACE NEXT TO A MULCHED BED IS TO BE 2" BELOW THE TOP OF THE CURB OR PAVEMENT.
VERIFY ALL EASEMENT LOCATIONS AND REQUIREMENTS. CONSULT ARCHITECT FOR ANY CONFLICTS WITH EASEMENTS OR UNDERGROUND UTILITIES PRIOR TO INSTALLING ANY PLANT MATERIALS.
FIRE CODE LANDSCAPE GUIDELINE REQUIRE COMBUSTIBLE LANDSCAPING MATERIALS SHALL NOT BE WITHIN 18 INCHES OF ANY COMMERCIAL BUILDING. COMBUSTIBLE LANDSCAPING MATERIAL SHALL NOT BE WITHIN 18 INCH RADIUS AROUND GAS METERS. RECEPTACLES FOR DISCARDED SMOKING MATERIALS SHALL BE NO CLOSER THAN 18 INCHES TO COMBUSTIBLE LANDSCAPING MATERIAL, MULCH AND SHALL BE EMPTIED REGULARLY.
FINAL CERTIFICATE OF OCCUPANCY CANNOT BE ISSUED UNTIL A LANDSCAPE PLAN HAS BEEN SUBMITTED AND APPROVED.

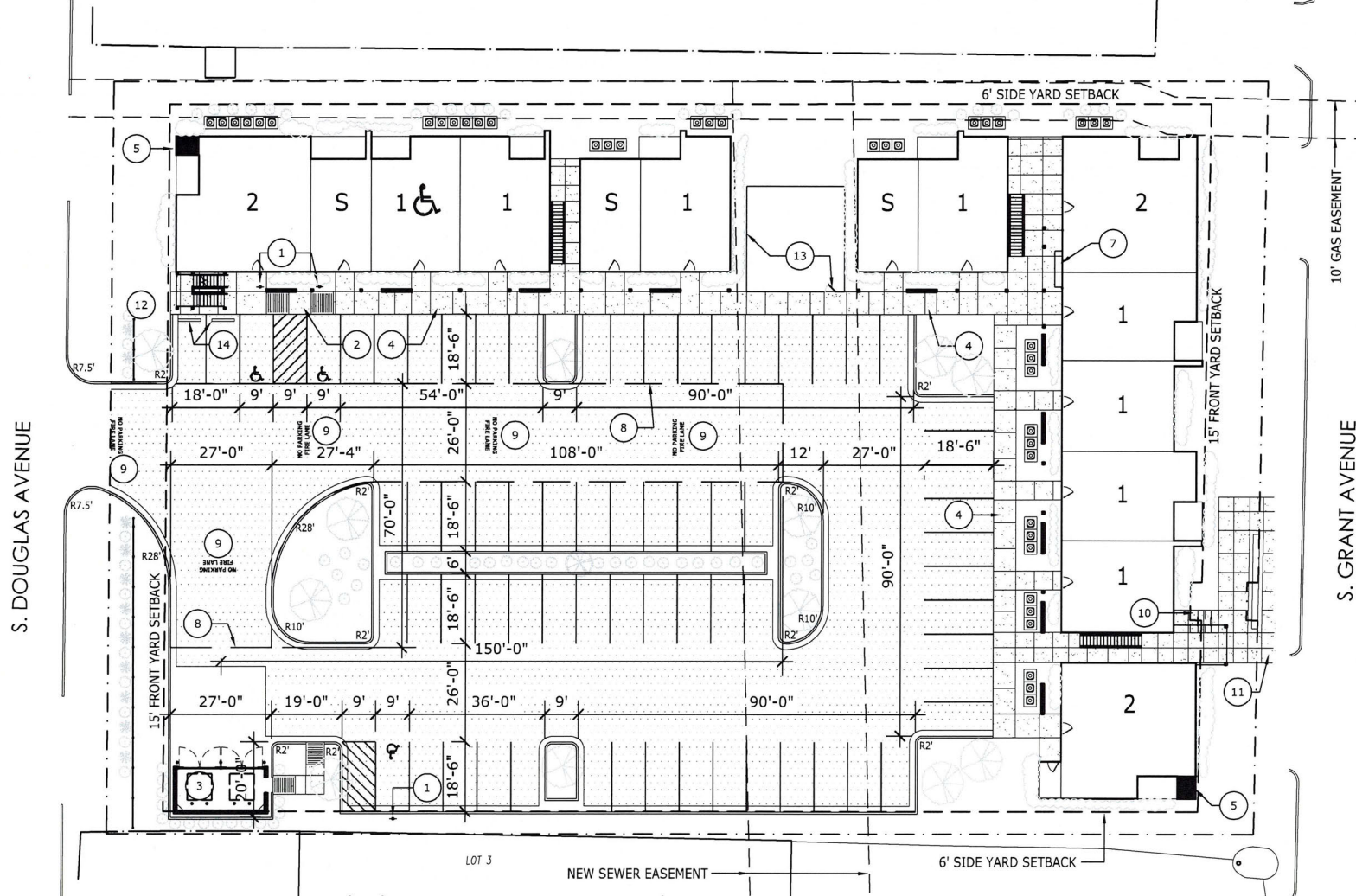
ZONING DATA
AREA OF SITE (ACRES) 1.46 ACRES
YARD REQUIREMENTS FRONT YARD MINIMUM - 15 FEET FRONT YARD MAXIMUM - 25 FEET EXTERIOR SIDE YARD MINIMUM - 15 FEET EXTERIOR SIDE YARD MAXIMUM - 25 FEET INTERIOR SIDE YARD MINIMUM - 6 FEET *IF PARTY-WALL EXISTS; 0 SHALL BE PERMITTED REAR YARD - N/A
UNIT DENSITY 28 DU/AC (42 UNITS ON 1.46 ACRES)
BUILDING HEIGHT 3 STORIES
OPEN SPACE 30% - 19,082 / 63,846 S.F.
CURRENT ZONING GAP - F
PERMITTED USE MULTIFAMILY
PARKING REQUIREMENTS STUDIO - ONE & ONE-HALF SPACE/UNIT 1 BED - ONE & ONE-HALF SPACES/UNIT TWO OR MORE BED - TWO SPACES/UNIT
SPACES REQUIRED: 68 SPACES ACCESSIBLE SPACES REQUIRED: 3 SPACES
BICYCLE PARKING 5% OF REQUIRED PARKING SPACES 4 BIKE SPACES
PARKING PROVIDED 69 VEHICLE SPACES

UNIT MIX table with columns: UNIT A (STUDIO), UNIT B (1BR W/BALCONY), UNIT C (1BR), UNIT E (2BR W/BALCONY), TYPE, QUANTITY, LEASABLE S.F. Total units: 42 TOTAL UNITS.

ACCESSIBILITY (1107)
SECTION 1107.6.2.1.1 FOR GROUP R-2: "AT LEAST 2 PERCENT, BUT NOT LESS THAN ONE, OF THE DWELLING UNITS AND SLEEPING UNITS SHALL BE A TYPE A UNIT."
OUT OF 42 UNITS, 1 WILL BE A TYPE A UNIT. (1) ONE BEDROOM

- KEYNOTES: 1. PROVIDE ACCESSIBLE PARKING SIGNAGE (POLE MOUNTED) AT EACH ACCESSIBLE PARKING SPOT PER DETAIL ON SHEET AS102. 2. PROVIDE ACCESSIBLE CURB RAMP PER DETAIL ON SHEET AS102. 3. REFER TO ENLARGED PLAN DETAIL & ELEVATION ON SHEET AS102 FOR DETAILS OF TRASH ENCLOSURE. 4. PROVIDE 6 FOOT WIDE SIDEWALK ADJACENT TO PARKING LOTS AND 5 FOOT WIDE SIDEWALKS ELSEWHERE. REFER TO CONCRETE JOINT DETAILS ON SHEET AS102 FOR CONTROL AND EXPANSION JOINT REQUIREMENTS. 5. SOLID BOX INDICATES PROPOSED LOCATION OF FIRE SPRINKLER RISER ROOM. VERIFY WITH FIRE DEPARTMENT AND CROSS COORDINATE WITH SITE UTILITY PLAN. CONTRACTOR TO PROVIDE A "FIRE RISER ROOM" SIGN ON DOOR AND ALL-WEATHER WHITE SIGN WITH "FDC" IN RED LETTERS THAT ARE 6-8 INCHES TALL WITH A 1.5 - 2 INCH BRUSH STROKE THAT IS INSTALLED 2-3 FEET ABOVE THE FIRE DEPARTMENT CONNECTION. 6. CONTRACTOR SHALL INSTALL A KNOX KEY BOX FOR EACH FIRE SPRINKLER ROOM NEAR THE MAIN ENTRANCE AT 5 FEET ABOVE FINISH FLOOR. ORDER AT WWW.KNOXBOX.COM - SPECIFY SPRINGFIELD, MO. AFTER INSTALLATION, CALL FIRE DEPARTMENT COMMUNITY RISK AT 417-874-2349 TO SCHEDULE A FIRE CREW TO LOCK THE BOX FOR YOU. 7. LOCATION OF FLOOR MOUNTED MAILBOXES PER SPECS. 8. DARK LINE INDICATES FIRE LANE TO BE STRIPED ON THE PAVEMENT. THIS AREA SHALL ALSO BE CONSTRUCTED PRIOR TO FRAMING TO ACT AS A TEMPORARY FIRE LANE. FIRE APPARATUS ACCESS LANES SHALL BE MARKED WITH 4" RED STRIPING ON BOTH SIDES OF THE FIRE LANE ALONG THE ENTIRE LENGTH OF THE LANE. IF A CURB IS PRESENT ALONG ONE SIDE OF THE LANE, THE CURB SHOULD BE PAINTED IN PLACE OF THE 4" STRIPING. 9. CONTRACTOR SHALL STENCIL "NO PARKING - FIRE LANE" IN 12" LETTERS EVERY 50' (PERPENDICULAR TO TRAFFIC FLOW AND IN ALTERNATING DIRECTIONS) ALONG CENTER OF FIRE LANE AS INDICATED. 10. BIKE RACK PER DETAIL ON SHEET AS102. 11. CONTRACTOR TO CONNECT SIDEWALK TO FUTURE SIDEWALK EXPANSION ON GRANT AVE. 3" ALUMINUM FENCE PER SPECS. REFER TO DETAIL ON SHEET AS102. 12. CONTRACTOR TO PROVIDE 4" TALL BLACK COATED CHAIN LINK FENCE AND 3" PEDESTRIAN GATE FOR DOG PARK BY OWNER. 13. CONTRACTOR TO PROVIDE CONCRETE PARKING BLOCK.

SITE LEGEND
ASPHALT OVER GRAVEL BASE OVER PREPARED COMPACTED FILL PER CIVIL.
CONCRETE SIDEWALK OR PAVEMENT AS DETAILED ON SHEET AS102. SIDEWALKS TO HAVE CONTROL JOINTS @ 5'-0" O.C. MAX. AND EXPANSION JOINTS @ 25'-0" O.C. MAX.
ALL UNHATCHED AREAS INDICATES LIVING GROUND COVER (GRASS SEED & STRAW)



1A ARCHITECTURAL SITE PLAN
AS101 scale: 1" = 20'-0"





EXPLANATION TO REQUEST FOR REAL PROPERTY TAX ABATEMENT FOR REDEVE

FILED: 10/01/2025

ORIGINATING DEPARTMENT: Economic Vitality

TITLE:

PURPOSE:

BACKGROUND INFORMATION:

Submitted By:

Authorized for inclusion on the agenda pursuant to City Code section 2-33:
Maurice S. Jones, Deputy City Manager

Attachments:

1. The Dale - 1112 S Grant Ave
2. Supplement to Glad and Dale Applications



Land Clearance for Redevelopment Authority Application for Real Property Tax Abatement

Sections 99.700-99.715, RSMo
Chapter 40, Article II, Springfield City Code

Property Address: 1112 S Grant

Redevelopment Area: Grant Avenue Parkway

Applicant/Developer

Name:	<u>Morelock Builders + Associates</u>
Mailing Address:	<u>722 W Olive Street, Springfield MO 65806</u>
Telephone:	<u>417-864-6661</u>
E-Mail:	<u>cwebster@morelockbuilders.com</u>

Property Owner

Name:	<u>HMNT Investments LLC</u>
Contact Person:	<u>Wayne Morelock</u>
Mailing Address:	<u>722 W Olive Street, Springfield MO 65806</u>
Telephone:	<u>417 864-6661</u>
E-Mail:	<u>wayne@morelockbuilders.com</u>

Applicant/Developer Signature:

Printed Name and Title: Crystal Webster, CEO Date: 9/18/25

Required Attachments:

- \$637 application fee (payable to the City of Springfield).
- Legal description of project.
- Narrative identifying the scope of the project.
- Site plan and floor plans.
- Concept plan and/or renderings, if available.
- Narrative describing relationship of project to the adopted redevelopment plan.
- If project is in the Downtown Redevelopment Area, please see additional requirements on page 2 of this application.

LEGAL DESCRIPTION – 1112 South Grant

A TRACT OF LAND BEING DESCRIBED AS ALL OF LOTS 31 THRU 44, EXCEPT THE NORTH 5.00 FEET OF LOT 31 IN HOLMAN PLACE ADDITION, A SUBDIVISION IN SPRINGFIELD, GREENE COUNTY, MISSOURI AS DESCRIBED IN THE GREENE COUNTY, MISSOURI, RECORDER'S OFFICE IN BOOK 2021, PAGE 008718-21, AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE NORTHWEST CORNER OF LOT 31 OF HOLMAN PLACE ADDITION, SAID POINT ALSO LYING ON THE EAST RIGHT-OF-WAY OF GRANT AVENUE; THENCE ALONG SAID EAST RIGHT-OF-WAY, SOUTH 02°04'49" WEST, 5.00 FEET TO THE POINT OF BEGINNING, SAID POINT ALSO LYING ON THE SOUTH RIGHT-OF-WAY OF LOREN STREET AS IT NOW EXISTS; THENCE LEAVING SAID EAST RIGHT-OF-WAY AND ALONG SAID SOUTH RIGHT-OF-WAY, SOUTH 88°42'06" EAST, 186.64 FEET TO A POINT LYING ON THE WEST RIGHT-OF-WAY OF A PLATTED ALLEY; THENCE ALONG SAID WEST RIGHT-OF-WAY, SOUTH 02°19'02" WEST, 345.03 FEET TO THE NORTHEAST CORNER OF LOT 45; THENCE ALONG THE NORTH LINE OF SAID LOT 45, NORTH 88°36'45" WEST, 185.21 FEET TO A POINT LYING ON THE AFOREMENTIONED EAST RIGHT-OF-WAY OF GRANT AVENUE; THENCE ALONG SAID EAST RIGHT-OF-WAY, NORTH 02°04'49" EAST, 344.72 FEET TO THE POINT OF BEGINNING. CONTAINING 64,113 SQUARE FEET OR 1.47 ACRES, MORE OR LESS. ALL LYING IN HOLMAN PLACE ADDITION IN SPRINGFIELD, GREENE COUNTY, MISSOURI. BEARINGS BASED ON GRID NORTH OF THE MISSOURI COORDINATE SYSTEM OF 1983, CENTRAL ZONE.

Narrative Identifying the Scope of the Project

This project consists of a newly constructed multi-family development **1112 S. Grant** - planned, financed, and executed as a **redevelopment investment** to bring new housing and economic activity to the Grant Avenue corridor in Springfield Missouri. The property represents a **total of 42 residential units** and over **45,000 square feet of new housing**:

- **1112 S. Grant** – 45,780 SF; 27 one-bedroom, 9 two-bedroom, and 6 studio apartments (42 total units). A Certificate of Occupancy was issued prematurely during closeout, though **no occupancy has occurred** and correction work is ongoing.

The buildings are designed to bring modern, energy-efficient housing options to a high-visibility corridor, with ADA-compliant units, bike- and pedestrian-friendly access, and proximity to Springfield's urban core. The development fills a critical market need as the only active multi-family project currently under construction in Springfield, helping address housing demand, support workforce retention, and catalyze additional private investment.

SITE PLAN + FLOOR PLANS (see attached)

CONCEPT PLAN and/or renderings (see attached)

Narrative Describing Relationship of Project to the Adopted Redevelopment Plan

The Dale is strategically located within the **Grant Avenue Parkway Redevelopment Plan boundary**, a city-led initiative to transform Grant Avenue into a vibrant, pedestrian- and bicycle-friendly spine connecting Downtown Springfield to key destinations like Bass Pro Shops, Wonders of Wildlife, and surrounding neighborhoods. This \$26 million infrastructure and streetscape investment—along with new zoning incentives—was adopted by the City of Springfield to attract **private development, stimulate reinvestment, and revitalize adjacent properties.**

Our project directly supports these objectives by:

- Activating underutilized parcels with high-density, market-rate multi-family housing.
- Delivering 42 modern units within walking distance of downtown, supporting Springfield’s urban living and workforce housing goals.
- Aligning with the City’s corridor placemaking vision, complementing investments like underground utility relocation, widened sidewalks, bike lanes, and enhanced landscaping.
- Demonstrating a public-private partnership success story, where substantial public infrastructure improvements are leveraged to attract meaningful private-sector development.
- Complying with GAP district regulations adopted to implement the GAP redevelopment plan.





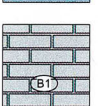
In summary, this multi-family building serves as a cornerstone project within the Grant Avenue Parkway revitalization corridor, illustrating the redevelopment plan’s goal of transforming Grant Avenue into a thriving, connected, and economically vibrant urban corridor.

The project complies with the redevelopment plan and was permitted following development review to the standards required by the redevelopment plan. By virtue of being permitted, the project is in conformance with and zoned within the GAP district and meets all requirements of abatement.

The project is NOT in the Downtown Redevelopment Area ... it is a separate corridor-focused redevelopment zone. This corridor includes area-specific improvements, zoning overlays, and incentives aimed at revitalizing Grant Avenue.

FOR CONSTRUCTION BY THE CITY OF SPRINGFIELD, MO
 BUILDING OFFICIAL
 REVIEWED FOR COMPLIANCE WITH THE CITY CODE, ADOPTED
 BUILDING CODES, ZONING ORDINANCE AND DESIGN
 STANDARDS - THIS REVIEW AND APPROVAL DOES NOT RELIEVE
 THE DEVELOPER OR HIS AGENTS OF ANY RESPONSIBILITY FOR
 COMPLIANCE WITH ALL APPLICABLE REQUIREMENTS, OR
 ADDRESS OR VERIFY THE REQUIREMENTS OF OTHER
 JURISDICTIONS OR AGENCIES, UNLESS SPECIFICALLY NOTED
 OTHERWISE.
 5038 S. National Avenue | Springfield, MO 65810 | 417.887.6595

EXTERIOR ELEVATION LEGEND

- 
 FIBER CEMENT SIDING
 TEXTURE: SMOOTH
 SEE SPECIFICATIONS FOR MORE INFORMATION
- 
 FIBER CEMENT PANEL
 TEXTURE: SMOOTH
 SEE SPECIFICATIONS FOR MORE INFORMATION
- 
 STUCCO
 TEXTURE: LIGHT SAND
 SEE SPECIFICATIONS FOR MORE INFORMATION
- 
 STUCCO
 TEXTURE: LIGHT SAND
 SEE SPECIFICATIONS FOR MORE INFORMATION
- 
 BRICK VENEER
 SIZE: KING
 PATTERN: RUNNING BOND
 SEE SPECIFICATIONS FOR MORE INFORMATION

OWNER: HMNT INVESTMENTS, LLC
 722-B WEST OLIVE STREET
 SPRINGFIELD, MO. 65806
 DATE: 6/25/2024
 PROJECT NO.: PRJ2023-02089

- PROJECT TEAM
- CIVIL ENGINEER
 OWN ENGINEERING
 3215 SOUTH WEST BYPASS
 SPRINGFIELD, MO. 65807
 417.866.2741
 - STRUCTURAL ENGINEER
 PINNACLE DESIGN CONSULTANTS
 304 WEST ERIE STREET
 SPRINGFIELD, MO. 65807
 417.501.8820
 - MEP ENGINEER
 CJD ENGINEERING
 2225 WEST CHESTERFIELD ST. SUITE 200
 SPRINGFIELD, MO. 65807
 417.877.1700
 - INTERIOR DESIGNER
 CREATIVE DESIGN CONSULTANTS
 1513 EAST WALNUT STREET
 SPRINGFIELD, MO. 65802
 417.886.4258

REVISIONS		
NO.	DESCRIPTION	DATE
1	ADD-01	1/24/2024

PROJECT NO.: 23-037 DRAWN BY: HDG
 DATE: 11.21.2023 REVIEWED BY: HDG

PROFESSIONAL SEAL
 MATTHEW A. CAPEN
 PROFESSIONAL TITLE: ARCHITECT
 MO# A-2011006167

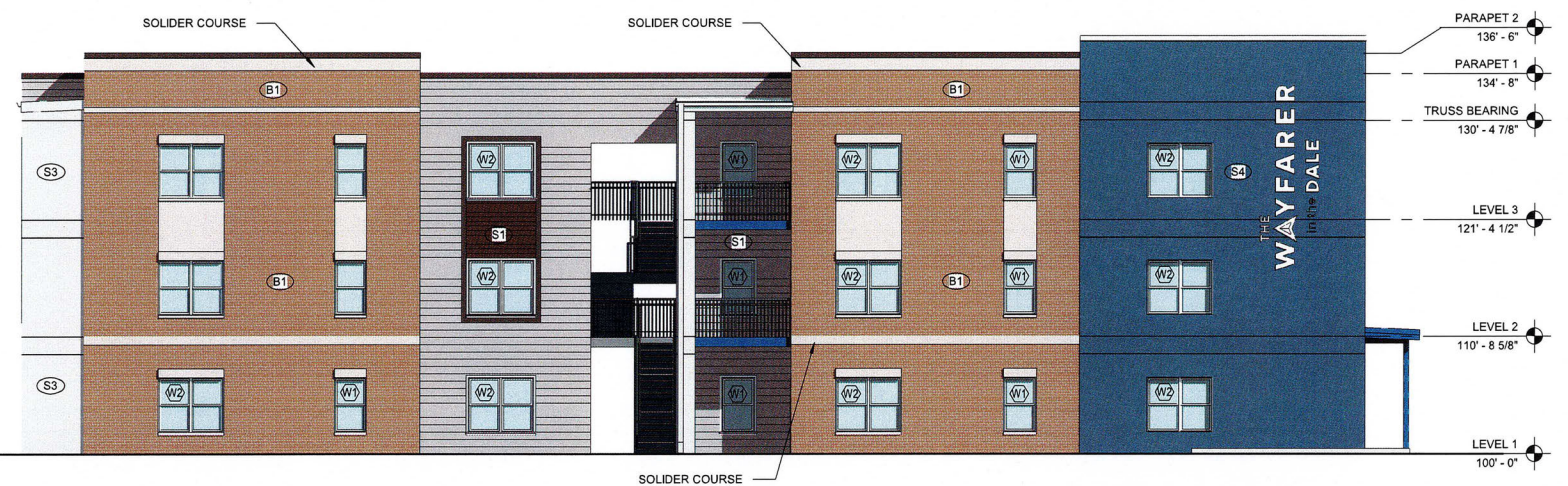


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PROJECT TITLE
The Dale
 PROJECT ADDRESS:
 1112 GRANT AVE
 SPRINGFIELD, MISSOURI 65807

NORTH & SOUTH - EXTERIOR ELEVATIONS

1 ADD-01 SHEET **A401**



5A NORTH ELEVATION
 A401 scale: 1/8" = 1'-0"



1A SOUTH ELEVATION
 A401 scale: 1/8" = 1'-0"

FOR CONSTRUCTION BY THE CITY OF SPRINGFIELD, MO
 BUILDING OFFICIAL

REVIEWED FOR COMPLIANCE WITH THE CITY CODE, ADOPTED BUILDING CODES, ZONING ORDINANCE AND DESIGN STANDARDS - THIS REVIEW AND APPROVAL DOES NOT RELIEVE THE DEVELOPER OR HIS AGENTS OF ANY RESPONSIBILITY FOR COMPLIANCE WITH ALL APPLICABLE REQUIREMENTS, OR JURISDICTIONS OR AGENCIES, UNLESS SPECIFICALLY NOTED OTHERWISE.

5030 S. National Avenue | Springfield, MO 65810 | 417.887.6595

OWNER: **HNMT INVESTMENTS, LLC**
 722 WEST OLIVE STREET
 SPRINGFIELD, MO. 65806

DATE: **6/25/2024**

PROJECT NO: **PRJ2023-02089**

PROJECT TEAM

CIVIL ENGINEER
 OWN ENGINEERING
 3213 SOUTH WEST BYPASS
 SPRINGFIELD, MO. 65807
 417.866.2741

STRUCTURAL ENGINEER
 PINNACLE DESIGN CONSULTANTS
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 SPRINGFIELD, MO. 65807
 417.501.8820

MEP ENGINEER
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 2225 WEST CHESTERFIELD ST. SUITE 200
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 CREATIVE DESIGN CONSULTANTS
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 MO# A-2011006167



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PROJECT TITLE
The Dale

PROJECT ADDRESS:
 1112 GRANT AVE
 SPRINGFIELD, MISSOURI 65807

AREAS A & B - WEST EXTERIOR ELEVATIONS

ADD-01
 SHEET
A402

EXTERIOR ELEVATION LEGEND

- FIBER CEMENT SIDING
 TEXTURE: SMOOTH
 SEE SPECIFICATIONS FOR MORE INFORMATION
- FIBER CEMENT PANEL
 TEXTURE: SMOOTH
 SEE SPECIFICATIONS FOR MORE INFORMATION
- STUCCO
 TEXTURE: LIGHT SAND
 SEE SPECIFICATIONS FOR MORE INFORMATION
- STUCCO
 TEXTURE: LIGHT SAND
 SEE SPECIFICATIONS FOR MORE INFORMATION
- BRICK VENEER
 SIZE: KING
 PATTERN: RUNNING BOND
 SEE SPECIFICATIONS FOR MORE INFORMATION

9A WEST ELEVATION
 A402 scale: 1/16" = 1'-0"

9A A402



5A ENLARGED WEST ELEVATION - AREA B
 A402 scale: 1/8" = 1'-0"

5A A402



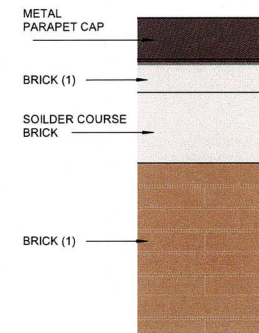
1A ENLARGED WEST ELEVATION - AREA A
 A402 scale: 1/8" = 1'-0"

1A A402



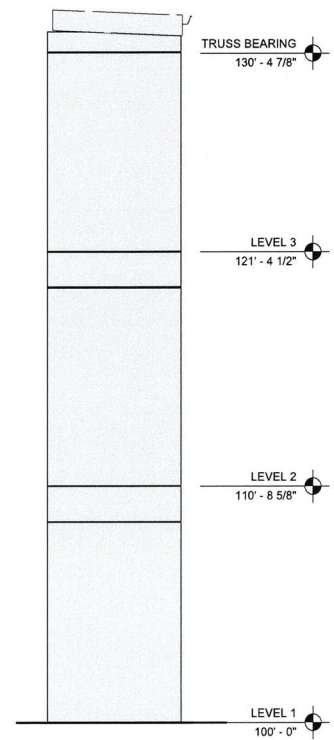
1L BRICK DETAIL
 A402 scale: 1" = 1'-0"

1L A402



1N FIBER CEMENT DETAIL
 A402 scale: 1/4" = 1'-0"

1N A402



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5039 S. National Avenue | Springfield, MO 65810 | 417.887.6595

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PRJ2023-02089

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MO# A-2011006167



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PROJECT TITLE
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PROJECT ADDRESS:
1112 GRANT AVE
SPRINGFIELD, MISSOURI 65807

AREAS A & B - EAST EXTERIOR ELEVATIONS
A403 SHEET

EXTERIOR ELEVATION LEGEND

- FIBER CEMENT SIDING
TEXTURE: SMOOTH
SEE SPECIFICATIONS FOR MORE INFORMATION
(S1)
- FIBER CEMENT PANEL
TEXTURE: SMOOTH
SEE SPECIFICATIONS FOR MORE INFORMATION
(S2)
- STUCCO
TEXTURE: LIGHT SAND
SEE SPECIFICATIONS FOR MORE INFORMATION
(S3)
- STUCCO
TEXTURE: LIGHT SAND
SEE SPECIFICATIONS FOR MORE INFORMATION
(S4)
- BRICK VENEER
SIZE: KING
PATTERN: RUNNING BOND
SEE SPECIFICATIONS FOR MORE INFORMATION
(B1)



8A EAST ELEVATION
A403 scale: 1/16" = 1'-0"



4A ENLARGED EAST ELEVATION - AREA A
A403 scale: 1/8" = 1'-0"



1A ENLARGED EAST ELEVATION - AREA B
A403 scale: 1/8" = 1'-0"

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5039 S. National Avenue | Springfield, MO 65810 | 417.887.6595

DATE: 6/25/2024
HMM INVESTMENTS, LLC
722-B WEST OLIVE STREET
SPRINGFIELD, MO. 65806
PRJ2023-02089

PROJECT TEAM
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PROJECT TITLE

The Dale

PROJECT ADDRESS:
1112 GRANT AVE
SPRINGFIELD, MISSOURI 65807

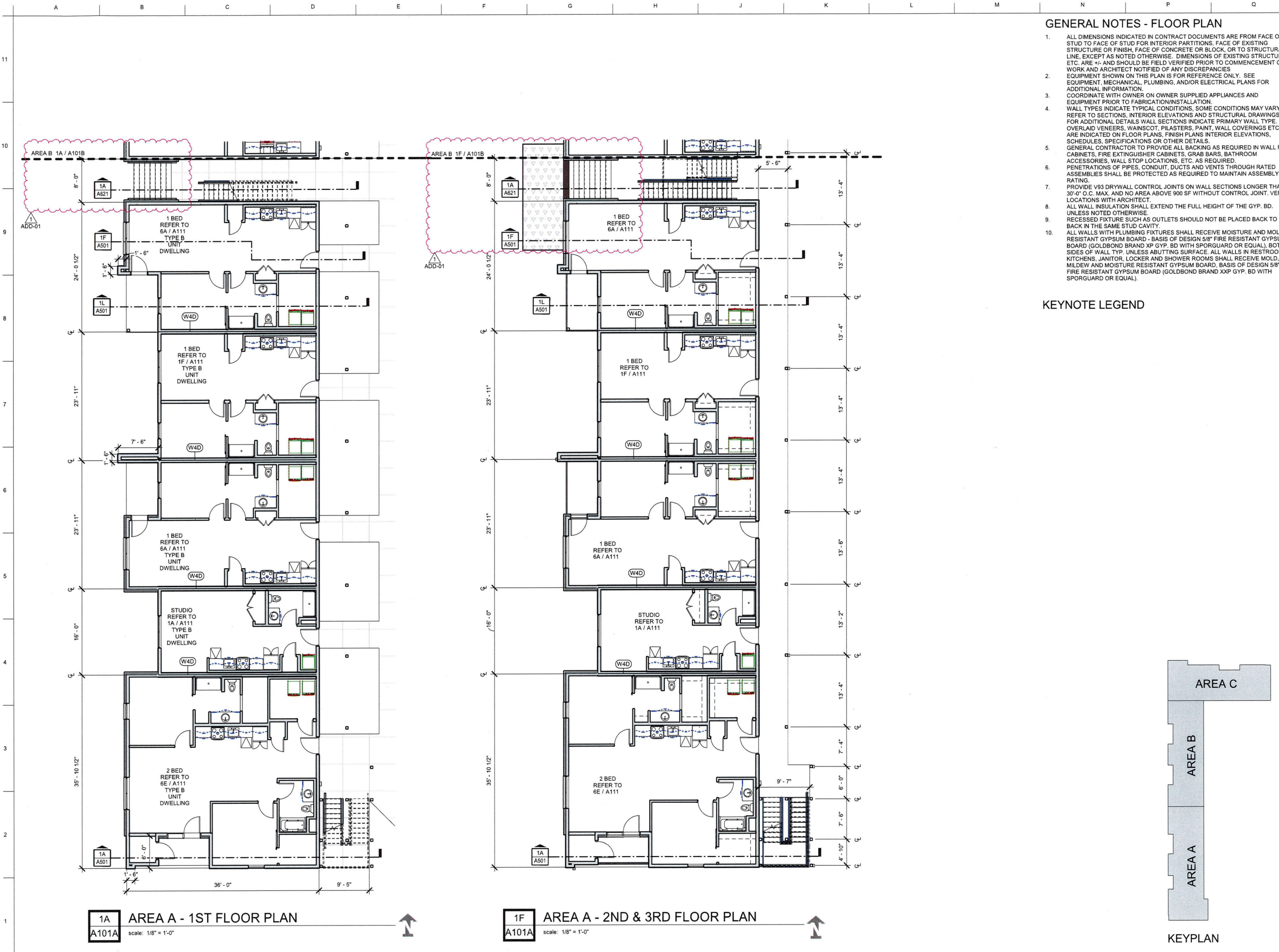
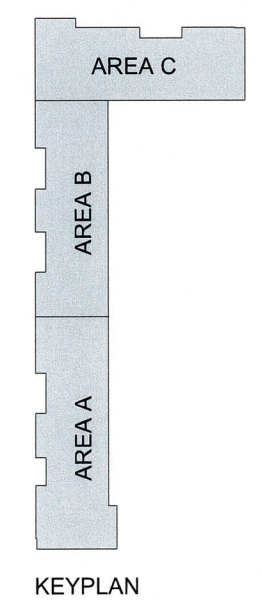
ENLARGED FLOOR PLAN - AREA A

SHEET
A101A

GENERAL NOTES - FLOOR PLAN

- ALL DIMENSIONS INDICATED IN CONTRACT DOCUMENTS ARE FROM FACE OF STUD TO FACE OF STUD FOR INTERIOR PARTITIONS. FACE OF EXISTING STRUCTURE OR FINISH, FACE OF CONCRETE OR BLOCK, OR TO STRUCTURAL LINE, EXCEPT AS NOTED OTHERWISE. DIMENSIONS OF EXISTING STRUCTURE, ETC. ARE +, AND SHOULD BE FIELD VERIFIED PRIOR TO COMMENCEMENT OF WORK AND ARCHITECT NOTIFIED OF ANY DISCREPANCIES.
- EQUIPMENT SHOWN ON THIS PLAN IS FOR REFERENCE ONLY. SEE EQUIPMENT, MECHANICAL, PLUMBING, AND/OR ELECTRICAL PLANS FOR ADDITIONAL INFORMATION.
- COORDINATE WITH OWNER ON OWNER SUPPLIED APPLIANCES AND EQUIPMENT PRIOR TO FABRICATION/INSTALLATION.
- WALL TYPES INDICATE TYPICAL CONDITIONS, SOME CONDITIONS MAY VARY, REFER TO SECTIONS, INTERIOR ELEVATIONS AND STRUCTURAL DRAWINGS FOR ADDITIONAL DETAILS WALL SECTIONS INDICATE PRIMARY WALL TYPE. OVERLAIN VENEERS, WAINSCOT, PILASTERS, PAINT, WALL COVERINGS ETC. ARE INDICATED ON FLOOR PLANS, FINISH PLANS INTERIOR ELEVATIONS, SCHEDULES, SPECIFICATIONS OR OTHER DETAILS.
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KEYNOTE LEGEND



1A AREA A - 1ST FLOOR PLAN
A101A scale: 1/8" = 1'-0"

1F AREA A - 2ND & 3RD FLOOR PLAN
A101A scale: 1/8" = 1'-0"

FOR CONSTRUCTION BY THE CITY OF SPRINGFIELD, MO
BUILDING OFFICIAL
 REVIEWED FOR COMPLIANCE WITH THE CITY CODE, ADOPTED BUILDING CODES, ZONING ORDINANCE AND DESIGN STANDARDS. THIS REVIEW AND APPROVAL DOES NOT RELIEVE THE ARCHITECT OR HIS AGENTS OF ANY RESPONSIBILITY FOR COMPLIANCE WITH ALL APPLICABLE REQUIREMENTS, OR JURISDICTIONS OR AGENCIES, UNLESS SPECIFICALLY NOTED OTHERWISE.
 5039 S National Avenue | Springfield, MO 65810 | 417.887.6595

OWNER
 HMNT INVESTMENTS, LLC
 722-B WEST OLIVE STREET
 SPRINGFIELD, MO. 65806
DATE
 6/25/2024
PROJECT NO.
 PRJ2023-02089

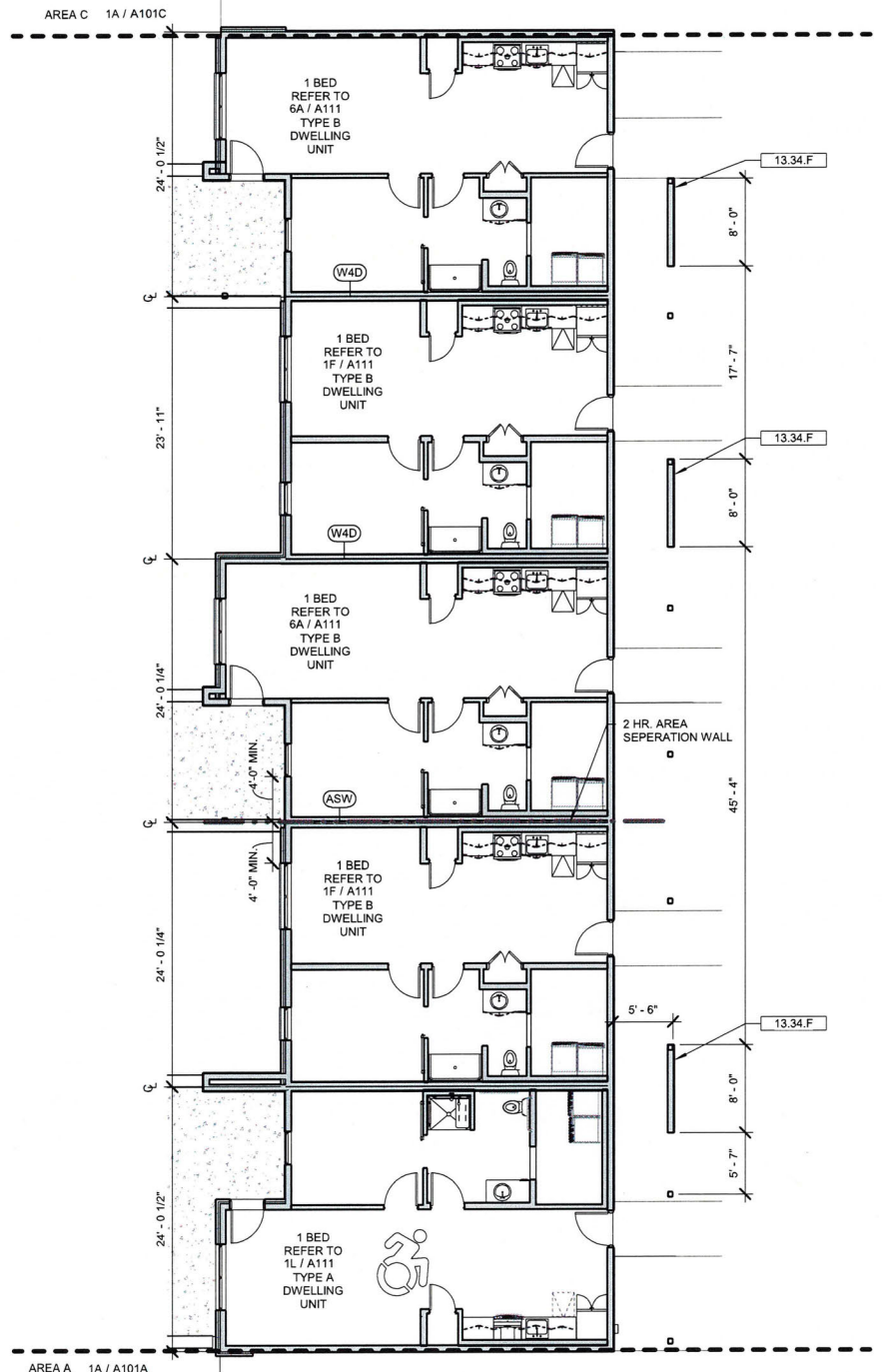
PROJECT TEAM
 CIVIL ENGINEER
 OWEN ENGINEERING
 3213 SOUTH WEST BYPASS
 SPRINGFIELD, MO. 65807
 417.866.2741
 STRUCTURAL ENGINEER
 PINNACLE DESIGN CONSULTANTS
 304 WEST ERIE STREET
 SPRINGFIELD, MO. 65807
 417.501.8820
 MEP ENGINEER
 CJD ENGINEERING
 2225 WEST CHESTERFIELD ST. SUITE 200
 SPRINGFIELD, MO. 65807
 417.877.1700
 INTERIOR DESIGNER
 CREATIVE DESIGN CONSULTANTS
 1513 EAST WALNUT STREET
 SPRINGFIELD, MO. 65802
 417.886.4258

GENERAL NOTES - FLOOR PLAN

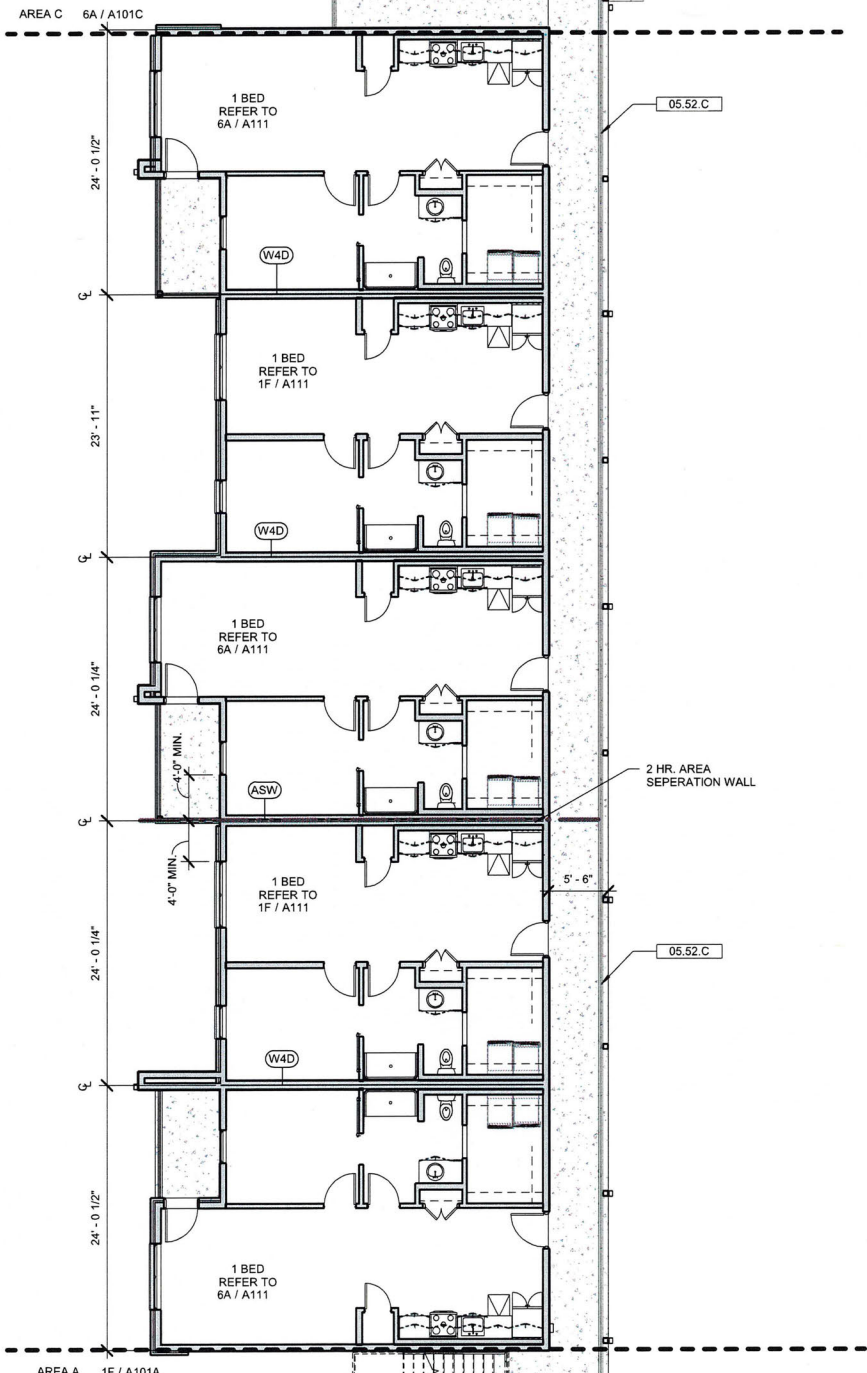
1. ALL DIMENSIONS INDICATED IN CONTRACT DOCUMENTS ARE FROM FACE OF STUD TO FACE OF STUD FOR INTERIOR PARTITIONS, FACE OF EXISTING STRUCTURE OR FINISH, FACE OF CONCRETE OR BLOCK, OR TO STRUCTURAL LINE, EXCEPT AS NOTED OTHERWISE. DIMENSIONS OF EXISTING STRUCTURE, ETC. ARE +/- AND SHOULD BE FIELD VERIFIED PRIOR TO COMMENCEMENT OF WORK AND ARCHITECT NOTIFIED OF ANY DISCREPANCIES
2. EQUIPMENT SHOWN ON THIS PLAN IS FOR REFERENCE ONLY. SEE EQUIPMENT, MECHANICAL, PLUMBING, AND/OR ELECTRICAL PLANS FOR ADDITIONAL INFORMATION.
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KEYNOTE LEGEND

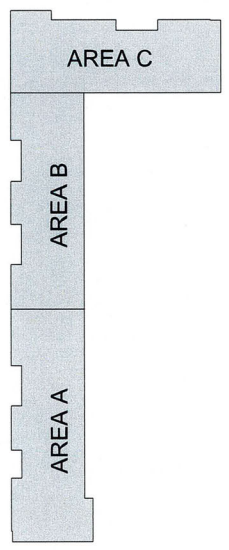
- 05.52.C METAL GUARDRAILS PER SPECIFICATIONS. TOP OF RAIL TO BE AT 42" A.F.F.
- 13.34.F DECORATIVE FIBER CEMENT PARTITION WALL. SEE DETAIL SHEETS (ALL DISCIPLINES) AND SPECIFICATIONS FOR MORE INFORMATION.



1A AREA B - 1ST FLOOR PLAN
 A101B scale: 1/8" = 1'-0"



1F AREA B - 2ND & 3RD FLOOR PLAN
 A101B scale: 1/8" = 1'-0"



KEYPLAN

NO.	DESCRIPTION	DATE

PROJECT NO.: 23-037 DRAWN BY: HDG
 DATE: 11.21.2023 REVIEWED BY: HDG

PROFESSIONAL SEAL
 MATTHEW A. CAPEN
 PROFESSIONAL TITLE: ARCHITECT
 MO# A-2011006167



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PROJECT TITLE
 The Dale
 PROJECT ADDRESS:
 1112 GRANT AVE
 SPRINGFIELD, MISSOURI 65807

ENLARGED FLOOR PLAN - AREA B

SHEET
A101B

REVIEWER FOR COMPLIANCE WITH THE CITY CODE, ADOPTED BUILDING CODES, ZONING ORDINANCE AND DESIGN STANDARDS - THIS REVIEW AND APPROVAL DOES NOT RELIEVE THE REVIEWER OR HIS AGENTS OF ANY RESPONSIBILITY FOR COMPLIANCE WITH ALL APPLICABLE REQUIREMENTS, OR JURISDICTIONS OR AGENCIES, UNLESS SPECIFICALLY NOTED OTHERWISE.
5030 S National Avenue | Springfield, MO 65810 | 417.887.6595

OWNER: HMNT INVESTMENTS, LLC
722 S WEST OLIVE STREET
SPRINGFIELD, MO. 65806
417.886.5666
DATE: 6/25/2024

PROJECT NO: PRJ2023-02089

PROJECT TEAM

CIVIL ENGINEER
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STRUCTURAL ENGINEER
PINNACLE DESIGN CONSULTANTS
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SPRINGFIELD, MO. 65807
417.501.8820

MEP ENGINEER
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417.877.1700

INTERIOR DESIGNER
CREATIVE DESIGN CONSULTANTS
1513 EAST WALNUT STREET
SPRINGFIELD, MO. 65802
417.886.4258

GENERAL NOTES - FLOOR PLAN

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KEYNOTE LEGEND

REVISIONS

NO.	DESCRIPTION	DATE
1	ADD-01	1/24/2024

PROJECT NO.: 23-037 DRAWN BY: HDG
DATE: 11.21.2023 REVIEWED BY: HDG

PROFESSIONAL SEAL

MATTHEW A. CAPEN
PROFESSIONAL TITLE: ARCHITECT
MO# A-2011006167



Digitally signed by Matthew A. Capen
Date: 2024.01.24
07:49:08 -0600

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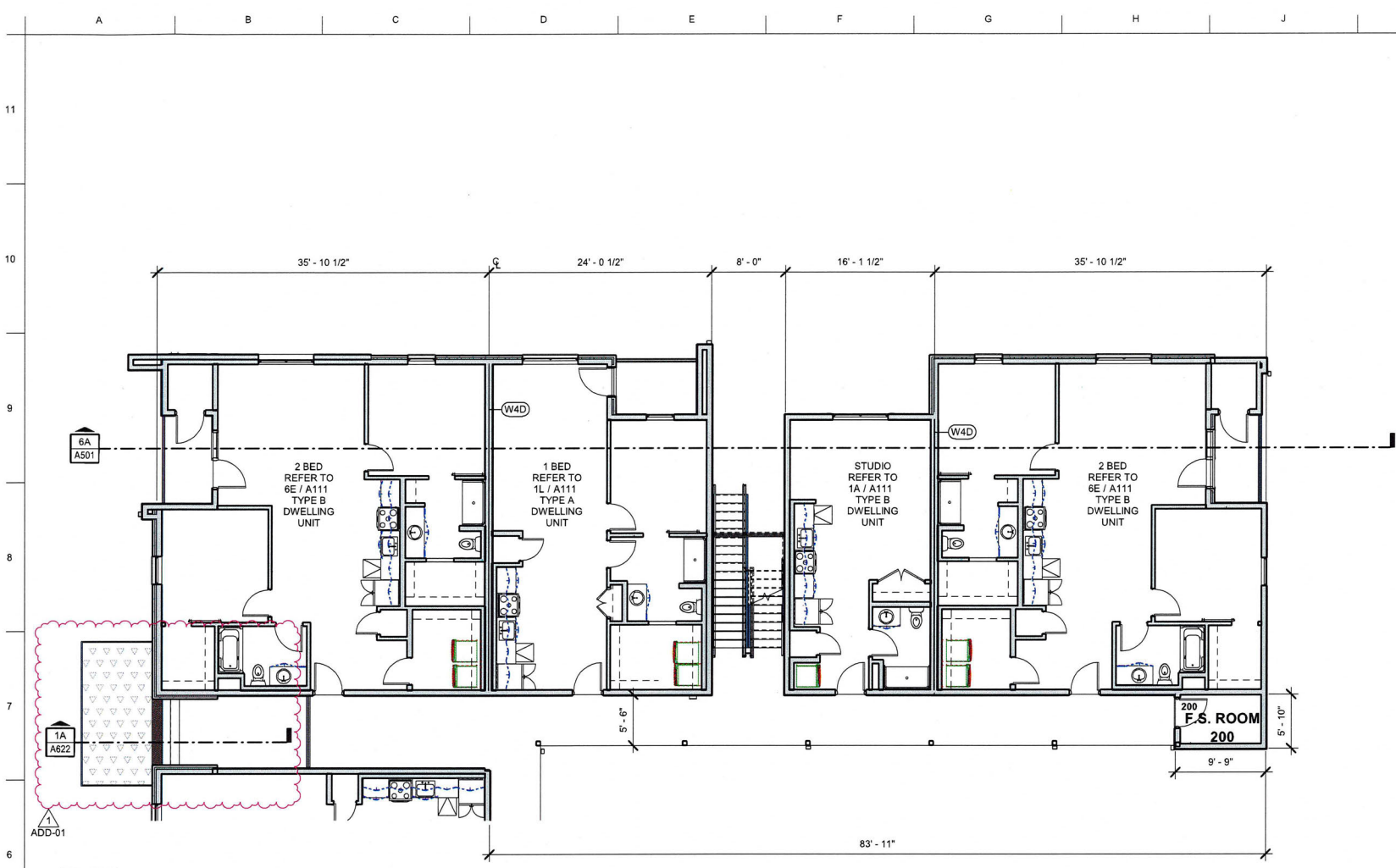
PROJECT TITLE

The Dale

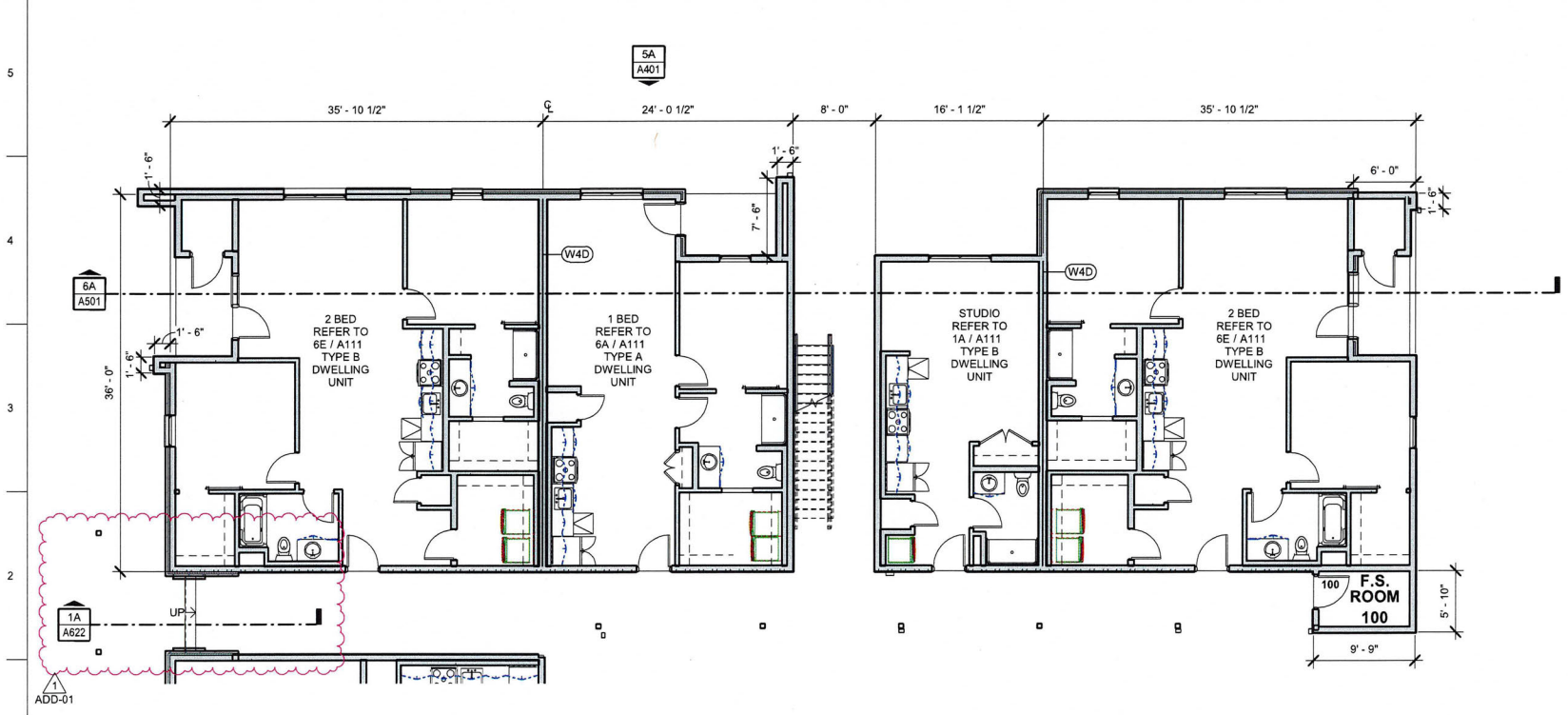
PROJECT ADDRESS:
1112 GRANT AVE
SPRINGFIELD, MISSOURI 65807

ENLARGED FLOOR PLAN - AREA C

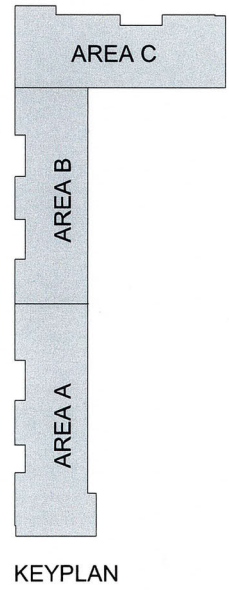
SHEET
A101C



6A AREA C - 2ND & 3RD FLOOR PLAN
scale: 1/8" = 1'-0"



1A AREA C - 1ST FLOOR PLAN
scale: 1/8" = 1'-0"



REVIEWED FOR COMPLIANCE WITH THE CITY CODE, ADOPTED BUILDING CODES, ZONING ORDINANCE AND DESIGN STANDARDS. THIS REVIEW AND APPROVAL DOES NOT RELIEVE THE DESIGNER OF HIS OBLIGATION TO MAINTAIN THE DESIGN OR OF ANY APPLICABLE REQUIREMENTS, OR ADDRESS OR CORRECT THE REQUIREMENTS OF OTHER JURISDICTIONS OR AGENCIES, UNLESS SPECIFICALLY NOTED OTHERWISE.

OWNER: **HMNT INVESTMENTS, LLC**
722 WEST OLIVE STREET
SPRINGFIELD, MO 65806

DATE: **6/25/2024**

PROJECT NO: **PRJ2023-02089**

PROJECT TEAM

CIVIL ENGINEER
OWN ENGINEERING
3213 SOUTH WEST BYPASS
SPRINGFIELD, MO 65807
417.866.2741

STRUCTURAL ENGINEER
PINNACLE DESIGN CONSULTANTS
304 WEST ERIE STREET
SPRINGFIELD, MO 65807
417.501.8820

MEP ENGINEER
CJD ENGINEERING
2225 WEST CHESTERFIELD ST. SUITE 200
SPRINGFIELD, MO 65807
417.877.1700

INTERIOR DESIGNER
CREATIVE DESIGN CONSULTANTS
1515 EAST WALNUT STREET
SPRINGFIELD, MO 65802
417.866.4258

REVISIONS

NO.	DESCRIPTION	DATE
1	ADD-01	1/24/2024

PROJECT NO.: 23-037 DRAWN BY: HDG
DATE: 11.21.2023 REVIEWED BY: HDG

PROFESSIONAL SEAL
MATTHEW A. CAPEN
PROFESSIONAL TITLE: ARCHITECT
MO# A-2011006167



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PROJECT TITLE

The Dale
PROJECT ADDRESS:
1112 GRANT AVE
SPRINGFIELD, MISSOURI 65807

UNIT PLANS

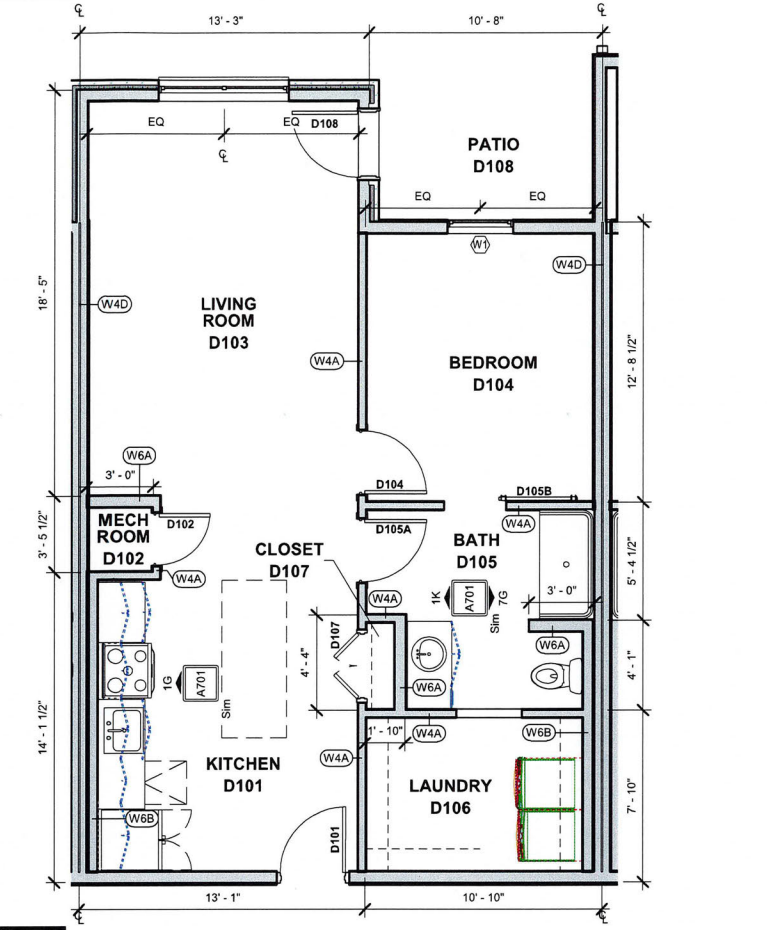
A111

GENERAL NOTES - FLOOR PLAN

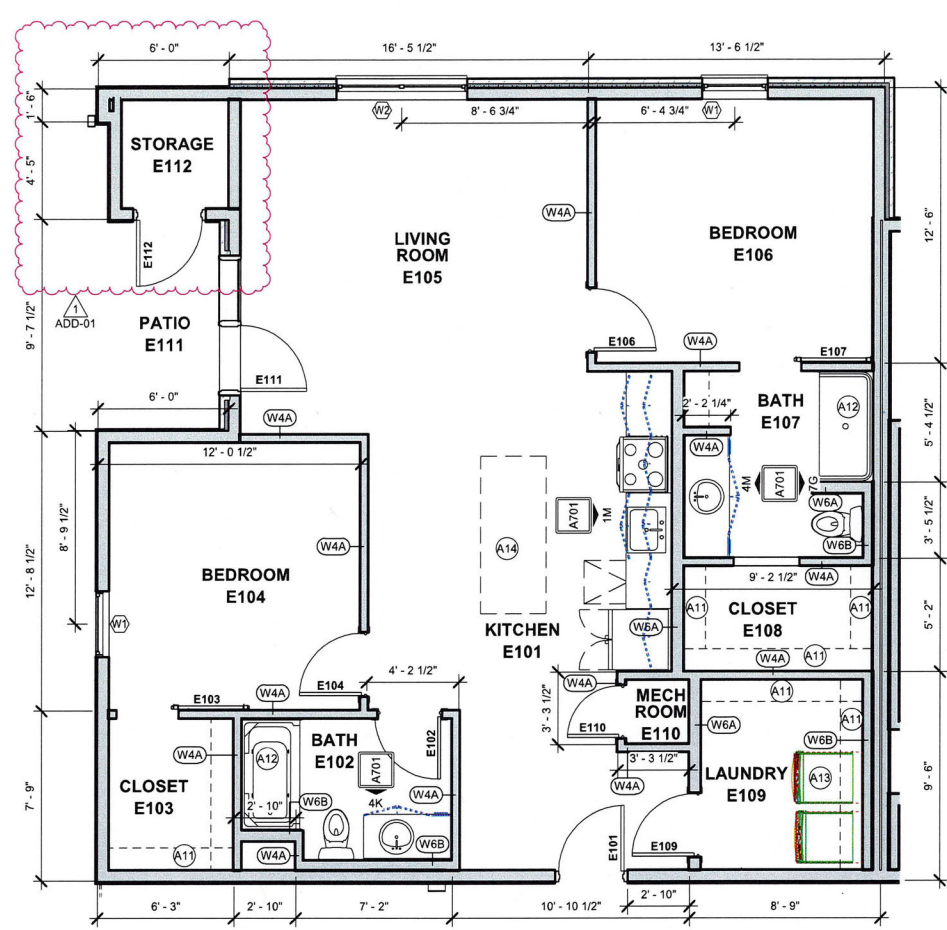
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KEYNOTE LEGEND

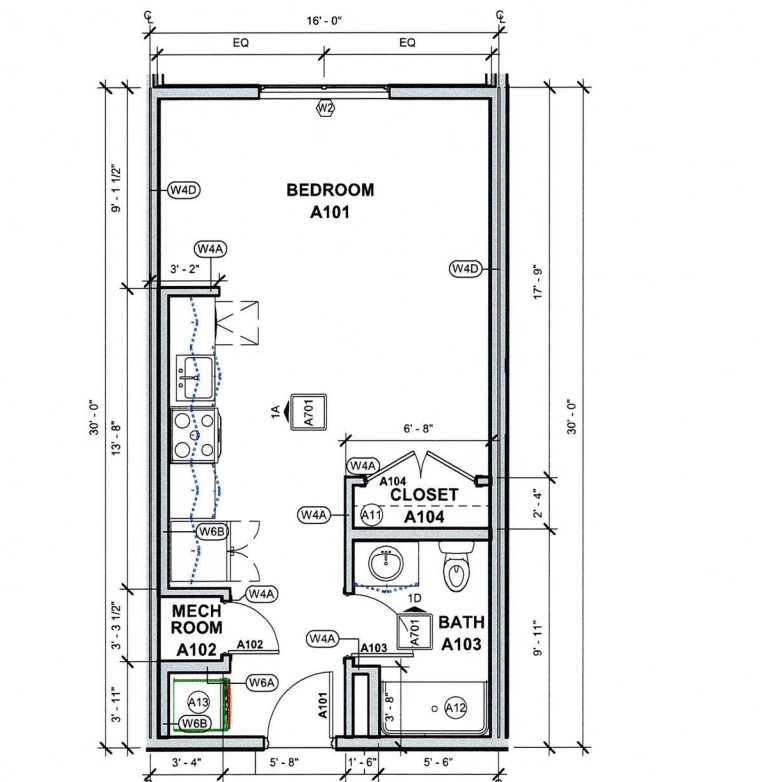
- A11 BUILT IN SHELVING, COORDINATE BLOCKING, FINAL HEIGHTS, AND LOCATION WITH OWNERS PRIOR TO INSTALLATION. SEE SPECIFICATIONS FOR MORE INFORMATION.
- A12 VERIFY EXACT ROUGH IN DIMENSION REQUIREMENTS WITH APPROVED SHOWERS/TUB SUBMITTALS PRIOR TO FRAMING, IF ADJACENT TO A RATED CORRIDOR OR TENANT SEPARATION WALL. ADJUST THE ROUGH OPENING TO ACCOMMODATE THE CONTINUOUS LAYER OF FIRED RATED MOISTURE RESISTANT GYPSUM BOARD.
- A13 WASHER AND DRYER TO BE PROVIDED BY CONTRACTOR HAVE BEEN DESIGNED AROUND STANDARD INDUSTRY DIMENSIONS. COORDINATE WITH OWNER ANY VARIANCES IN APPLIANCE DIMENSIONS SO ADJUSTMENTS TO ROOM DIMENSIONS OR DOOR SIZES CAN BE MADE.
- A14 KITCHEN ISLAND FURNITURE TO BE SELECTED BY INTERIOR DESIGNER/OWNER.



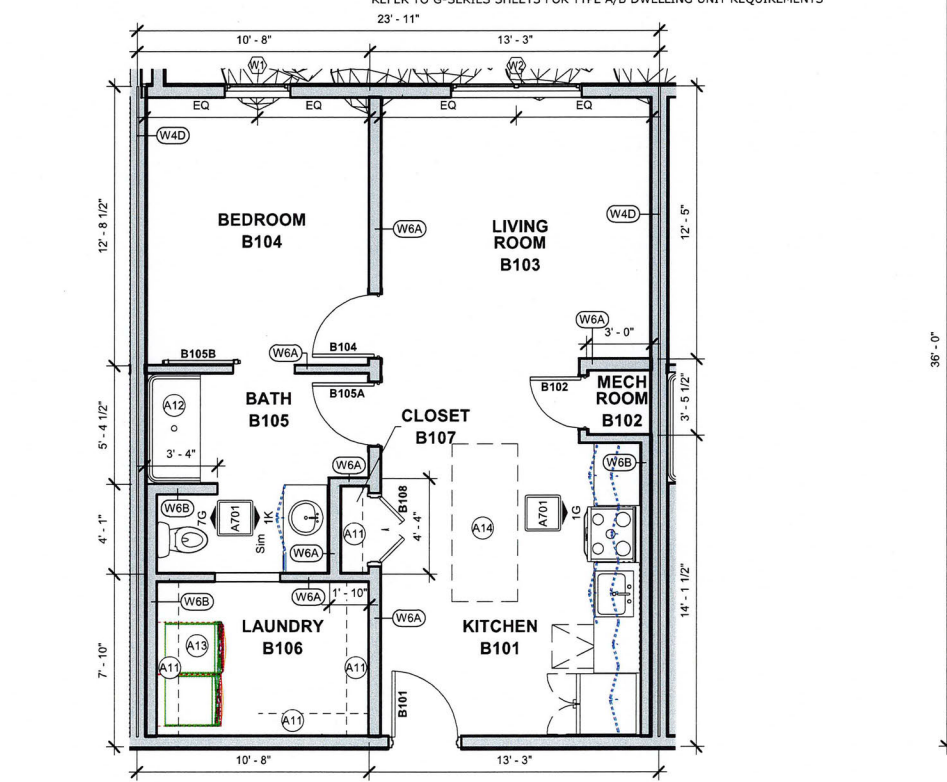
6A UNIT D - 1BED 800 SF
A111 scale: 1/4" = 1'-0"



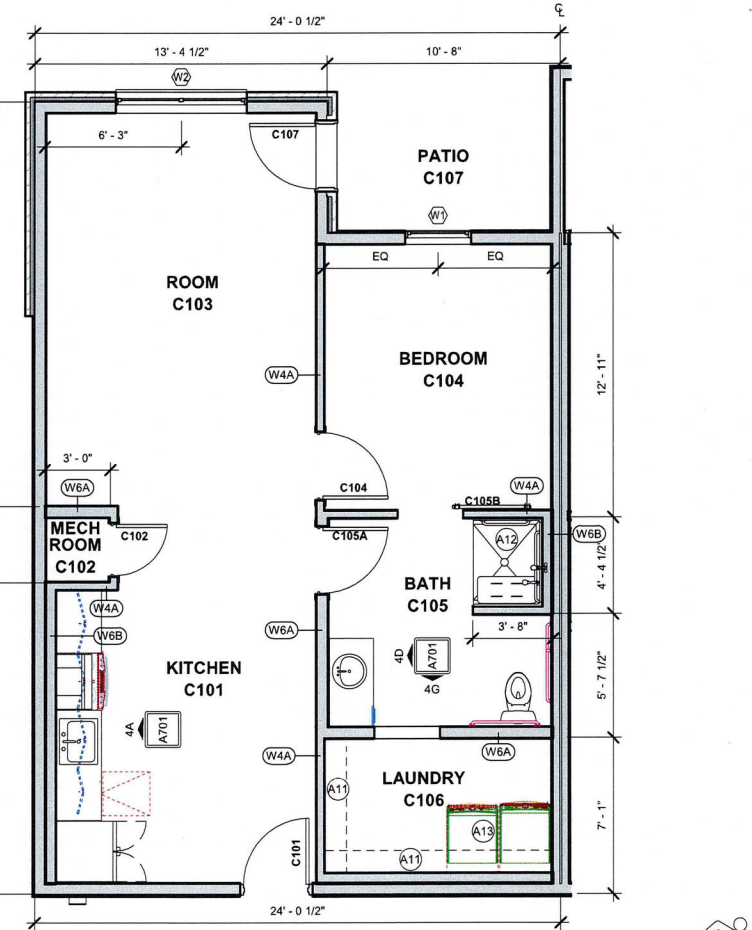
6E UNIT E - 2 BED 1193 SF
A111 scale: 1/4" = 1'-0"



1A UNIT A - STUDIO 483 SF
A111 scale: 1/4" = 1'-0"



1F UNIT B - 1 BED 721 SF
A111 scale: 1/4" = 1'-0"



1L UNIT C - 1 BED 800 SF
A111 scale: 1/4" = 1'-0"

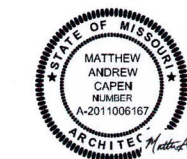
OWNER: HMMT INVESTMENTS, LLC
 722 BIRMA DRIVE ST.
 SPRINGFIELD, MO 65806
 (417) 887-2741
 DATE: 6/25/2024
 PROJECT NO: PHJ2023-02089

PROJECT TEAM
 CIVIL ENGINEER
 OWN
 3213 S. WEST BYPASS
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 (417) 886-2741
 STRUCTURAL ENGINEER
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 504 WEST ERIE STREET, SUITE B
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 (417) 501-8820
 MEP ENGINEER
 CJD ENGINEERING
 2225 W. CHESTERFIELD ST. #200
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 (417) 877-1700
 INTERIOR DESIGNER
 CREATIVE DESIGN CONSULTANTS
 1513 E. WALNUT STREET
 SPRINGFIELD, MO 65802
 (417) 886-4258

REVISIONS		
NO.	DESCRIPTION	DATE
1	ADDENDUM #1	01/24/2024
2	ADDENDUM #2	02/08/2024

PROJECT NO.: 23-037 DRAWN BY: HDG
 DATE: 11.21.2023 REVIEWED BY: MAC

PROFESSIONAL SEAL
 MATTHEW A. CAPEN, AIA
 PROFESSIONAL TITLE: ARCHITECT
 MO# A-2011006187



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PROJECT TITLE:
 THE DALE
 PROJECT ADDRESS:
 1112 S GRANT AVE
 SPRINGFIELD, MO 65804

ARCHITECTURAL SITE PLAN

AS101

LANDSCAPING SCHEDULE

LANDSCAPING IS SHOWN GRAPHICALLY, BUT A LANDSCAPING PLAN DONE BY THE LANDSCAPING CONTRACTOR WILL BE A DEFERRED SUBMITTAL AND INCLUDED INTO THE CONSTRUCTION SET OF DRAWINGS ONCE THE CONTRACTOR SELECTS THE LANDSCAPING CONTRACTOR. THE LANDSCAPING CONTRACTOR SHALL PROVIDE A LANDSCAPING DESIGN AND PROVIDE LANDSCAPE SPECIES THAT FOLLOWS DIVISION 7, SECTION 36-492 OF THE GRANT AVENUE PARKWAY DISTRICT STANDARDS UNDER ARTICLE III OF THE CITY OF SPRINGFIELD LAND DEVELOPMENT CODE. THE FOLLOWING DESIGN STANDARDS SHALL BE INCORPORATED INTO THE LANDSCAPING PLAN:

PARKING LOT INTERIOR LANDSCAPING (ISLANDS): IN PARKING LOTS WITH 15 TO 100 SPACES, REQUIRED PARKING LOT INTERIOR LANDSCAPING SHALL CONSIST OF (1) CANOPY TREE.

PARKING LOT INTERIOR LANDSCAPING (MEDIAN): IN PARKING LOTS WITH 15 TO 100 SPACES, REQUIRED PARKING LOT INTERIOR LANDSCAPING SHALL CONSIST OF (1) CANOPY TREE AND (15) SHRUBS OR NATIVE GRASSES EVERY 50 LINEAR FEET OF PARKING LOT MEDIAN.

FOUNDATION LANDSCAPING: PLANTINGS INCLUDING TREES, SHRUBS, NATIVE GRASSES, AND GROUND COVER SHALL BE INSTALLED ACROSS 80% OF THE LENGTH OF THE FRONT AND EXTERIOR SIDE FACADE OF THE BUILDINGS. THE PLANTINGS SHALL BE SET 18" ON CENTER OFF OF THE FOUNDATION / EXTERIOR FACE OF THE BUILDING.

SCREENING AROUND TRASH ENCLOSURE: PROVIDE SHRUBS INSTALLED EVERY THREE FEET ALONG THE EXTERIOR OF THE ENCLOSURE, WITH THE EXCEPTION OF ENCLOSURE OPENINGS.

LANDSCAPE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL UNDERGROUND UTILITIES PRIOR TO THE INSTALLATION OF PLANT MATERIAL.

ALL TREE SAUCERS AND SHRUB PLANTINGS ARE TO BE MULCHED WITH A MINIMUM OF 2" DEEP OF SHREDDED CYPRESS MULCH.

ALL PROPOSED PLANTINGS SHALL BE EXCAVATED TO A DEPTH TO ALLOW THE PLANTING OF A 2.5" DB TREE. ALL ROCK, TRACES OF SOIL STABILIZATION MATERIAL, ROCK SUB-BASE, AND COMPACTED SOIL SHOULD BE REMOVED TO CREATE A PLANT PIT.

THE PLANTING SOIL MIXTURE FOR ALL TREES, SHRUBS, AND GROUND COVER IS TO BE TOPSOIL.

THE FINISHED GRADE AT ALL SIDEWALKS & CURBS OR ANY PAVED SURFACE NEXT TO A MULCHED BED IS TO BE 2" BELOW THE TOP OF THE CURB OR PAVEMENT.

VERIFY ALL EASEMENT LOCATIONS AND REQUIREMENTS. CONSULT ARCHITECT FOR ANY CONFLICTS WITH EASEMENTS OR UNDERGROUND UTILITIES PRIOR TO INSTALLING ANY PLANT MATERIALS.

FIRE CODE LANDSCAPE GUIDELINE REQUIRE COMBUSTIBLE LANDSCAPING MATERIALS SHALL NOT BE WITHIN 18 INCHES OF ANY COMMERCIAL BUILDING. COMBUSTIBLE LANDSCAPING MATERIAL SHALL NOT BE WITHIN 18 INCH RADIUS AROUND GAS METERS. RECEPTACLES FOR DISCARDED SMOKING MATERIALS SHALL BE NO CLOSER THAN 18 INCHES TO COMBUSTIBLE LANDSCAPING MATERIAL / MULCH AND SHALL BE EMPTIED REGULARLY.

FINAL CERTIFICATE OF OCCUPANCY CANNOT BE ISSUED UNTIL A LANDSCAPE PLAN HAS BEEN SUBMITTED AND APPROVED.

FIRE APPARATUS ACCESS LANE

FIRE APPARATUS ACCESS LANES SHALL BE MARKED WITH 4" RED STRIPING ON BOTH SIDES OF THE FIRE LANE ALONG THE ENTIRE LENGTH OF THE LANE.

"NO PARKING - FIRE LANE" SHALL BE STENCILED IN 12" LETTERS EVERY 50' IN THE CENTER OF THE FIRE LANE (PERPENDICULAR TO TRAFFIC FLOW AND IN ALTERNATING DIRECTIONS).

IF A CURB IS PRESENT ALONG ONE SIDE OF THE LANE, THE CURB SHOULD BE PAINTED RED IN PLACE OF THE 4" STRIPING (2018 IFC SECTION 503.3).

A DEAD-END FIRE ACCESS LANE THAT EXCEEDS 150 FEET IN LENGTH SHALL INSTALL A FIRE APPARATUS TURN AROUND PER 2018 IFC SECTION 503 & APPENDIX D.

TRAFFIC CALMING DEVICES WITHIN THE FIRE LANES ARE PROHIBITED (2018 IFC SECTION 503.4.1).

THE MINIMUM FIRE DEPARTMENT APPARATUS ACCESS REQUIREMENTS ARE 20 FOOT ROAD WIDTH OR 26 FOOT ROAD WIDTH WHEN EAVE/PARAPET IS GREATER THAN 30 FEET, PROXIMITY TO STRUCTURES, 28 FOOT INSIDE TURNING RADIUS, REQUIRED FIRE LANE MARKING, 8% OR LESS GRADE, FIRE APPARATUS TURN AROUND IF GREATER THAN 150 FEET IN LENGTH WITH A DEAD END, & CAPABLE OF SUPPORTING 85,000 LB FIRE APPARATUS-IMPOSED LOAD. (2018 IFC SECTION 503, APPENDIX D, & CITY ORDINANCE 6675)

ZONING DATA

AREA OF SITE (ACRES) 1.46 ACRES
 YARD REQUIREMENTS FRONT YARD MINIMUM - 15 FEET
 FRONT YARD MAXIMUM - 25 FEET
 EXTERIOR SIDE YARD MINIMUM - 15 FEET
 EXTERIOR SIDE YARD MAXIMUM - 25 FEET
 INTERIOR SIDE YARD MINIMUM - 6 FEET
 REAR YARD - N/A

UNIT DENSITY 28 DU/AC (42 UNITS ON 1.46 ACRES)
 BUILDING HEIGHT 3 STORIES
 OPEN SPACE 30% - 19,082 / 63,846 S.F.
 CURRENT ZONING GAP - F
 PERMITTED USE MULTIFAMILY
 PARKING REQUIREMENTS STUDIO - ONE & ONE-HALF SPACES/UNIT
 1 BED - ONE & ONE-HALF SPACES/UNIT
 2 BED - TWO SPACES/UNIT

SPACES REQUIRED: 54 SPACES
 ACCESSIBLE SPACES REQUIRED: 3 SPACES

BICYCLE PARKING 5% OF REQUIRED PARKING SPACES
 4 BIKE SPACES

PARKING PROVIDED 65 VEHICLE SPACES

UNIT MIX

UNIT A (STUDIO)	TYPE B	QUANTITY	LEASABLE S.F.
UNIT A (1BR W/BALCONY)	TYPE A	1	800
UNIT B (1BR W/BALCONY)	TYPE B	17	800
UNIT C (1BR)	TYPE B	9	720
UNIT E (2BR W/BALCONY)	TYPE B	9	1200
			42 UNITS

ACCESSIBILITY (1107)

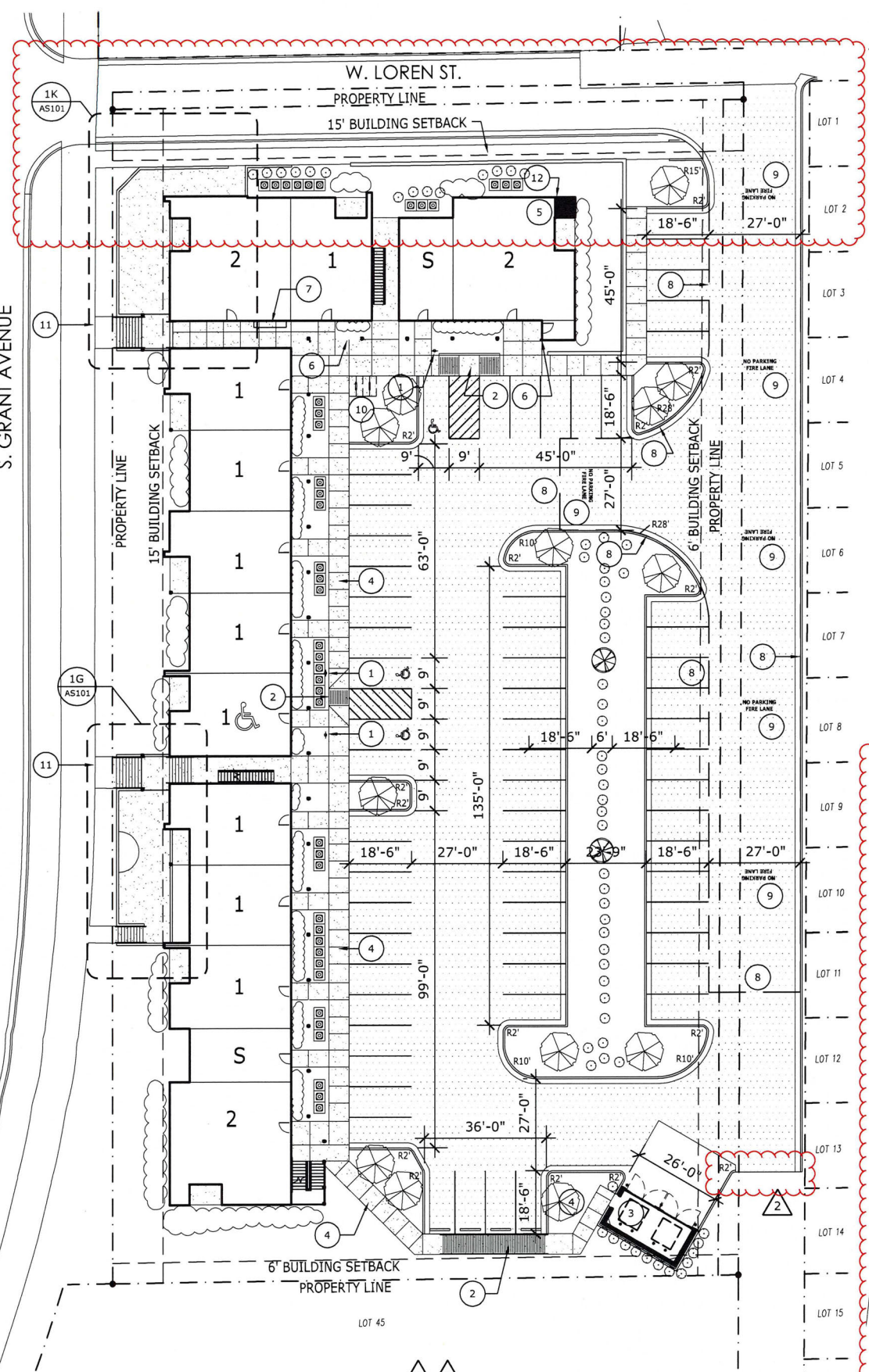
SECTION 1107.6.2.1.1 FOR GROUP R-2: "AT LEAST 2 PERCENT, BUT NOT LESS THAN ONE, OF THE DWELLING UNITS AND SLEEPING UNITS SHALL BE A TYPE A UNIT."
 OUT OF 42 UNITS, 1 WILL BE A TYPE A UNIT.

KEYNOTES

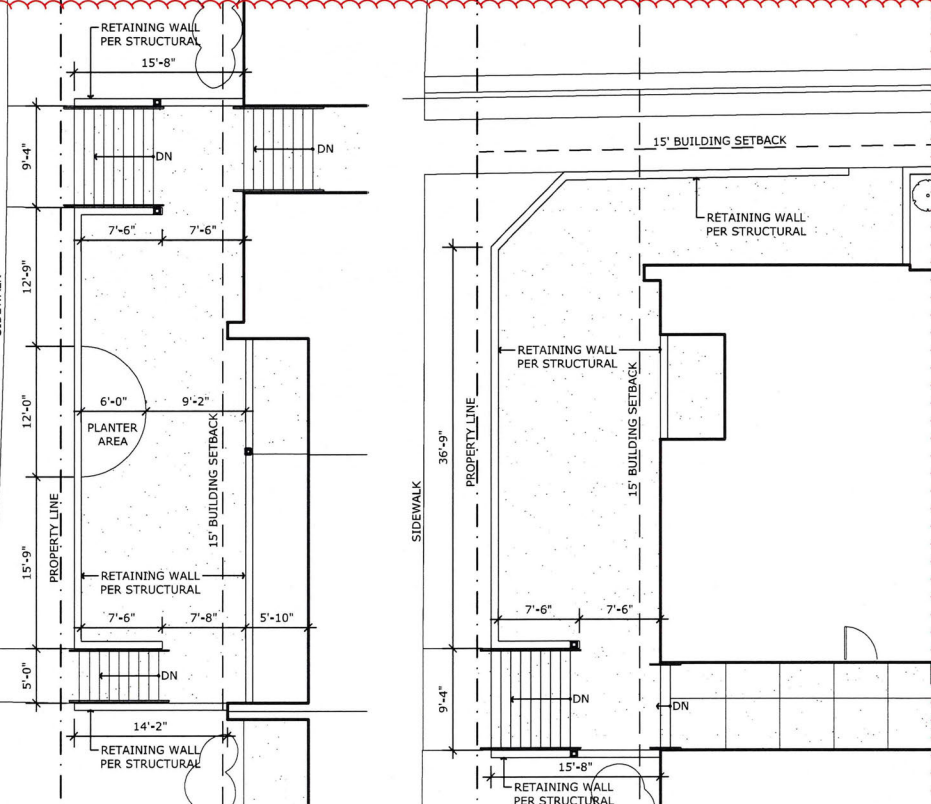
- PROVIDE ACCESSIBLE PARKING SIGNAGE (POLE MOUNTED) AT EACH ACCESSIBLE PARKING SPOT PER DETAIL ON SHEET AS102.
- PROVIDE ACCESSIBLE CURB RAMP PER DETAIL ON SHEET AS102.
- REFER TO ENLARGED PLAN DETAIL & ELEVATION ON SHEET AS102 FOR DETAILS OF TRASH ENCLOSURE.
- PROVIDE 6 FOOT WIDE SIDEWALK ADJACENT TO PARKING LOTS AND 5 FOOT WIDE SIDEWALKS ELSEWHERE. REFER TO CONCRETE JOINT DETAILS ON SHEET AS102 FOR CONTROL AND EXPANSION JOINT REQUIREMENTS.
- SOLID BOX INDICATES PROPOSED LOCATION OF FIRE SPRINKLER RISER ROOM. VERIFY WITH FIRE DEPARTMENT AND CROSS COORDINATE WITH SITE UTILITY PLAN. CONTRACTOR TO PROVIDE A "FIRE RISER ROOM" SIGN ON DOOR AND ALL-WEATHER WHITE SIGN WITH "FDC" IN RED LETTERS THAT ARE 6-8 INCHES TALL WITH A 1.5 - 2 INCH BRUSH STROKE THAT IS INSTALLED 2-3 FEET ABOVE THE FIRE DEPARTMENT CONNECTION.
- CONTRACTOR SHALL INSTALL A KNOX KEY BOX FOR EACH FIRE SPRINKLER ROOM NEAR THE MAIN ENTRANCE AT 5 FEET ABOVE FINISH FLOOR. ORDER AT WWW.KNOXBOX.COM - SPECIFY SPRINGFIELD, MO. AFTER INSTALLATION, CALL FIRE DEPARTMENT COMMUNITY RISK AT 417-874-2349 TO SCHEDULE A FIRE CREW TO LOCK THE BOX FOR YOU.
- LOCATION OF FLOOR MOUNTED MAILBOXES PER SPECS.
- DARK LINE INDICATES FIRE LANE TO BE STRIPED ON THE PAVEMENT. THIS AREA SHALL ALSO BE CONSTRUCTED PRIOR TO FRAMING TO ACT AS A TEMPORARY FIRE LANE. FIRE APPARATUS ACCESS LANES SHALL BE MARKED WITH 4" RED STRIPING ON BOTH SIDES OF THE FIRE LANE ALONG THE ENTIRE LENGTH OF THE LANE. IF A CURB IS PRESENT ALONG ONE SIDE OF THE LANE, THE CURB SHOULD BE PAINTED IN PLACE OF THE 4" STRIPING.
- CONTRACTOR SHALL STENCIL "NO PARKING - FIRE LANE" IN 12" LETTERS EVERY 50' (PERPENDICULAR TO TRAFFIC FLOW AND IN ALTERNATING DIRECTIONS) ALONG CENTER OF FIRE LANE AS INDICATED.
- BIKE RACK PER DETAIL ON SHEET AS102.
- CONTRACTOR TO CONNECT SIDEWALK TO FUTURE SIDEWALK EXPANSION ON GRANT AVE.
- CONTRACTOR TO INSTALL FDC FOR SPRINKLER SYSTEMS AS 2-1/2 SIAMSE LOCATED ON THE NORTH WALL OF THE RISER ROOM 3 FOOT ABOVE GRADE. PROVIDE KNOX LOCKING CAPS FOR THE FDC AND INSTALL AN ALL-WEATHER WHITE SIGN WITH FDC IN RED LETTERS THAT ARE 6-8 INCHES TALL WITH A 1.5 - 2 INCH BRUSH STROKE 2 - 3 FEET ABOVE THE FDC.

SITE LEGEND

- DECIDUOUS CANOPY TREE: A WOODY PLANT (DECIDUOUS OR EVERGREEN) HAVING NOT LESS THAN A TWO AND ONE-HALF-INCH CALIPER WITH SINGLE CENTRAL AXIS WHICH TYPICALLY REACHES A MATURE HEIGHT OF NOT LESS THAN 40 FEET AND A MATURE SPREAD OF NOT LESS THAN 15 FEET. REFER TO AS102 FOR PLANTING DETAIL.
- DECIDUOUS UNDERSTORY TREE: A WOODY PLANT HAVING NOT LESS THAN A ONE AND ONE-HALF-INCH CALIPER, OR SIX FEET TALL FOR MULTIPLE STEM SPECIES, THAT NORMALLY ATTAINS A MATURE HEIGHT OF AT LEAST 15 FEET. REFER TO AS102 FOR PLANTING DETAIL.
- EVERGREEN SHRUB: A WOODY PLANT (EVERGREEN) OF LOW TO MEDIUM HEIGHT CHARACTERIZED BY MULTIPLE STEMS CONTINUOUS FROM ITS BASE AND HAVING A HEIGHT OF NOT LESS THAN TWO FEET. REFER TO AS102 FOR PLANTING DETAIL.
- DECIDUOUS SHRUB: A WOODY PLANT (DECIDUOUS) OF LOW TO MEDIUM HEIGHT CHARACTERIZED BY MULTIPLE STEMS CONTINUOUS FROM ITS BASE AND HAVING A HEIGHT OF NOT LESS THAN TWO FEET. REFER TO AS102 FOR PLANTING DETAIL.
- ASPHALT OVER GRAVEL BASE OVER PREPARED COMPACTED FILL PER CIVIL.
- CONCRETE SIDEWALK OR PAVEMENT AS DETAILED ON SHEET AS102 SIDEWALKS TO HAVE CONTROL JOINTS @ 5'-0" O.C. MAX. AND EXPANSION JOINTS @ 25'-0" O.C. MAX.
- ALL UNHATCHED AREAS INDICATES LIVING GROUND COVER (GRASS SEED & STRAW)



1A ARCHITECTURAL SITE PLAN
 AS101 scale: 1/8" = 20'-0"



1G ENLARGED PLAN
 AS101 scale: 1/8" = 1'-0"

1K ENLARGED PLAN
 AS101 scale: 1/8" = 1'-0"

FOR CONSTRUCTION BY THE CITY OF SPRINGFIELD, MO
 BUILDING OFFICIAL
 REVIEWED FOR COMPLIANCE WITH THE CITY CODE, ADOPTED
 BUILDING CODES, ZONING ORDINANCE AND DESIGN
 STANDARDS - THIS REVIEW AND APPROVAL DOES NOT RELIEVE
 THE REVIEWER OF HIS AGENTS OF ANY RESPONSIBILITY FOR
 COMPLIANCE WITH ALL APPLICABLE REQUIREMENTS, OR
 ADDRESS OF ANY OTHER APPLICABLE REQUIREMENTS OF OTHER
 JURISDICTIONS OR AGENCIES, UNLESS SPECIFICALLY NOTED
 OTHERWISE.
 501 S. National Avenue | Springfield, MO 65810 | 417.887.6595

OWNER: HMNT INVESTMENTS, LLC
 722 S WEST OLIVE STREET
 SPRINGFIELD, MO, 65806
 DATE: 6/25/2024
 PROJECT ID: PRJ2023-02089

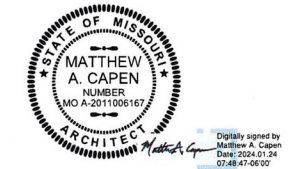
PROJECT TEAM
 CIVIL ENGINEER
 OWN ENGINEERING
 3213 SOUTH WEST BYPASS
 SPRINGFIELD, MO, 65807
 417.866.2741
 STRUCTURAL ENGINEER
 PINNACLE DESIGN CONSULTANTS
 304 WEST ERIE STREET
 SPRINGFIELD, MO, 65807
 417.501.8820
 MEP ENGINEER
 CJD ENGINEERING
 2225 WEST CHESTERFIELD ST. SUITE 200
 SPRINGFIELD, MO, 65807
 417.877.1700
 INTERIOR DESIGNER
 CREATIVE DESIGN CONSULTANTS
 1519 EAST WALNUT STREET
 SPRINGFIELD, MO, 65802
 417.886.4258

REVISIONS

NO.	DESCRIPTION	DATE
1	ADD-01	1/24/2024

PROJECT NO.: 23-037 DRAWN BY: HDG
 DATE: 11.21.2023 REVIEWED BY: HDG

PROFESSIONAL SEAL
 MATTHEW A. CAPEN
 PROFESSIONAL TITLE: ARCHITECT
 MO# A-2011006167

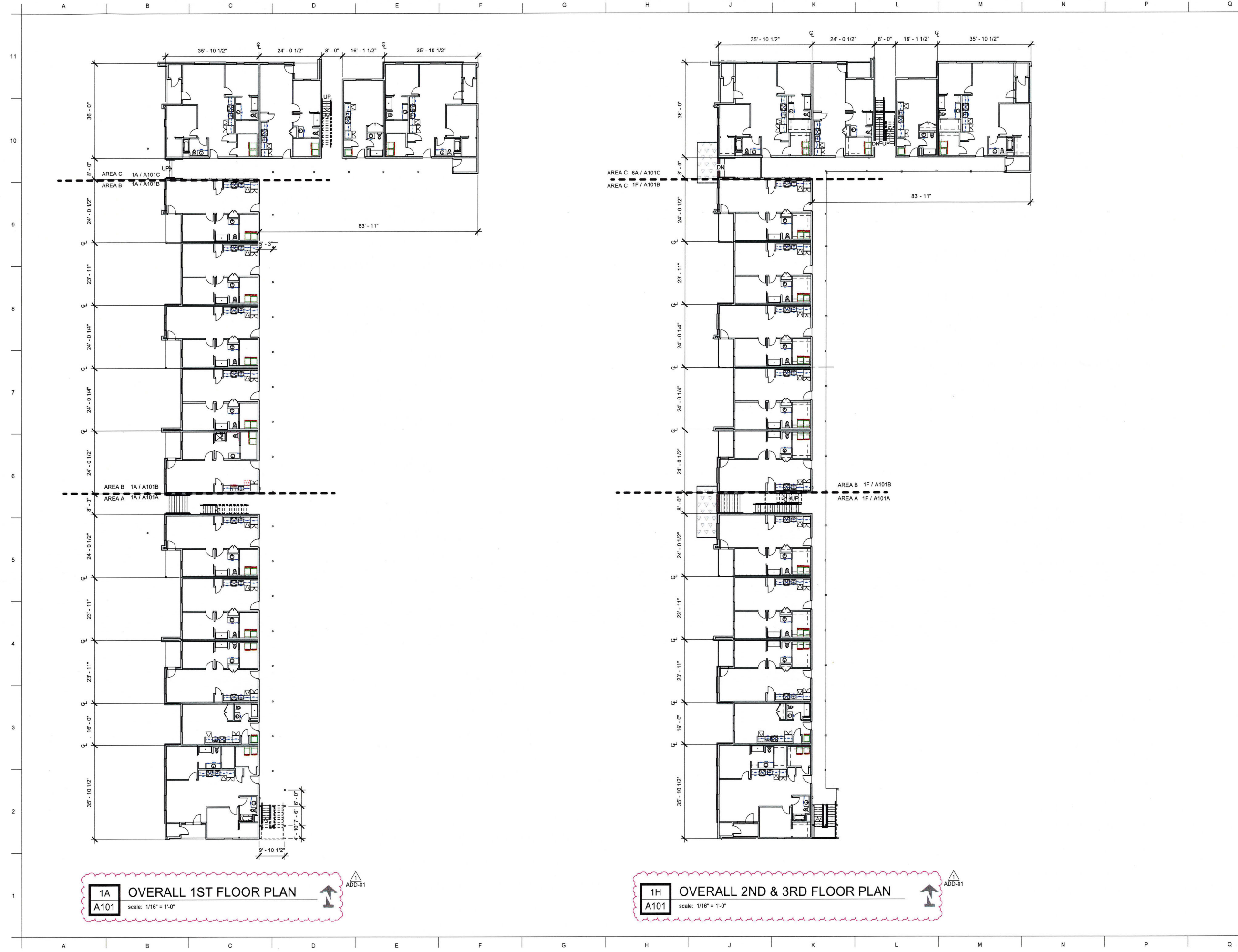


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 OF H-DESIGN GROUP, LLC.

PROJECT TITLE
The Dale
 PROJECT ADDRESS:
 1112 GRANT AVE
 SPRINGFIELD, MISSOURI 65807

OVERALL FLOOR PLANS

SHEET
A101



1A OVERALL 1ST FLOOR PLAN
 A101 scale: 1/16" = 1'-0"

1H OVERALL 2ND & 3RD FLOOR PLAN
 A101 scale: 1/16" = 1'-0"

September 17, 2025

To Whom It May Concern;

Our project includes two properties under a unified redevelopment plan which is presented in two separate packets due to two separate parcels:

- **1112 S. Grant – A Certificate of Occupancy was issued inadvertently** during closeout. However, we are still addressing correction items at this property as hdesigngroup has not provided a substantial completion letter – this does not occur until all punch list items are completed and corrected. Development on this project is ongoing as we finalize work items with subcontractors related to multiple scopes. Please see attached list of items with continuing work. A target date of completion is October 20th. The Certificate of Occupancy was obtained in an honest coordination mistake and not an attempt to bypass process.
- **1073 S. Grant – Still under construction;** no C of O has been issued.

Our goal in providing the attached applications is to follow the process to align with abatement requirements. We would be happy to appear at the next LCRA Board meeting if helpful. Hopefully the short time in which C of O has occurred for half of the project will not be problematic. The development of these parcels would not have been feasible without the consideration of the tax abatement.

I can be reached any time at 417-849-8834 or cwebster@morelockbuilders.com if you have any questions regarding our applications. Thank you for your consideration of our tax abatement requests.

Best Regards,



Crystal Webster
Chief Executive Officer

The Dale Apartments - Punch List

Unit	Subcontractor	Item	Sub Initial	GC Initial
1- All	Magers	Clean everything!		
1- All	OZ Millworks	Remove pencil markings at top of cabinet drawers in kitchen and bathrooms		
1- All	Republic Paint	Paint / touch up paint as marked with blue tape		
1- All	Nielsen	Missing blinds in units		
1- All	Magers	Clean / vaccum mechanical rooms		
1- All	Ideal Comfort	Replace A/C filters and clean HVAC intake		
1- All	ALL	Fire caulk in utility room - (all trades.....Fire caulk not to be painted)		
1- All	Netvision	Add access point		
1- All	Magers	Clean paint off tubs		
1- All	Republic Paint	Caulk around showers/tubs		
1- All	MBA	Window screens need to be added to some units		
1- All	Magers	Clean all windows		
1- All	Magers	Clean tops of cabinets in kitchen		
1- All	Magers	Remove stickers/arked numbers on granite countertops		
1- All	Magers	Clean black marks off tubs and showers		
1- All	Magers	Clean tops of sliding barn doors		
1- All	United	Verify all toilets need caulked at the floor. Leaving a few inches open on the back		
1- All	Republic Paint	Touchup paint (Paint on ceilings)		
1- All	Ideal Comfort	Verify all ceiling register vent covers are open and functional		
1- All	Ideal Comfort	Outside A/C condenser lines going into the building need to be caulked at siding		
1- All	Carnahan	Verify all patio railing have caps		
1- All	OZ Millworks	Caulk bathroom backsplash and kitchen counters at wall.		
1- All	Magers	Clean floors and wipe down counters tubs and sinks and appliances.		
1- All	Magers	Clean all front door and patio door thresholds.		
1- All	SPG Sign	Front door apartment numbers need installed.		
1- All	DSYS	All front doors need self-closing hinges set.		
1- All	DSYS	All deadbolts on patios and storage doors need adjusted.		
1- All	Republic Paint	Painter to go through and touchup ceilings that have wall paint on them.		
1- All	DSYS	Barn doors need a grab handle on the inside of the bathroom side of door.		
1- All	Magers	Clean top of sliding glass door track		

The Dale Apartments - Punch List

Unit	Subcontractor	Item	Sub Initial	GC Initial
Unit 100	Republic Paint	Incorrect paint color used on ceiling to touch up bedroom 1, and bathroom		
Unit 100	Magers	Clean top of sliding glass door track		
Unit 100	All Affected	Boxes of hardware, brickmold headers and plank flooring left in kitchen.		
Unit 100	United	Install kitchen sink faucet.		
Unit 100	Republic	Hole above bedroom barn door handle needs filled and painted.		
Unit 100	JJ's	Finish sprinklers.		
Unit 100	United	Install washer box and fridge waterline trim pieces.		
Unit 100	Republic Paint	Paint / touch up paint as marked with blue tape		

The Dale Apartments - Punch List

Unit	Subcontractor	Item	Sub Initial	GC Initial
Unit 102	OZ Millworks	Redo backsplash in bathroom to fit flush to the wall		
Unit 102	United	Install kitchen sink faucet		
Unit 102	Republic Paint	Paint / touch up paint as marked with blue tape		

The Dale Apartments - Punch List

Unit	Subcontractor	Item	Sub Initial	GC Initial
Unit 104	DSYS	Re-align deck door deadbolt to fit in hole		
Unit 104	NHP	Towel bar in shower needs another screw		
Unit 104	DSYS	Front door handle sticks.		
Unit 104	MBA	Miscellaneous trash and extra materials throughout living room and kitchen.		
Unit 104	Metro	Install fridge waterline trim pieces.		
Unit 104	Ideal Comfort	Bedroom register vent falling from ceiling.		
Unit 104	United	Clean out cap needed in wall next to toilet.		
	Republic Paint	Paint / touch up paint as marked with blue tape		

The Dale Apartments - Punch List

Unit	Subcontractor	Item	Sub Initial	GC Initial
Unit 108	Republic Paint	Paint / touch up paint as marked with blue tape		
Unit 108	OZ Millworks	Cabinet door above refrigerator needs to be readjusted		
Unit 108	DSYS	Pantry doors missing hinge screws at top dose not close properly		
Unit 108	Metro	Dented fridge		
Unit 108	United	Install kitchen sink faucet.		
Unit 108		Install washer box and fridge waterline trim pieces.		
Unit 108	United	Install clean out cap on wall next to toilet.		
Unit 108	Ideal Comfort	Register vent cover loose from ceiling in bathroom.		
Unit 108	DSYS	Base trim leaning against wall. Needs to be installed in mechaniial room.		
Unit 108	DSYS	Mechanical room door drags hard on upper jam.		

The Dale Apartments - Punch List

Unit	Subcontractor	Item	Sub Initial	GC Initial
Unit 110	Republic Paint	Paint / touch up paint as marked with blue tape		
Unit 110	M&I / Republic	Patch holes at towel rack in bathroom		
Unit 110	Sechler	Bathroom light fixture needs to be centered		
Unit 110	Republic	Clean paint off kitchen cabinets		
Unit 110	Ideal Comfort	Missing A/C air filter		
Unit 110	United	Install kitchen sink faucet.		
Unit 110		Install washer box and fridge waterline trim pieces.		
Unit 110		Install access panel over water shut off valve in wall by sprinkler in master closet.		
Unit 110	United	Clean out cap in wall needed by toilet.		

The Dale Apartments - Punch List

Unit	Subcontractor	Item	Sub Initial	GC Initial
Unit 112	Republic Paint	Paint / touch up paint as marked with blue tape		
Unit 112	Ideal Comfort	Missing A/C air filter		
Unit 112	Magers	Clean top of sliding barn door track		
Unit 112	DSYS	Front door handle sticks.		
Unit 112	United	Install kitchen sink faucet.		
Unit 112		Install washer box and fridge waterline trim pieces		
Unit 112	DSYS	Mechanical room door knob sticks.		
Unit 112	Republic Paint	Several 5-gallon buckets of paint in bathroom, materials and tools in kitchen.		
Unit 112	United	Clean out cap in wall needed by toilet.		
Unit 112	Sechler	Problem with breakers 16 and 18.		
Unit 112	Tub Lady	Damage to front of shower unit. Needs Tub Lady.		
Unit 112	Ideal	Fart fan in bathroom needs completed.		
Unit 112	DSYS	Mechanical room door hits jam at top.		

The Dale Apartments - Punch List

Unit	Subcontractor	Item	Sub Initial	GC Initial
Unit 114	Republic Paint	Paint / touch up paint as marked with blue tape		
Unit 114	Ideal Comfort	Missing A/C air filter		
Unit 114	Republic Paint	Clean paint off doorstops		
Unit 114	Magers	Clean top of sliding barn door track		
Unit 114	Republic Paint	Touchup paint in unit as marked with blue tape.		
Unit 114	United	Install kitchen sink faucet.		
Unit 114	United	Install washer box and fridge water waterline trim pieces.		
Unit 114	DSYS	Mechanics room door drags jam at top.		
Unit 114	Republic Paint	Mechanics room door paint finish looks horrible!		
Unit 114	United	Install clean out cap on wall next to toilet.		
Unit 114	United	Finish sprinkler head in master closet.		

The Dale Apartments - Punch List

Unit	Subcontractor	Item	Sub Initial	GC Initial
Unit 116	Republic Paint	Paint / touch up paint as marked with blue tape		
Unit 116	Discount Dave's	Need to complete tile backsplash as this is an ADA unit		
Unit 116	Republic Paint	Clean paint off floors in living room		
Unit 116	Republic Paint	Laundry room door needs to be sanded and repainted		
Unit 116	OZ Millworks	Removable front vanity plate needs to be installed		
Unit 116	Republic Paint	Paint walls as marked with existing and new blue tape		
Unit 116	Republic Paint	Caulk, putty, and remove paint (repaint) drips off base board in bathroom		
Unit 116	Ideal Comfort	Missing A/C air filter		
Unit 116	Republic Paint	Touchup exterior of front door		
Unit 116	Republic Paint	Mechanic room door drags jam at top, has minor damage to bottom area. Possible Painter fix!		
Unit 116	United	Shower handle needs completed.		
Unit 116	DSYS/Republic	Base trim needed at right side of shower. Will need paint.		
Unit 116	M&I / Republic	Repair square cut out in corner of drywall above base trim in W/D room & paint		

The Dale Apartments - Punch List

Unit	Subcontractor	Item	Sub Initial	GC Initial
Unit 118	Republic Paint	Paint / touch up paint as marked with blue tape		
Unit 118	Ideal Comfort	Missing A/C air filter		
Unit 118	Republic Paint	Touchup paint is marked with blue tape		
Unit 118	OZ Millworks	Kick plates missing under cabinets in kitchen.		
Unit 118	United	Waterline to toilet needs completed.		
Unit 118	DSYS/Republic	Missing base trim in living room. Will need paint.		
Unit 118	United	Issue with water heater??		
Unit 118	M&I/Republic	Ugly dent in ceiling next to kitchen register vent. Paint needed, too.		
Unit 118	Republic Paint	Caulk and paint base trim around refrigerator area.		

The Dale Apartments - Punch List

Unit	Subcontractor	Item	Sub Initial	GC Initial
Unit 122	Republic Paint	Paint / touch up paint as marked with blue tape		
Unit 122	Magers	Clean dirt off front door		
Unit 122	Republic Paint	Clean paint off left side cabinet above refrigerator		
Unit 122	Ideal Comfort	Missing A/C air filter		
Unit 122	OZ Millworks	Adjust and tighten cabinet doors above fridge		
Unit 122	OZ Millworks	Caulk right side cabinet at utility room door for gap		
Unit 122	Republic Paint	Clean paint off kitchen counter tops - republic		
Unit 122	Republic Paint	Fill and repaint for chip on pantry door top trim		
Unit 122	Carnahan	Outside railing on deck missing cap		
Unit 122	DSYS	Fix bad trim splice in living room close to utility cabinet		
Unit 122	Discount Dave's	Bad flooring pieces in bedroom next to common wall at living room		
Unit 122	DSYS	Mechanics room door drags jam hard!		
Unit 122	DSYS	Trim piece at right side of upper cabinets in kitchen needs to be tightened to wall.		
Unit 122	United	Install clean out cap on wall next to toilet.		
Unit 122	NHP	Install wire shelving in kitchen double door pantry.		

The Dale Apartments - Punch List

Unit	Subcontractor	Item	Sub Initial	GC Initial
Unit 124	Ideal Comfort	Missing A/C air filter		
Unit 124	OZ Millworks	Screw sticking out past cabinet inside dishwasher cavity		
Unit 124	Republic Paint	Clean paint off trim piece at left side above refrigerator		
Unit 124	Republic Paint	Finish existing repair of paint at laundry room door		
Unit 124	Republic Paint	Touchup paint near shower rod in bathroom		
Unit 124	Republic Paint	Repair give it in wall and repaint above the thermometer		
Unit 124	Republic Paint	Touchup paint in closet in living room		
Unit 124	Magers	Clean backsplash in kitchen		
Unit 124	Republic Paint	Touchup paint on entry door near deadbolt		
Unit 124	DSYS	Mechanic door drags jam.		
Unit 124	United	Install clean out cap on wall inside double door closet.		

The Dale Apartments - Punch List

Unit	Subcontractor	Item	Sub Initial	GC Initial
Unit 126	Ideal Comfort	Missing A/C air filter		
Unit 126	Republic Paint	Pull touch up paint tape from All rooms in unit		
Unit 126	Republic Paint	Paint above fire escutcheon in bedroom one		
Unit 126	Republic Paint	Touchup ceiling for holes right next to a escutcheon in bedroom one		
Unit 126		Remove large job box from living room - ??		
Unit 126	DSYS	Missing two screws in master bedroom door hinge		
Unit 126	Republic Paint	Remove painters' tape from master bathroom fan		
Unit 126	Republic Paint	Touchup paint above shower as marked with blue tape		
Unit 126	Republic Paint	Touch up hole and repaint near electrical plug in master bathroom		
Unit 126	Carnahan	Missing cap off balcony railing		
Unit 126	DSYS	Exterior storage closet key does not work		
Unit 126	M&I/Republic	Patch and Repair corner of wall two left of hall bathroom. Republic to paint		
Unit 126	M&I/Republic	Patch divot in base of wall to right of bedroom door. Republic to paint.		
Unit 126	Republic Paint	Touch up paint a bump fire escutcheon in living room marked with arrow		

The Dale Apartments - Punch List

Unit	Subcontractor	Item	Sub Initial	GC Initial
Unit 200	Magers	Clean the top of barn door track in master bathroom		
Unit 200	OZ Millworks	Clean pencil marks off top of counter drawers in master bathroom		
Unit 200	United	Clean piping at master toilet, escutcheon at toilet valve is dented.		
Unit 200	JJ's	Sprinkler head missing in outside storage unit		
Unit 200	Republic Paint	Touch up paint as marked		
Unit 200	Republic Paint	Entire barn door in bedroom needs painted		
Unit 200	DSYS	Deadbolt missing on patio storage door.		

The Dale Apartments - Punch List

Unit	Subcontractor	Item	Sub Initial	GC Initial
Unit 202	Magers	Clean sticker off laundry		
Unit 202	Republic Paint	Touchup paint on wall inside closet as marked with existing tape		
Unit 202	Netvision	Need access point- netvision		
Unit 202	Discount Dave's	Replace top two tile pieces over sink (they're short)		
Unit 202	OZ Millworks	Replace/pant cabinet trim above refrigerator		

The Dale Apartments - Punch List

Unit	Subcontractor	Item	Sub Initial	GC Initial
Unit 204	DSYS	Left side pantry doorstop needs to be installed (it's inside the closet)		
Unit 204	Republic Paint	Touchup paint as marked with blue tape		
Unit 204	NHP	Towel bar is loose in bathroom		
Unit 204	DSYS	Doorstop needs to be added to bathroom door		
Unit 204	OZ Millworks	Caulk or add missing scribe on side of bathroom vanity		
Unit 204	OZ Millworks	Corner trim missing on bathroom vanity kickplate.		
Unit 204	Dyke	Damage to exterior top left of window on patio.		

The Dale Apartments - Punch List

Unit	Subcontractor	Item	Sub Initial	GC Initial
Unit 206	United Plumbing	Adjust dishwasher to be level		
Unit 206	Republic Paint	Clean paint off floor at entry to laundry room		
Unit 206	Republic Paint	Fix hole in laundry room underneath shelving		
Unit 206	OZ Millworks	Wrong cabinet pull on kitchen cabinet to left of stove		
Unit 206	Republic Paint	Paint in unit as marked with blue tape		
Unit 206	M&I / Republic	Exposed screw holes in master bedroom. Republic to paint		
Unit 206	OZ Millworks	Remove pencil marks on top of cabinet drawers in bathroom		
Unit 206	Magers	Clean top of barn door track		
Unit 206	Republic Paint	Caulk and repaint corner near hall bathroom tub		
Unit 206	DSYS	Missing door lock and outside storage		
Unit 206	M&I	Mold on walls in outside storage room. Replace drywall.		
Unit 206	Republic Paint	Add another coat of paint to ceiling near fan and can lights		
Unit 206	Sechler	Garbage disposal switch and GFI in kitchen needs completed.		
Unit 206	OZ Millworks	Upper cabinet doors above microwave need adjusted.		
Unit 206	DSYS	Deadbolt on patio storage door is missing.		

The Dale Apartments - Punch List

Unit	Subcontractor	Item	Sub Initial	GC Initial
Unit 208	DSYS	Weather stripping torn off side of balcony door		
Unit 208	M&I / Republic	Exposed screw holes in living room and bedroom. Republic to paint.		
Unit 208	DSYS	Missing trim piece next to entry door at right side		
Unit 208	Republic Paint	Caulk at baseboards in kitchen		
Unit 208	Republic Paint	Repaint in pantry for marks and paint chips		

The Dale Apartments - Punch List

Unit	Subcontractor	Item	Sub Initial	GC Initial
Unit 210	Republic Paint	Clean paint off tile in kitchen		
Unit 210	Republic Paint	Touchup paint in unit as marked with blue tape		
Unit 210	MBA	Caulk gap between bathroom tile and laundry room at threshold		
Unit 210	M&I / Republic	Fire tape utility room (room not finished) - M&I / republic to paint		
Unit 210	M&I / Republic	Exposed screw holes at base in kitchen area. Republic to paint		
Unit 210	DSYS	Closer balls at top of pantry doors need adjusted to connect with straight plates.		
Unit 210	M&I / Republic	Drywall in mechanics room not taped and mudded on right side. Caulk holes.		

The Dale Apartments - Punch List

Unit	Subcontractor	Item	Sub Initial	GC Initial
Unit 212	OZ Millworks	Re-caulk at left side of kitchen counter		
Unit 212	OZ Millworks	Fix trim at right side cabinets over refrigerator		
Unit 212	Republic Paint	Touchup paint in unit as marked with blue tape		
Unit 212	Magers	Remove paint off floor in living room as marked		
Unit 212	Magers	Clean drywall off top of sliding door track		
Unit 212	Magers	Clean paint off tub on master bathroom		

The Dale Apartments - Punch List

Unit	Subcontractor	Item	Sub Initial	GC Initial
Unit 216	DSYS	Entry door strike plate and deadbolt lock needs to be adjusted		
Unit 216	Republic Paint	Touch up paint in unit at marked with blue tape		
Unit 216	DSYS	Utility room door handle sticks		
Unit 216	Magers	Clean top of barn door track - Magers		
Unit 216	Republic Paint	Repaint top of barn door - republic		
Unit 216	Republic Paint	Repaint trim line in bedroom above sliding door - republic		
Unit 216	OZ Millworks	Replace right bathroom vanity door (hole drilled in door)		
Unit 216	M&I / Republic	Exposed screw holes at base of wall between bathroom and pantry doors, by patio door and left side living room wall. Republic to paint after.		
Unit 216	DSYS	Front door missing weather stripping all around		
Unit 216	DSYS	Several extra pieces of door trim in the living room.		

The Dale Apartments - Punch List

Unit	Subcontractor	Item	Sub Initial	GC Initial
Unit 218	Republic Paint	1-Paint patch on wall in living room		
Unit 218	Republic Paint	2-Touch of paint in unit as marked with existing blue tape		
Unit 218	Magers	3-Clean paint off floor in bathroom		
Unit 218	Magers	4-Clean tile backsplash in kitchen		
Unit 218	Republic Paint	5-Repaint laundry room door for lines		
Unit 218	Sechler	No power to garbage disposal. Switch is dead.		

The Dale Apartments - Punch List

Unit	Subcontractor	Item	Sub Initial	GC Initial
Unit 220	Republic Paint	Paint as marked with blue tape		
Unit 220	Magers	Clean the washer and dryer drain box in laundry		
Unit 220	Republic Paint	Repaint back part of front door		

The Dale Apartments - Punch List

Unit	Subcontractor	Item	Sub Initial	GC Initial
Unit 222	Magers	Clean barn door track in bedroom		
Unit 222	Magers	Clean tub/shower in bathroom		
Unit 222	OZ Millworks	Chip in bathroom vanity on right side		
Unit 222	OZ Millworks	Missing kickplate on bathroom vanity.		
Unit 222	Republic Paint	Paint as marked with blue tape		

The Dale Apartments - Punch List

Unit	Subcontractor	Item	Sub Initial	GC Initial
Unit 224	Republic Paint	Repaint closet in living room for wrong paint used		
Unit 224	OZ Millworks	Counter and backsplash in bathroom, not set tight to the wall		
Unit 224	Magers	Clean tape residue off laundry		
Unit 224	MBA	Caulk at threshold of door to deck		
Unit 224	Discount Dave's	Caulk at tub base in master bathroom		
Unit 224	Magers	Clean top of both sliding barn door tracks		
Unit 224	DSYS	Need new piece of vertical front door weather strip.		
Unit 224	OZ Millworks	Upper cabinet doors above fridge are missing.		
Unit 224	United	Dishwasher needs installed/screwed to Granite.		
Unit 224	JJ's	Sprinkler head in living room needs completed.		
Unit 224	NHP	Wire shelving in double door closet needs installed.		

The Dale Apartments - Punch List

Unit	Subcontractor	Item	Sub Initial	GC Initial
Unit 226	Republic Paint	Paint touch up on walls as marked with blue tape		
Unit 226	Republic Paint	Caulk around master shower and at floor.		
Unit 226	NHP	Complete wire shelving in master closet.		

The Dale Apartments - Punch List

Unit	Subcontractor	Item	Sub Initial	GC Initial
Unit 300	Republic Paint	Touchup paint per new and existing blue tape		
Unit 300	M&I / Republic	Nail protruding out of wall in living room. Republic to possibly paint.		
Unit 300	Republic Paint	Clean paint off hinges		
Unit 300	NHP	Chip in white coating on closet wire shelving in master closet		
Unit 300	Magers	Clean entire unit.		
Unit 300	Metro	Set fridge		
Unit 300	NHP	TP holders shower rods mirrors wire shelving.		
Unit 300	Sechler	Light in kitchen loose from ceiling.		
Unit 300	Metro	Washer dryer door drags at lock.		
Unit 300	United	Water heater 220 breaker trips and won't reset.		
Unit 300	Ideal	Register vent in ceiling missing washer dryer room.		
Unit 300	Republic Paint	Several drywall fixes that need paint.		
Unit 300	Metro	Need washer and dryer.		

The Dale Apartments - Punch List

Unit	Subcontractor	Item	Sub Initial	GC Initial
Unit 302	OZ Millworks	Recaulk kitchen counter at right side wall above dishwasher		
Unit 302	Republic Paint	Repaint front door for finger smudges		
Unit 302	Magers	Clean entire unit		
Unit 302	Metro	Set fridge		
Unit 302	Metro	Need washer and dryer stackable.		
Unit 302	NHP	NHP to complete bath installs		
Unit 302	Sechler	No outlet for dishwasher or disposal.		
Unit 302	DSYS	Closet double doors rub together at top.		
Unit 302	Tub Lady	Long deep scratch in shower base. Needs Tub Lady.		
Unit 302	OZ Millworks	Kitchen counter against wall needs caulking.		
Unit 302	Discount Dave's	Extra plank flooring in living room.		
Unit 302	Republic Paint	Touchup paint per new and existing blue tape		

The Dale Apartments - Punch List

Unit	Subcontractor	Item	Sub Initial	GC Initial
Unit 304	OZ Millworks	Recaulk kitchen counter at right side at utility wall		
Unit 304	DSYS	Bathroom door drags when open towards wall		
Unit 304	Magers	Clean entire unit.		
Unit 304	Metro	Set fridge and washer and dryer		
Unit 304	DSYS	Extra split jam door and frame in living room		
Unit 304	Discount Dave's	Miscellaneous items and tile materials throughout.		
Unit 304	NHP	NHP to complete bath installs		
Unit 304	DSYS	Straight plates missing on top header of double door pantry.		
Unit 304	OZ Millworks	Caulk kitchen counter at wall.		
Unit 304	Republic Paint	Touchup paint per new and existing blue tape		

The Dale Apartments - Punch List

Unit	Subcontractor	Item	Sub Initial	GC Initial
Unit 306	Ideal Comfort	Missing register vent in washer and dryer room (not put up yet)		
Unit 306	Magers	Clean entire unit		
Unit 306	Metro	Set fridge and washer and dryer.		
Unit 306	Discount Dave's	Tile material from entry. Large roll of plastic.		
Unit 306	NHP	NHP to complete bath installs		
Unit 306	Ideal Comfort	Missing register vent in master bedroom.		
Unit 306	DSYS	Master bedroom door drags jam.		
Unit 306	DSYS	Hardware missing on storage door.		
Unit 306	Sechler	Disposal plug is hardwired.		
Unit 306	OZ Millworks	Caulk kitchen counter at wall.		
Unit 306	Republic Paint	Touchup paint per new and existing blue tape		

The Dale Apartments - Punch List

Unit	Subcontractor	Item	Sub Initial	GC Initial
Unit 308	Netvision	Add access point		
Unit 308	Magers	Clean the floors		
Unit 308	OZ Millworks	Kickplate missing on bathroom vanity		
Unit 308	OZ Millworks	Caulk kitchen counter at wall		
Unit 308	Republic Paint	Touchup paint per new and existing blue tape		

The Dale Apartments - Punch List

Unit	Subcontractor	Item	Sub Initial	GC Initial
Unit 310	Netvision	Add access point		
Unit 310	OZ Millworks	Recaulk kitchen countertops at wall		
Unit 310	Magers	Clean drywall dust and tape off top of barn door track		
Unit 310	NHP	Missing wire shelving in kitchen pantry		
Unit 310	OZ Millworks	Caulk kitchen counter at wall		
Unit 310	Magers	Clean floors		
Unit 310	Republic Paint	Touchup paint per new and existing blue tape		

The Dale Apartments - Punch List

Unit	Subcontractor	Item	Sub Initial	GC Initial
Unit 312	Republic Paint	Touchup paint per new and existing blue tape		
Unit 312	Netvision	Add access point		
Unit 312	Magers	Clean floors		
Unit 312	OZ Millworks	Caulk kitchen counter at wall		
Unit 312	Discount Dave's	Flooring missing between kitchen and bathroom		
Unit 312	All Trades	Boxes being stored in washer and dryer room.		

The Dale Apartments - Punch List

Unit	Subcontractor	Item	Sub Initial	GC Initial
Unit 314	Republic Paint	Touchup paint per new and existing blue tape		
Unit 314	DSYS	Utility door handle sticks		
Unit 314	Discount Dave's	Missing flooring in washer/dryer room		
Unit 314	DSYS	Front door strike plates are incorrect		
Unit 314	Magers	Clean floors		
Unit 314	OZ Millworks	Caulk kitchen counter at wall.		
Unit 314	NHP	Loose towel hook in bathroom.		
Unit 314	DSYS/Republic	Missing base trim in laundry room and behind bathroom door. Will need paint!		
Unit 314	Metro	Small dent in left fridge door at bottom.		
Unit 314	Netvision	Add access point		

The Dale Apartments - Punch List

Unit	Subcontractor	Item	Sub Initial	GC Initial
Unit 316	Republic Paint	Touchup paint per new and existing blue tape		
Unit 316	Republic Paint	Repaint front door		
Unit 316	Magers	Clean exterior of deck door window		
Unit 316	Magers	Clean all floors.		
Unit 316	OZ Millworks	Caulk kitchen counter at wall		
Unit 316	Netvision	Add access point		

The Dale Apartments - Punch List

Unit	Subcontractor	Item	Sub Initial	GC Initial
Unit 318	Republic Paint	Touchup paint per new and existing blue tape		
Unit 318	Netvision	Add access point		
Unit 318	Magers	Clean all floors		
Unit 318	OZ Millworks	Caulk kitchen counter at wall		

The Dale Apartments - Punch List

Unit	Subcontractor	Item	Sub Initial	GC Initial
Unit 320	DSYS	Utility door handle sticks		
	Netvision	Add access point - Netvision		
	DSYS	Rubber pulling away from front door at bottom		
	Metro	Set fridge.		
	Magers	Clean floors		
	OZ Millworks	Caulk kitchen counter at wall		
	United	Adjust dishwasher door to not hit cabinet when closing.		
	MBA	Fixed a small chip in the shower and will come back and sand.		

The Dale Apartments - Punch List

Unit	Subcontractor	Item	Sub Initial	GC Initial
Unit 322	Netvision	Add access point - Netvision		
	Magers	Clean all floors		
	OZ Millworks	Caulk kitchen counter at wall		

The Dale Apartments - Punch List

Unit	Subcontractor	Item	Sub Initial	GC Initial
Unit 324	OZ Millworks	Scribe is the wrong color above refrigerator at left side		
	Magers	Clean all floors		
	Magers	Tape residue to be cleaned off washer dryer stackable		
	Ideal Comfort	Register vent missing in kitchen ceiling.		
	OZ Millworks	Caulk kitchen counter at wall		
	OZ Millworks	Caulk bathroom backsplash.		

The Dale Apartments - Punch List

Unit	Subcontractor	Item	Sub Initial	GC Initial
Unit 326	M&I / Republic	Exposed screw heads at baseboard in bedroom one. Republic to paint after		
	Republic Paint	Repair and paint lower area in closet in bedroom one as marked		
	Magers	Clean sliding door track - Magers		
	M&I / Republic	Patch and repair exposed screw holes in living room, Republic to paint after		
	Republic Paint	Paint at top of sprinkler escutcheon in master bedroom		
	Ideal Comfort	Fan in master bathroom is noisy		
	OZ Millworks	Erase pencil marks on top of cabinet drawers in master bathroom		
	Magers	Clean drywall dust off top of barn door slider in master bathroom		
	MBA	Caulk bottom of right-side trim of bedroom one (short at floor)		
	Magers	Clean all floors		
	OZ Millworks	Caulk kitchen counter at wall.		



EXPLANATION TO REQUEST FOR REAL PROPERTY TAX ABATEMENT FOR REDEVE

FILED: 10/01/2025

ORIGINATING DEPARTMENT: Economic Vitality

TITLE:

PURPOSE:

BACKGROUND INFORMATION:

Submitted By:

Authorized for inclusion on the agenda pursuant to City Code section 2-33:
Maurice S. Jones, Deputy City Manager

Attachments: 1. The Knoll - 505 W Grand St



LCRA Application for Real Property Tax Abatement Packet

The Knoll Apartments 505 W Grand St. Springfield, MO

1. Table of Contents

2. Application & Application Fee
3. Legal Description (Exhibit A)
4. Narrative – Scope of The Knoll Apartments
5. Narrative – Consistency with Adopted Redevelopment Plan
6. Site Plan, Floor Plans, and Renderings (Exhibit B)



2. Application & Application Fee

Please see the following attached completed application.



Land Clearance for Redevelopment Authority Application for Real Property Tax Abatement

[Sections 99.700-99.715, RSMo](#)
[Chapter 40, Article II, Springfield City Code](#)

Property Address: 505 W Grand St.

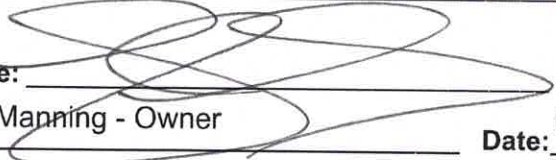
Redevelopment Area: Grant Avenue Parkway Redevelopment Area

Applicant/Developer

Name:	<u>Valiant Group</u>		
Mailing Address:	<u>1838 E Bennett St. Springfield MO 65804</u>		
Telephone:	<u>(417) 299-6735</u>	E-Mail:	<u>josh@valiantgroup.com</u>

Property Owner

Name:	<u>Valiant Management Group llc</u>		
Contact Person:	<u>Josh Manning</u>		
Mailing Address:	<u>1838 E Bennett St. Springfield MO 65804</u>		
Telephone:	<u>(417) 299-6735</u>	E-Mail:	<u>josh@valiantgroup.com</u>

Applicant/Developer Signature: 

Printed Name and Title: Josh Manning - Owner Date: 9/12/2025

Required Attachments:

- \$812 application fee (payable to the City of Springfield).
- Legal description of project.
- Narrative identifying the scope of the project.
- Site plan and floor plans.
- Concept plan and/or renderings, if available.
- Narrative describing relationship of project to the adopted redevelopment plan.
- If project is in the Downtown Redevelopment Area, please see additional requirements on page 2 of this application.

Additional Requirements for Projects Located in the *Downtown Redevelopment Area* ONLY

Pursuant to the *Downtown Redevelopment Plan*, applications for property tax abatement in that *Plan Area* will be reviewed on the following items:

1. What effect the requested abatement has on the project's financial feasibility.
2. If the proposed project is in accordance with the stated strategies and policies of the Downtown Strategy Plan.
3. The financial and market feasibility of the project.

The *Downtown Redevelopment Plan* requires that the following material be submitted to support applications for property tax abatement:

1. Developer
 - a. Identification of developer including all owners, partners and officers
 - b. Summary of developer's experience and qualifications
 - c. Proof of developer's financial capability (financial statements, profit/loss statements, etc.).
2. Development Plan
 - a. Legal description of area
 - b. Description of project development
 - c. Project stages and timing
 - d. Documentation of construction costs
 - e. Source, nature and terms of all required project financing
 - f. Plans and specifications
3. Documentation of abatement requested
 - a. Two project pro formas each with ten year projections reflecting the effects of no tax abatement and the requested level of abatement, to include the following as minimal justification:
 - i. All project gross income (rental estimates should be supported by local market data)
 - ii. Occupancy analysis to determine appropriate vacancy rate
 - iii. Estimate of effective gross income
 - iv. Itemized operating expense analysis
 - v. Projected net income
 - vi. Debt service impact, cash flow and investor rate of return analyses (IRR and cash-on-cash returns, etc.)



3. Legal Description (Exhibit A)

Please see the following attached Legal Description.

022902-24 29 Jul 2024 10:45:30 AM



Book: 2024
Page: 022902-24
2 pages

REAL ESTATE DOCUMENT
GREENE COUNTY, MISSOURI
RECORDERS CERTIFICATION

Cheryl Dawson Spaulding
Cheryl Dawson-Spaulding
Recorder of Deeds

lcunningham

WARRANTY DEED BY LLC

File#: 24-1007

KNOW ALL MEN BY THESE PRESENTS:

THIS DEED, made and entered into this 26th day of July, 2024, by and between, **HMNT INVESTMENTS, LLC**, A Limited Liability Company organized and existing under the laws of the State of Missouri, Grantor, COUNTY OF GREENE, STATE OF MISSOURI, in consideration of One Dollar and other valuable consideration to it paid by, **VALIANT MANAGEMENT GROUP, LLC, A Missouri Limited Liability Company**, Grantee of the COUNTY OF GREENE, STATE OF MISSOURI.

GRANTEES MAILING ADDRESS: 1838 E. BENNETT ST., SPRINGFIELD, MO 65804

The receipt of which is hereby acknowledged, and by virtue and pursuance of a Resolution of the Member of said Grantor, does by these presents, GRANT, BARGAIN, SELL, CONVEY AND CONFIRM unto the said grantee, and their heirs and assigns, the following described Real Estate, situated in the COUNTY OF GREENE, STATE OF MISSOURI, to wit:

LEGAL DESCRIPTION:

Property 1:

All of the South Half (S 1/2) of the following: All of a certain tract described as beginning 100 feet North of a point 60 poles West and 12 poles North and 20 poles East of the Southeast corner of the Southeast Quarter (SE 1/4) of Section Twenty-Three (23), Township Twenty-Nine (29), Range Twenty-Two (22), thence North 150 feet, thence West 150 feet, thence South 150 feet, thence East 150 feet to the beginning; All being in the City of Springfield, Greene County, Missouri Except part taken for road purposes.

Property 2:

All of Lots One (1) and Two (2), DOUGLAS ADDITION to the City of Springfield, Greene County, Missouri, according to the recorded plat thereof.

Property 3:

All Beginning at the Northwest corner of Grand Street and Market Street in the City of Springfield, Greene County, Missouri, as the same are now located and existing; running thence North on the West line of Market Street 162 feet to a cement post set; thence West from said point to Main Street in said City; thence South along the East line of main street 162 feet to Grand Street; thence East along the North line of Grand Street to the point of beginning, Except that tract of land covered by deed recorded in Book 1467 at Page 623, and Except the South 13 feet thereof, All being in the City of Springfield, Greene County, Missouri.

SUBJECT TO EASEMENTS, RESTRICTIONS, RESERVATIONS AND COVENANTS OF RECORD, IF ANY.

TO HAVE AND TO HOLD THE SAME, together with all rights, immunities, privileges and appurtenances to the same belonging unto the said Grantee and their heirs, successors and assigns forever, so that neither the said Grantor nor their heirs, nor any other person or persons for them or in their name of behalf, shall or will hereafter claim or demand any right or title to the aforesaid premises or any part thereof, but they, and everyone of them shall by these presents be excluded and forever barred.

IN WITNESS WHEREOF, the said Grantor has caused these presents to be signed by its OPERATING MANAGER, this the 26th day of July, 2024.

HMNT INVESTMENTS, LLC

Wayne Morelock
Wayne Morelock (Jul 26, 2024 09 08 CDT)
WAYNE MORELOCK, MEMBER

STATE OF MISSOURI)
) SS
COUNTY OF GREENE)

On this the 26th day of July, 2024, before me personally appeared ^{by remote means} WAYNE MORELOCK to me known, who being by me duly sworn, did say that he/she/they is/are member(s) of HMNT INVESTMENTS, LLC, of the State of Missouri, and that the said instrument was signed on behalf of said Limited Liability Company.

IN WITNESS WHEREOF, I have hereunto set my hand and affixed my notarial seal the day and year last above written.

DCli
, Notary Public *David Climer*
Electronic

My commission expires:





4. Narrative – Scope of The Knoll Apartments

Project Overview

The Knoll Apartments is a new three-story, wood-framed multifamily building on an infill site within the Grant Avenue Parkway corridor, totaling approximately 26,000 gross square feet across three levels.

Unit Program

Homes are organized across three levels with a mix of studios, one-bedroom standard, one-bedroom plus, and two-bedroom apartments designed for efficient layouts and long-term operational durability. Units include private balcony/patio outdoor space.

Building and Site Scope

Exterior and Envelope. Conventional wood framing with a low-maintenance fiber cement siding exterior and a high-performance roof. Energy-efficient windows and insulated assemblies are used to improve comfort and reduce utilities.

Site Improvements. Regrading and paving as needed, clear pedestrian routes and accessible entries, upgraded site lighting, landscaping, and screened service and refuse areas to improve function and curb appeal.

Interiors and Amenities

In-Unit Features. Modern kitchens and baths, in-unit laundry, and central heating and cooling for comfortable year-round occupancy.

Common Areas. Interior circulation with resident bike storage, durable finish selections, and a straightforward entry and wayfinding sequence sized for everyday use.

Systems and Performance

The project emphasizes efficient mechanical systems, LED lighting, and water-saving fixtures to moderate operating costs while improving resident comfort and reliability.

Intended Outcomes

Add quality housing in a reinvesting, walkable corridor. Enhance curb appeal and safety with a durable exterior, lighting, and clear pedestrian connections. Reduce long-term



maintenance and utilities through efficient systems and resilient materials. Support neighborhood vitality with thoughtfully designed, professionally managed homes.



5. Narrative – Consistency with Adopted Redevelopment Plan

Overview

The Knoll Apartments advances the Grant Avenue Parkway Redevelopment Plan by converting an underutilized infill site into high-quality housing that supports corridor reinvestment and complements public improvements.

Area Context and Alignment

The project is within the adopted Redevelopment Area, generally bounded by Olive Street to the north, Catalpa Street to the south, Campbell Avenue to the east, and Douglas Avenue to the west. Within this context, the project delivers the private reinvestment and long-term stewardship envisioned for properties along and near the Parkway.

Housing Quality and Choice

A mix of studios, one-bedroom standard, one-bedroom plus, and two-bedroom homes offers options close to jobs, the Missouri State University campus, and neighborhood services in a walkable setting. Efficient layouts, exterior balconies/patios, durable finishes, and in-unit laundry improve daily livability and reduce life-cycle costs.

Mobility, Connectivity, and Public Realm

Site work clarifies pedestrian routes to Market Avenue, provides accessible entries, organizes service and refuse to reduce conflicts, and upgrades site lighting—reinforcing the corridor’s walk- and bike-friendly environment.

Urban Design and Compatibility

A three-story wood-framed building with articulated elevations, a cohesive exterior palette with pedestrian level masonry accents, and screened ground-level functions fits surrounding scale while improving curb appeal on this block.

Economic Development and Neighborhood Revitalization

Transforming an underutilized lot into productive residential use increases taxable value, adds residents who support localized businesses, and signals confidence for continued private investment along the corridor. Valiant Group’s vertically integrated approach—developing, owning, managing, and maintaining—provides accountable long-term stewardship, proactive maintenance, and responsive resident services.

Building Performance and Operations

Energy-efficient windows, insulated assemblies, efficient mechanical systems, LED



lighting, and water-saving fixtures moderate utility consumption and operating costs while enhancing comfort—supporting the plan’s quality-of-life and revitalization goals.

Consistency with Program Tools

The Redevelopment Plan enables partial real property tax abatement within the area to catalyze private reinvestment. The Knoll Apartments is consistent with this intent and supports the public–private framework envisioned.

Community Benefits

Adds well-designed homes, improves site organization and lighting, supports walking and bicycling, and upgrades corridor urban fabric—aligning with the plan’s goals to improve transportation, catalyze economic development, advance neighborhood revitalization, and enhance quality of life.



6. Site Plan, Floor Plans, and Renderings

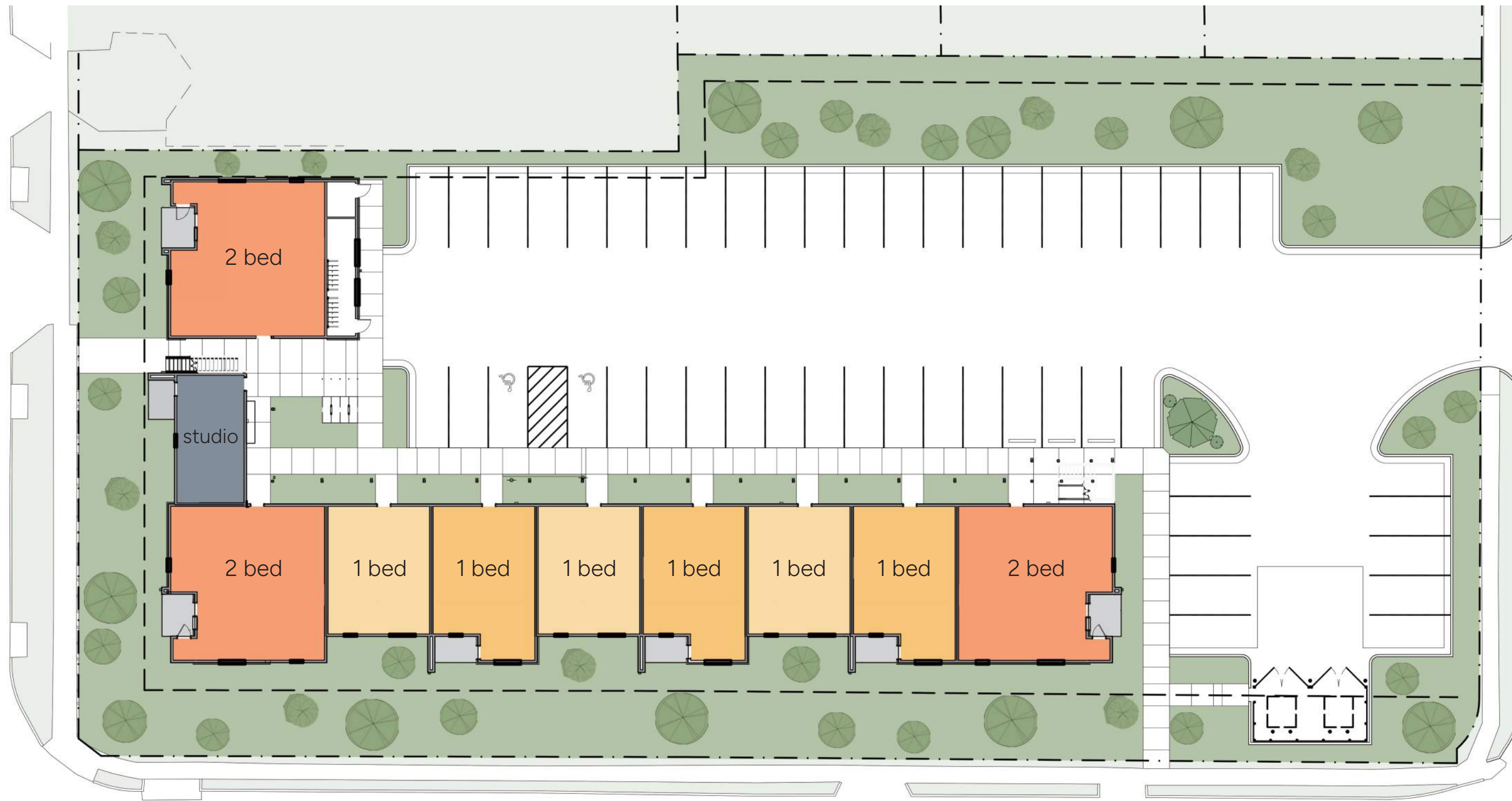
Please see the following design drawings attached.



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grand street

w. belmont street



s. market avenue

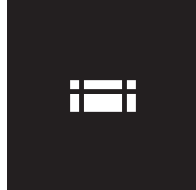
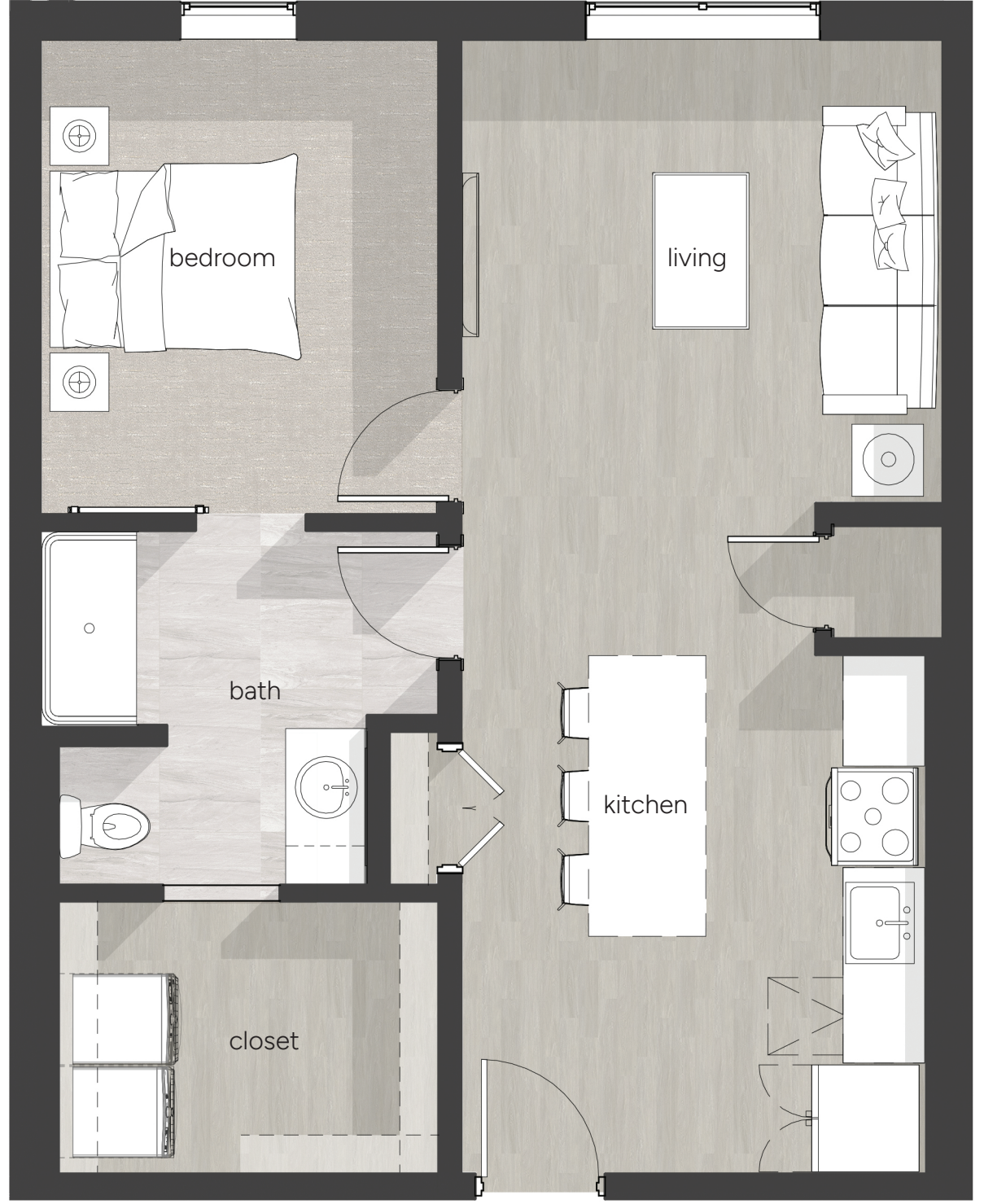
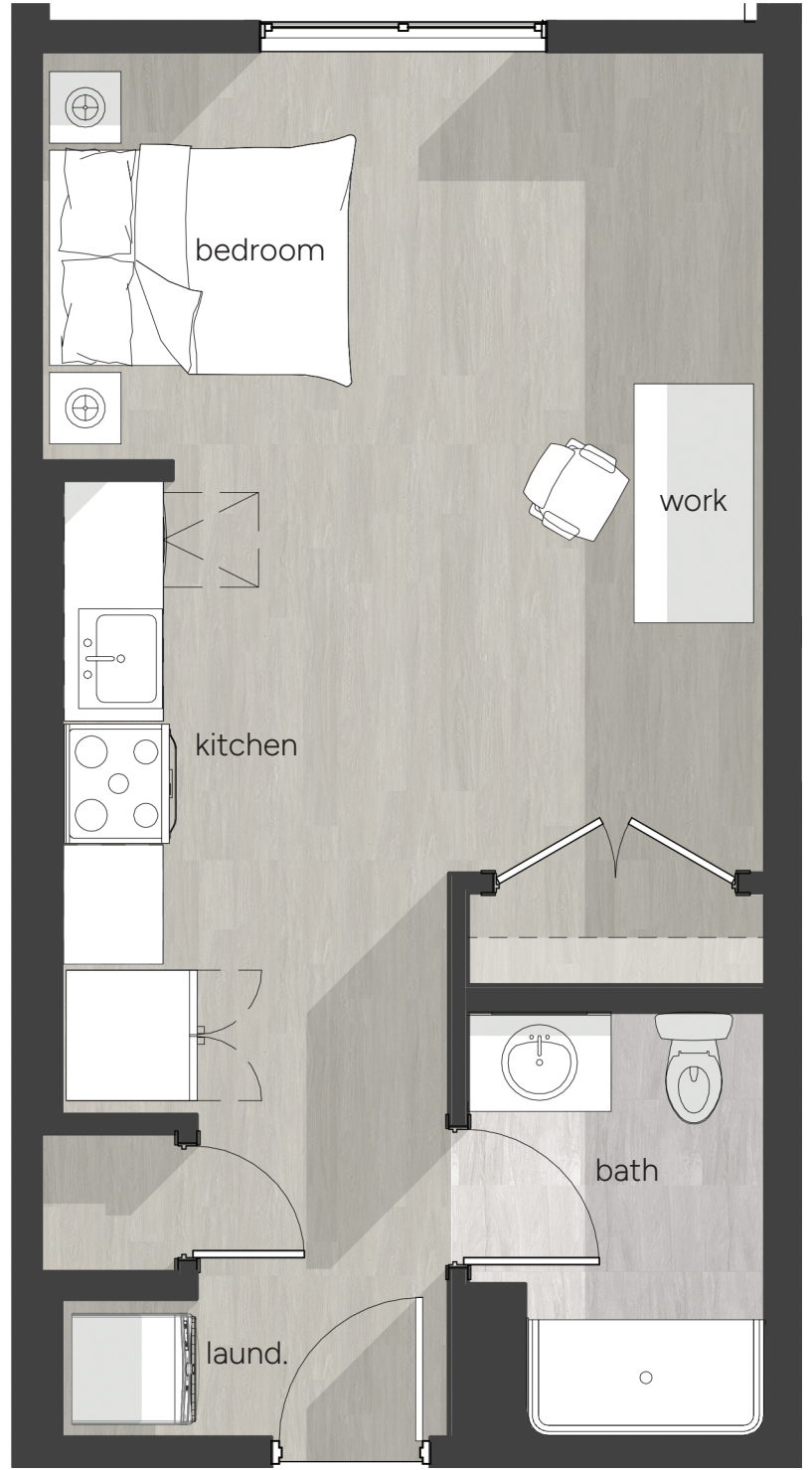


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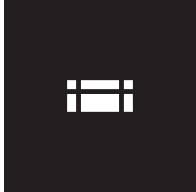
Feb 1, 2024

the knoll

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