



City of Springfield

Agenda

Land Clearance for Redevelopment Authority

October 1, 2024

4:00 PM

Conference Room 2 - West
Busch Municipal Building
840 N Boonville Avenue,
Springfield, MO

Rules and procedures can be found on the [Agenda Center](#).

1. CALL TO ORDER.

2. ROLL CALL.

3. APPROVAL OF MINUTES.

3.1. Approval of Minutes of May 7, 2024 Meeting.

4. NEW BUSINESS.

4.1. Request for Real Property Tax Abatement for Redevelopment Project inside the Grant Avenue Parkway Redevelopment Area located at 810 West Catalpa Street. Nordic Landing, LLC, applicant.

5. OTHER BUSINESS.

6. ADJOURN.

In accordance with Americans with Disabilities Act (ADA) guidelines, if you need special accommodations when attending any City meeting, please notify the City Clerk's Office at 417-864-1651 as soon as possible to ensure our ability to accommodate your needs.

Springfield Land Clearance for Redevelopment Authority

**Tuesday, May 7, 2024, at 4:00 PM
Conference Room 2-West
Busch Municipal Building
840 N Boonville Ave, Springfield, MO**

Minutes

1. Call to Order

2. Roll Call

Present: Ryan Cosby, Ben Edmondson, and Steve Jackson

Staff: Matt Schaefer, Judy White, and Laura Vales

Others Present: Mike Young

3. Approval of Minutes

Ben Edmondson made a motion to approve. Steve Jackson seconded the motion. Motion was approved (3-0).

4. New Business

- a. Request for real property tax abatement for redevelopment project inside the Grant Avenue Parkway Redevelopment Area located at 831 South Grant Avenue; Michael Young, applicant.

Steve Jackson made a motion to approve the redevelopment plan for 831 South Grant Avenue. Ben Edmondson seconded the motion. Motion was approved (3-0).

5. Other Business

None

6. Adjourn at 4:10 pm





**EXPLANATION TO REQUEST FOR REAL PROPERTY TAX ABATEMENT FOR
REDEVE**

FILED: 09/26/2024

ORIGINATING DEPARTMENT: Economic Vitality

TITLE:

PURPOSE:

BACKGROUND INFORMATION:

Submitted By:

Authorized for inclusion on the agenda pursuant to City Code section 2-33:
Maurice S. Jones, Deputy City Manager

Attachments: 1. LCRA Abatement Application - Nordic Landing updated (002)



Land Clearance for Redevelopment Authority Application for Real Property Tax Abatement

[Sections 99.700-99.715, RSMo](#)
[Chapter 40, Article II, Springfield City Code](#)

Property Address: 810 W Catalpa St Springfield, MO 65807

Redevelopment Area: Grant Avenue Parkway

Applicant/Developer

Name:	<u>DHTC Development, LLC (Riley Shantz)</u>		
Mailing Address:	<u>620 W Republic Rd Suite 103 Springfield, MO 65807</u>		
Telephone:	<u>417-234-7841</u>	E-Mail:	<u>crshantz@me.com</u>

Property Owner

Name:	<u>Nordic Landing, LLC</u>		
Contact Person:	<u>Riley Shantz</u>		
Mailing Address:	<u>620 W Republic Rd Suite 103 Springfield, MO 65807</u>		
Telephone:	<u>417-234-7841</u>	E-Mail:	<u>crshantz@me.com</u>

Applicant/Developer Signature: 

Printed Name and Title: Riley Shantz, Member Date: 7/22/24

Required Attachments:

- \$656 application fee (payable to the City of Springfield).
- Legal description of project.
- Narrative identifying the scope of the project.
- Site plan and floor plans.
- Concept plan and/or renderings, if available.
- Narrative describing relationship of project to the adopted redevelopment plan.
- If project is in the Downtown Redevelopment Area, please see additional requirements on page 2 of this application.

Additional Requirements for Projects Located in the *Downtown Redevelopment Plan* ONLY

Pursuant to the *Downtown Redevelopment Plan*, applications for property tax abatement in that *Plan Area* will be reviewed on the following items:

1. What effect the requested abatement has on the project's financial feasibility.
2. If the proposed project is in accordance with the stated strategies and policies of the Downtown Strategy Plan.
3. The financial and market feasibility of the project.

The *Downtown Redevelopment Plan* requires that the following material be submitted to support applications for property tax abatement:

1. Developer
 - a. Identification of developer including all owners, partners and officers
 - b. Summary of developer's experience and qualifications
 - c. Proof of developer's financial capability (financial statements, profit/loss statements, etc.).
2. Development Plan
 - a. Legal description of area
 - b. Description of project development
 - c. Project stages and timing
 - d. Documentation of construction costs
 - e. Source, nature and terms of all required project financing
 - f. Plans and specifications
3. Documentation of abatement requested
 - a. Two project pro formas each with ten year projections reflecting the effects of no tax abatement and the requested level of abatement, to include the following as minimal justification:
 - i. All project gross income (rental estimates should be supported by local market data)
 - ii. Occupancy analysis to determine appropriate vacancy rate
 - iii. Estimate of effective gross income
 - iv. Itemized operating expense analysis
 - v. Projected net income
 - vi. Debt service impact, cash flow and investor rate of return analyses (IRR and cash-on-cash returns, etc.)

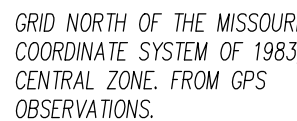
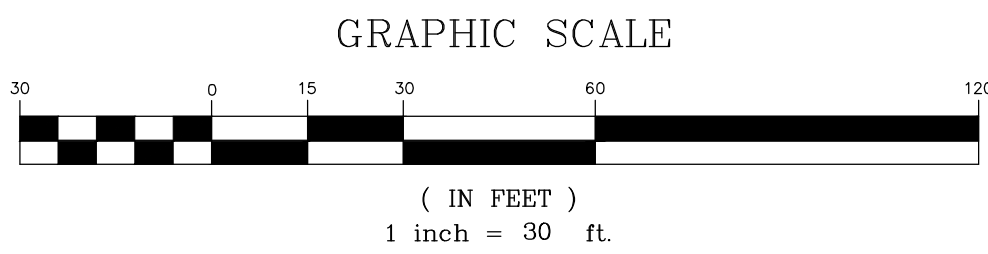
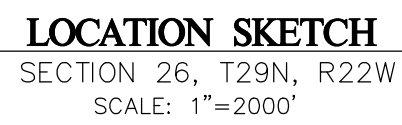
Nordic Landing Apartments Narrative

Development Characteristics

Nordic Landing Apartments is a 41-unit multi-family apartment development with a minimum of 7 units set aside to serve youth aging out of foster care. The project design is like the successful Y Gardens project located approximately 2 miles away. The apartment building will offer a combination of one- and two-bedroom designs, each with their own washer and dryer. The building will include community space with kitchen and with tables/ chairs which is essential to facilitate congregate community activities necessary to allow residents to develop and maintain a sense of community within the development. Additionally, the community space also includes a gaming area and computer area for the benefit of all residents. The gaming area is something that has been particularly successful at Y Gardens as it allows for informal meetings with residents and service providers.

The project will also benefit from lots of outdoor space. This outdoor space is adjacent to Fassnight Creek, and an active Springfield greenway trail used for running, walking, and bicycling. The City of Springfield is working with the developer to enhance the creek buffer area by removing invasive plants and creating/ maintaining a demonstration garden showcasing native plantings. City Utilities of Springfield has committed to enhance lighting along both the greenway trail and Fassnight Creek which will enhance the beauty and safety of the area. The area will also benefit from an outdoor playground offering on site play structures. The project also contains a daycare center on the first floor commercial space. This space is crucial to the project and the population we serve as childcare is a large barrier for most people.

The Chapter 99 Tax Abatement is critical for this development to get built. As one of the first investments into the Grant Avenue Parkway Nordic Landing will help transform the blighted corridor into a new development district envisioned by the City.

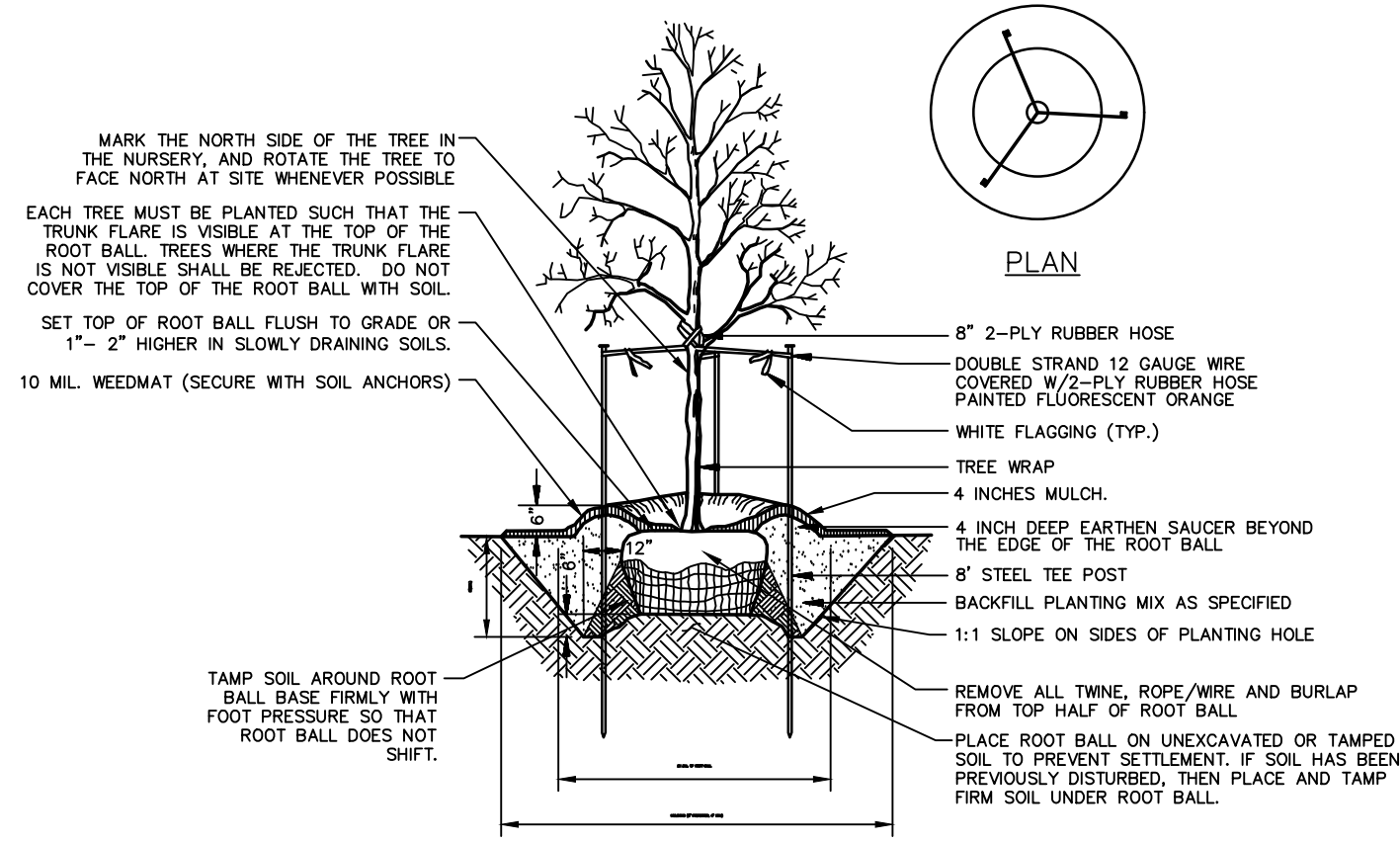
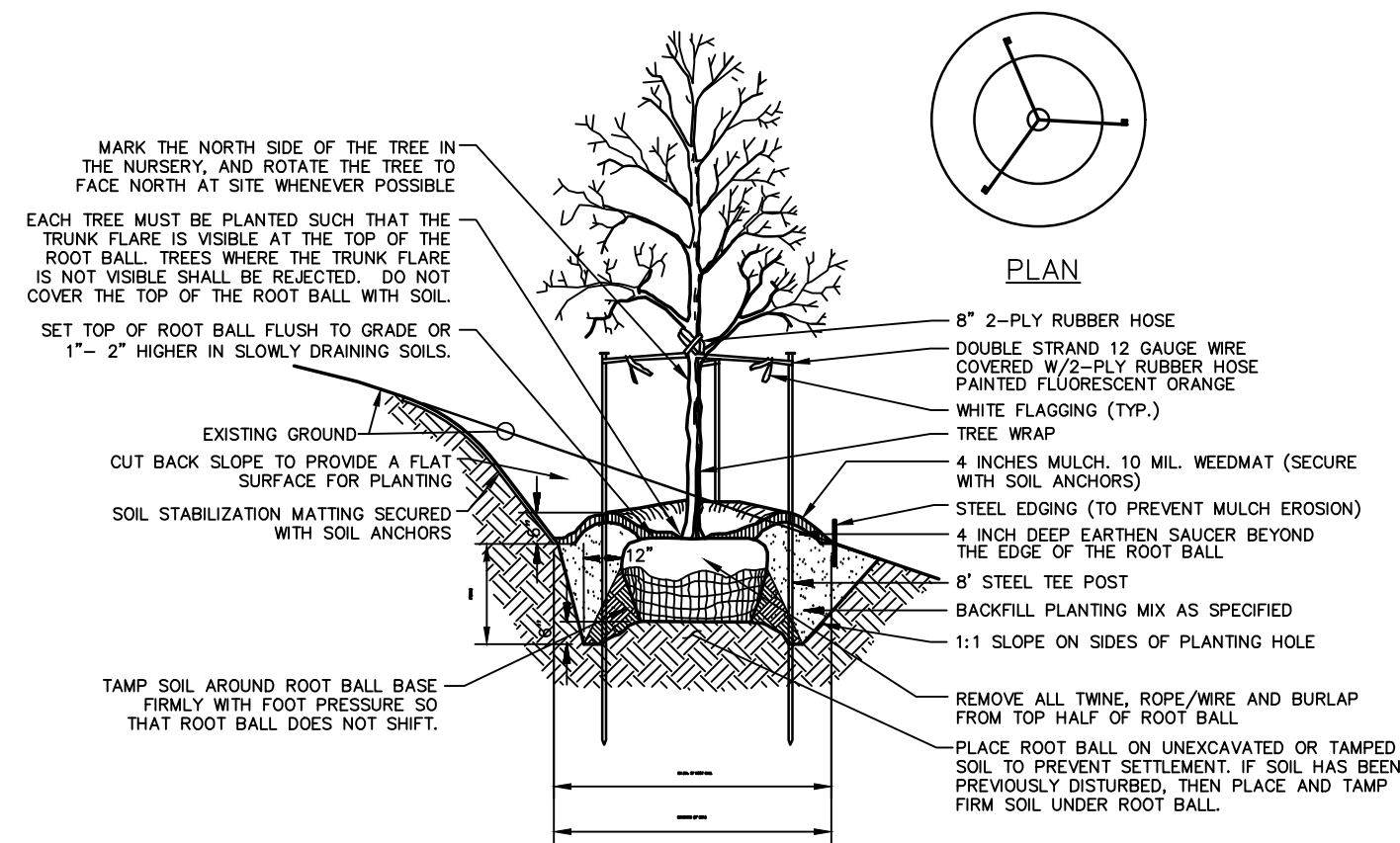


- | | | | |
|------------------------|----------|--------|---|
| PROPERTY LINE | | | |
| SANITARY SEWER | — | SS | |
| STORM SEWER | — | SW | |
| TELEPHONE LINE | — | T | |
| UNDERGROUND TELEPHONE | — | UT | |
| GAS LINE | — | G | |
| WATER LINE | — | W | |
| OVERHEAD ELECTRIC LINE | — | E | |
| UNDERGROUND ELECTRIC | — | UE | |
| FENCE LINE | — | X | X |
| RETAINING WALL | | | |
| LINE LABELS | MEASURED | 100' M | |
| | DEED | 10' D | |
| LINE LABELS | MEASURED | 100' M | |
| | PLAT | 10' P | |

THIS SURVEY REFLECTS ABOVE GROUND INDICATIONS OF UTILITIES AND INFORMATION AVAILABLE FROM UTILITY COMPANIES. THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED, ALTHOUGH HE DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES.

LOT# NUMBER 240860187.

1/1



CAUTION:
EXISTING SURFACE FEATURES, STRUCTURES, ETC. AND UNDERGROUND INSTALLATIONS SUCH AS WATER MAINS, GAS MAINS, SEWERS, TELEPHONE LINES, FIBER OPTIC LINES AND BURIED STRUCTURES ARE INDICATED ON THE DRAWING ONLY TO THE EXTENT SUCH INFORMATION HAS BEEN MADE AVAILABLE TO OR DISCOVERED BY THE SURVEYOR IN PREPARING THIS DRAWING. THERE IS NO GUARANTEE AS TO THE ACCURACY OR COMPLETENESS OF SUCH INFORMATION. THE CONTRACTOR IS RESPONSIBLE FOR MAKING HIS OWN DETERMINATION AS TO THE TYPE AND LOCATION OF UNDERGROUND AND OTHER UTILITIES AS MAY BE NECESSARY TO AVOID DAMAGE THERETO.



NO OPEN SPACE REQUIREMENT IN GRANT AVENUE PARKWAY DISTRICT STANDARDS

INTERIOR LANDSCAPING :
PROVIDE A MINIMUM OF 5% LANDSCAPED AREA FOR VEHICULAR USE AREA.
VEHICULAR USE = 36,112 SF
REQUIRED LANDSCAPED AREA = 1,805 SF
PROPOSED LANDSCAPED AREA = 3,564 SF
PROVIDED OPEN SPACE = 10% > 5% REQUIRED

PROVIDE A MINIMUM OF 2 UNDERSTORY TREES OR 1 CANOPY TREE FOR EACH 12,000 SQUARE FEET.
VEHICULAR USE AREA = 36,112 SQ FT
PROVIDED CANOPY TREES =3
PROVIDED UNDERSTORY TREES =0

INTERIOR PLANTING AREAS SHALL BE A MINIMUM OF 100 SQ. FT. FOR EACH UNDERSTORY TREE AND 200 SQ. FT. FOR EACH CANOPY TREE. REFER TO PLAN FOR PROVIDED INTERIOR PLANTING AREAS.

PERIMETER LANDSCAPING:
PROVIDE AT LEAST ONE CANOPY TREE, ONE UNDERSTORY, ORNAMENTAL, OR EVERGREEN TREE AND
FOUR SHRUBS PER 100 LINEAL FEET OF STREET FRONTAGE.
STREET FRONTAGE ALONG PARKING LOT = 267 LF
REQUIRED CANOPY TREES = 3
REQUIRED UNDERSTORY TREES =3
REQUIRED SHRUBS = 12
PROVIDED CANOPY TREES =3
PROVIDED UNDERSTORY TREES =3
PROVIDED SHRUBS =12

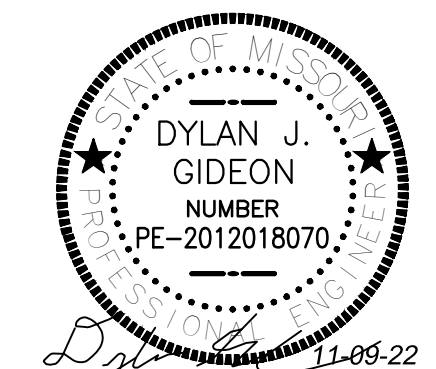
	CANOPY TREE: SWAMP WHITE OAK, QUERCUS BICOLOR, 1.5" CAL. MIN. AT PLANTING, OR APPROVED EQUAL MATURE HEIGHT RANGE: 50-70' REFER TO SHEET C1.7 FOR DETAIL.
	UNDERSTORY TREE: FLOWERING DOGWOOD, CORNUS FLORIDA, 1.0" CAL. MIN. AT PLANTING, OR APPROVED EQUAL MATURE HEIGHT RANGE: 15-20' REFER TO SHEET C1.7 FOR DETAIL.
	SHRUB: AMERICAN BOXWOOD, BUXUS SEMPERVIRENS, 18" TALL, OR APPROVED EQUAL MATURE HEIGHT RANGE: 10-12' REFER TO SHEET C1.7 FOR DETAIL.

1. THE CONTRACTOR SHALL FOLLOW ALL LOCAL CODES THAT PERTAIN TO LANDSCAPE INSTALLATION, AND SHALL NOTIFY THE LANDSCAPE ARCHITECT (LA) OR DESIGNATED REPRESENTATIVE (DR) REGARDING ANY DISCREPANCIES BETWEEN LOCAL CODES, PLANS, AND SPECIFICATIONS.
2. THE CONTRACTOR SHALL NOTIFY (LA) OR (DR) OF ANY LAYOUT DISCREPANCIES PRIOR TO ANY PLANTING.
3. THE CONTRACTOR SHALL VERIFY DEPTHS AND LOCATIONS OF ALL EXISTING UTILITIES, STRUCTURES, UNDERGROUND UTILITIES AND SITE LIGHTING CONDUITS WITHIN THE PROJECT SITE BEFORE LANDSCAPE CONSTRUCTION BEGINS.
4. THE CONTRACTOR SHALL KEEP THE PREMISES FREE FROM RUBBISH AND ALL DEBRIS ASSOCIATED WITH THE WORK AT ALL TIMES. ALL UNUSED MATERIALS AND DEBRIS SHALL BE REMOVED FROM THE SITE.
5. THE CONTRACTOR SHALL BE REQUIRED TO PERFORM A WATER PERMEABILITY TEST TO DETERMINE SOIL QUALITY. TEST IS PERFORMED BY DIGGING A SHARP SHOOTER SPADE 18" (INCHES) INTO THE GROUND. FILL THE HOLE WITH WATER. RETURN TO THE TEST SITE AFTER 18 HOURS TO VISUALLY CONFIRM IF THE HOLE STILL RETAINS WATER. IF THE HOLE RETAINS WATER, THE SOIL IS DETERMINED TO BE TOO POOR FOR PLANTING CONDITIONS. TO REMEDY POOR SOIL CONDITIONS, THE CONTRACTOR SHALL BE REQUIRED TO OVER EXCAVATE THE SOIL TO THE DEPTH OF THE ROOT BALL AND REPLACE THE SOIL WITH QUALITY PLANTING SOIL AS SPECIFIED ON THE PLANS PRIOR TO PLANTING TREES OR SHRUBS.
6. ALL LANDSCAPE MATERIALS TO BE WATERED BY CONTRACTOR UNTIL ESTABLISHED.
7. PLANT MATERIAL:
 - a. SHALL BE INSTALLED BY THE CONTRACTOR PER DETAILS (REFER TO DETAIL SHEETS) AND CLIENT'S SPECIFICATION OR REQUIREMENTS OF THE REGULATORY AUTHORITY HAVING JURISDICTION WHICHEVER IS MORE STRINGENT.
 - b. THE CONTRACTOR ACCEPTS ALL LIABILITY FOR THE INSTALLATION LANDSCAPING DEPICTED ON THESE PLANS AND SHALL BE GUARANTEED FOR A PERIOD OF ONE (1) YEAR AFTER SUBSTANTIAL COMPLETION LETTER IS ISSUED AND/OR ACCEPTANCE OF FINISHED JOB. ALL DEAD OR DAMAGED PLANT MATERIAL SHALL BE REPLACED ONE TIME WHEN DISCOVERED AT THE CONTRACTOR'S EXPENSE.
 - c. QUALITY SHALL COMPLY TO THE HIGHEST STANDARDS IN THE NURSERY INDUSTRY. GRASS, SOD AND PLANTS SHALL BE REASONABLY CLEAN AND FREE OF WEEDS, PESTS, DISEASES.
 - d. SHALL NOT BE PLANTED IN FROZEN GROUND.
8. ANY EXISTING TREES DESIGNATED TO BE SAVED MUST BE PRESERVED DURING CONSTRUCTION.
9. ALL PLANTING BEDS AND TREE PLANTING PITS TO BE FILLED WITH A MIXTURE OF 30% COMPOST (COW, MUSHROOM OR COTTON BURL), 20% PEAT MOSS AND 50% TOPSOIL BY VOLUME. ALSO, MIX IN 1LB 10-20-10 SLOW RELEASE PLANT FERTILIZER PER 10 SQ FT. OR AS RECOMMENDED BY THE SOIL ANALYSIS.
10. STAKES FOR TREE SUPPORT SHALL BE STEEL "T" BAR FENCE POST, 6' LONG, PAINTED DARK GREEN WITH TOP 6" PAINTED WHITE. TREE TIE SYSTEMS SHALL BE EASILY ADJUSTABLE, STRONG, IN ALL WEATHER, AND EASILY ATTACHED AND REMOVED. HOSE AND WIRE ARE NOT ACCEPTABLE FOR STAKED TREES. TREE TIE SYSTEMS SHALL BE 20" DEWITT (BLACK) TREE STRAP/SLING TSL-BX (60 PER CASE) OR APPROVED EQUAL-NO PLASTIC TIES ALLOWED. WIRE: 14 GAUGE ELECT. FENCE WIRE.
11. ALL PLANTING BEDS AS DESIGNATED ON THESE PLANS SHALL BE BORDERED BY ½" x 4" PAINTED BROWN STEEL EDGING AND RYERSON OR APPROVED EQUAL WITH INTEGRATED STAKES THROUGH SLOTS IN THE EDGING. (REFER TO DETAIL SHEETS FOR ACCEPTED EDGING MATERIAL)
12. MULCH ALL TREE PLANTINGS AND PLANTING BEDS WITH 4" OF EITHER SHREDDED HARDWOOD BARK MULCH OR CYPRESS MULCH. IN THE SEASONAL FLOWER BEDS USE EITHER CYPRESS OR PINE BARK MULCH; DO NOT USE HARDWOOD MULCH IN SEASONAL FLOWER BEDS.
13. ALL PLANTING AREAS SHALL RECEIVE A THREE INCH (3") TOP DRESSING OF MULCH OVER A 10 MIL WEED MAT EQUAL TO "WEEDBLOCK" FABRIC BY "EASY GARDENER" OR DEWITT WEED BARRIER. SINGLE TREES OR SHRUBS SHALL BE MULCHED TO THE OUTSIDE EDGE OF THE SAUCER OR LANDSCAPE ISLAND (REFER TO PLANTING DETAILS).
14. ALL SLOPES AND AREAS DISTURBED BY CONSTRUCTION, EXCEPT THOSE OCCUPIED BY BUILDINGS, STRUCTURES, OR PAVING SHALL BE GRADED SMOOTH AND 4" (INCHES) OF TOPSOIL APPLIED. (REFER TO THE EROSION CONTROL DETAIL SHEET(S) FOR TOPSOIL AND SEEDING SPECIFICATIONS).
15. CONTRACTOR SHALL FERTILIZE ALL PLANTS AT THE TIME OF PLANTING WITH 10-10-10 TIME RELEASE FERTILIZER.
16. IF REQUIRED BY THE CLIENT'S SPECIFICATIONS OR REQUIREMENTS OF THE REGULATORY AUTHORITY HAVING JURISDICTION WHICHEVER IS MORE STRINGENT, THE CONTRACTOR SHALL REPAIR, REPLACE AND/AUGMENT EXISTING IRRIGATION SYSTEM AS NECESSARY THAT PROVIDES SEPARATE ZONES AND HEAD PLACEMENT FOR SHRUB AREAS AND TURF AREAS. 100% HEAD TO HEAD COVERAGE WILL BE REQUIRED. THE CONTRACTOR WILL SUBMIT AS-BUILT DRAWINGS FOR THE LANDSCAPE IRRIGATION SYSTEM AND WILL ACCEPT RESPONSIBILITY FOR THE IRRIGATION SYSTEM. PROVIDE SUBMITTALS AS REQUIRED.
17. ALL PLANTING TYPES SHALL COMPLY WITH LOCAL GOVERNING CODES AND REGULATIONS. CONFORM TO REQUIREMENTS OF PLANT LIST AND TO THE AMERICAN ASSOCIATION OF NURSERYMEN "AMERICAN STANDARD OF NURSERY STOCK" AND "HORTICULTURAL STANDARDS" AS TO SPECIES, AGE, SIZE, AND PLANTING RECOMMENDATIONS
18. LANDSCAPE CONTRACTOR SHALL OBTAIN AN ORIGINAL PRINT OF THIS PLAN TO ENSURE THAT ALL LINE WEIGHTS, LINE TYPES AND SHADED COLORS ARE COMPLETELY LEGIBLE AS ORIGINALLY PRINTED.
19. MATERIAL SUBSTITUTIONS SHALL BE MADE WITHOUT THE ARCHITECT'S PRIOR WRITTEN APPROVAL. ALTERNATE MATERIALS OF SIMILAR SIZE AND CHARACTER MAY BE CONSIDERED IF SPECIFIED PLANT MATERIALS CANNOT BE OBTAINED.
20. PLANT LOCATIONS ARE APPROXIMATE. ADJUST AS NECESSARY TO AVOID CONFLICTS.
21. QUANTITIES OF MATERIALS SHOWN ON LANDSCAPING PLAN TAKE PRECEDENCE OVER QUANTITIES SHOWN ON PLANTING SCHEDULE. CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL QUANTITIES ON LANDSCAPING PLAN.



STARK WILSON DUNCAN ARCHITECTS INC

SEAL
ENGINEER: DYLAN J. GIDEON
MO. LICENSE NO. PE-201201807

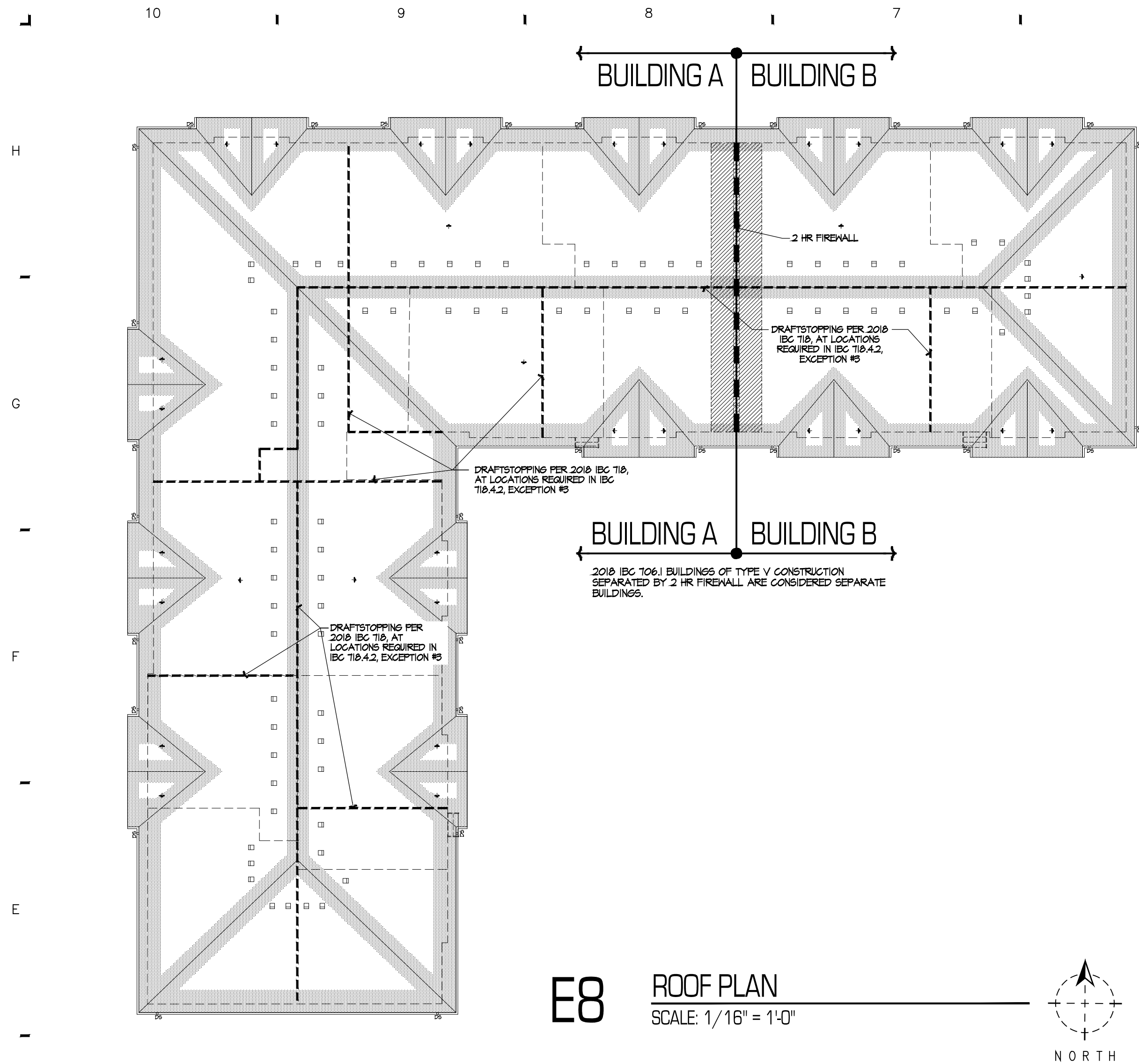


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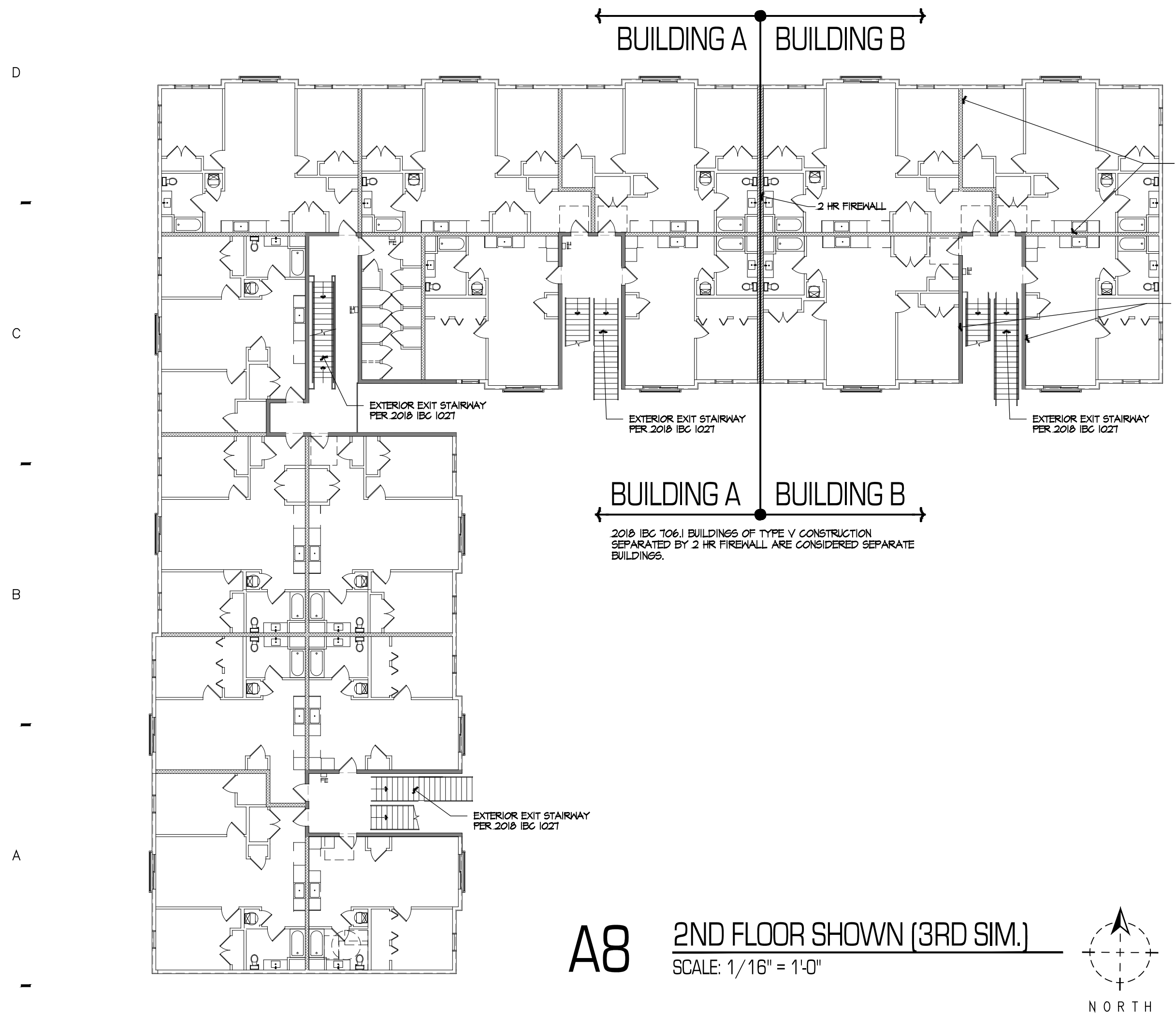
1	REVISION	-	05-27-22
2	REVISION	-	09-21-22
5	REVISION	-	11-09-22

PROJECT NO.: 2116

C1.9



E8 ROOF PLAN
SCALE: 1/16" = 1'-0"



A8 2ND FLOOR SHOWN (3RD SIM.)
SCALE: 1/16" = 1'-0"

CODE ANALYSIS

LOCAL ADOPTED CODES:

BUILDING: IBC 2018 INTERNATIONAL BUILDING CODE
MECHANICAL: IMC 2018 INTERNATIONAL MECHANICAL CODE
PLUMBING: IPC 2018 INTERNATIONAL PLUMBING CODE
ELECTRICAL: NEC 2011 NATIONAL ELECTRICAL CODE
FIRE: 2018 INTERNATIONAL FIRE CODE
ACCESSIBILITY: 2009 A117.1 ACCESSIBLE & USABLE BUILDINGS & FACILITIES

ZONING: GAP-F

PARKING REQUIREMENTS:

41. APARTMENT UNITS:
(14) 1 BEDROOM X 15 = 21 STALLS
(21) 2 BEDROOM X 2 = 54 STALLS
75 REQUIRED PARKING STALLS
OACAG (E OCCUPANCY) - 1 PER EMPLOYEE + 1 PER 5 KIDS (20 IN 2 CLASSROOMS) = 10 + 8 = 18 STALLS
BICYCLE PARKING REDUCTION ALLOWANCE: 10% AT 2 BICYCLE SPACES PER 1 PARKING STALL
43 X 10% = 4 PARKING STALLS
4 X 2 = 8 BICYCLE SPACES REQUIRED
43 - 4 = 39 PARKING STALLS REQUIRED
43 ON SITE PARKING STALLS PROVIDED

SITE ACREAGE - +/- 5.10 ACRES

OCCUPANCY CLASSIFICATION:

BUILDING A:
1ST FLOOR (SEPARATED OCCUPANCIES): APARTMENTS R-2, DAY-CARE E, OFFICE B, ASSEMBLY A-2
2ND - 3RD FLOOR: APARTMENTS R-2

BUILDING B:
1ST - 3RD FLOOR: APARTMENTS R-2

TYPE OF CONSTRUCTION: TYPE VB (IBC TABLE 503).

THE BUILDING IS FULLY SPRINKLED W/ NFPA 13R SYSTEM PER IBC 903

BUILDING HEIGHT:

ALLOWABLE: 60' (IBC TABLE 504.3)
FIRE: 60'

APARTMENTS R-2

ALLOWABLE: 3 STORIES (TABLE 504.4)
ACTUAL: 3 STORIES

DAYCARE E

ALLOWABLE: 2 STORY
ACTUAL: 1 STORY (1ST FLOOR ONLY)

OFFICE B

ALLOWABLE: 3 STORY
ACTUAL: 1 STORY (1ST FLOOR ONLY)

ASSEMBLY A-2: 2 STORY

ACTUAL: 1 STORY (1ST FLOOR ONLY)

REQUIRED SEPARATIONS (TABLE 508.4)

E TO A - NONE REQUIRED
R TO A - 1 HOUR
E TO R - 1 HOUR
R TO B - 1 HOUR

BUILDING AREA:

BUILDING A
ALLOWABLE AREA PER FLOOR (IBC 506.2): $A_d = 1000(A_t) + [1000(A_t) \times 0.422(1/1)] = 9,455$ SF
FRONTAGE INCREASE (IBC 506.3): $I_f = (414(F)/615(P) - 0.25) \times 30(W)/30 = 0.422$

ALLOWABLE AREA (A_d): 9,455 SF
ACTUAL SF:
FIRST FLOOR: 4,490 SF
SECOND FLOOR: 4,490 SF
THIRD FLOOR: 4,490 SF
TOTAL: 13,470 SF

BUILDING B
ALLOWABLE AREA PER FLOOR (IBC 506.2): $A_d = 1000(A_t) + [1000(A_t) \times 0.571(1/1)] = 10,944$ SF
FRONTAGE INCREASE (IBC 506.3): $I_f = [224(F)/273(P) - 0.25] \times 30(W)/30 = 0.571$
BASED ON R-2 (MOST RESTRICTED USE)

ALLOWABLE AREA (A_d): 10,944 SF

ACTUAL SF:
FIRST FLOOR: 3,308 SF
SECOND FLOOR: 3,308 SF
THIRD FLOOR: 3,308 SF
TOTAL: 9,924 SF

OCCUPANT LOAD PER BUILDING

BUILDING A:
1ST FLOOR: R-2: 5,145 SF / 200 (RESIDENTIAL) = 26
B (OFFICE): 581 SF / 150 (BUSINESS) = 4
A-2 (ASSEMBLY): 679 SF / 15 = 46
E (DAYCARE - EXPECTED OCC.): 3,525 SF / 35 = 101
2ND FLOOR: R-2: 4,490 SF / 200 (RESIDENTIAL) = 50
3RD FLOOR: R-2: 4,490 SF / 200 (RESIDENTIAL) = 50
TOTAL: 271 OCCUPANTS

BUILDING B:
1ST FLOOR: R-2: 3,308 SF / 200 (RESIDENTIAL) = 17
2ND FLOOR: R-2: 3,308 SF / 200 (RESIDENTIAL) = 17
3RD FLOOR: R-2: 3,308 SF / 200 (RESIDENTIAL) = 17
TOTAL: 51 OCCUPANTS

EGRESS REQUIREMENTS:

CORRIDOR EXIT WIDTH: 1ST FLOOR (STAIR 3 CORRIDOR TO EXIT DISCHARGE) - MAX. OCCUPANCY OF 110 X 2' = 22' < 44" MINIMUM REQUIRED, 12" PROVIDED.
CORRIDORS EXIT WIDTH: 2ND - 3RD (STAIR 3 CORRIDOR ASSUMED WORST CASE) - MAX. OCCUPANCY OF 17 X 2' = 3.4' < 36" MINIMUM REQUIRED, 46" PROVIDED.
EXIT ACCESS TRAVEL DISTANCE IS LESS THAN THE MAX. 250' ALLOWED (IBC TABLE 1017.2).
COMMON PATH OF EGRESS TRAVEL (IBC TABLE 1006.2.1): B = 100' MAX, R-2 = 125' MAX; WORST CASE IS < 125' THROUGHOUT
DEAD END CORRIDORS ALLOWED (IBC 1020.4): A-2 = 20' MAX, R-2 = 50' MAX.
EXIT SEPARATION DISTANCE:
R-2 - NA ; E - OVERALL DIAGONAL IS 106'-3" / 3 = 35'-4" MIN. REQUIRED ; ACTUAL = 64'.

APARTMENT EXITING BASED UPON IBC TABLE 1006.3.3(1) *STORIES W/ ONE EXIT OR ACCESS TO 1 EXIT FOR R-2 OCCUPANCIES*. MAX OF 4 DWELLING UNITS, MAX 125' OF COMMON PATH OF TRAVEL & PROVIDED W/ EMERGENCY ESCAPE AND RESCUE OPENINGS PER IBC SECTION 1030.

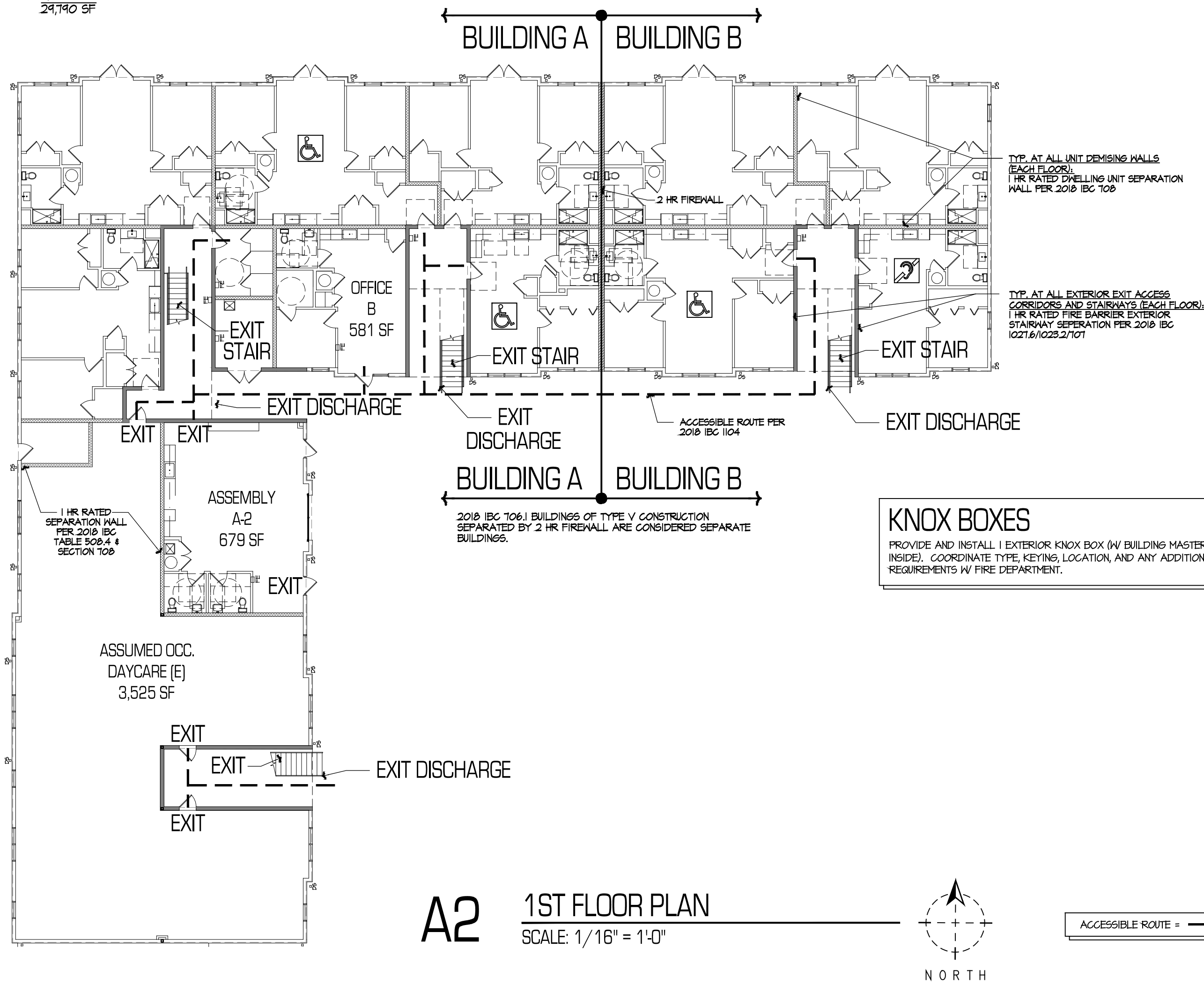
FIRE RESISTIVE REQUIREMENTS (MINIMUMS) FOR TYPE VB (PER IBC TABLE 601):

STRUCTURAL FRAME: 0
EXTERIOR BEARING WALLS: 0
INTERIOR BEARING WALLS: 0
EXTERIOR NONBEARING WALLS: 0
INTERIOR NONBEARING WALLS: 0
FLOOR CONSTRUCTION: 0
ROOF CONSTRUCTION: 0
FIRE WALL: 2 HOUR
DEMISING WALLS / FLOOR SEPARATION: 1 HOUR (IBC SECTION 420.2 & 420.3)
STAIRS: 1 HOUR (IBC SECTION 1023.2)
DOORS ACCESSING STAIRS: 1 HOUR (IBC TABLE 716.1(2))

NOTE:

COMPLETE AUTOMATIC FIRE SPRINKLER DESIGN FOR THE BUILDING IS A DEFERRED SUBMITTAL. NFPA 13R TYPE, MONITORED BY A PROPRIETARY SUPERVISING STATION (ALARM COMPANY).
COMPLETE FIRE ALARM DESIGN FOR THE BUILDING IS A DELEGATED DESIGN AND DEFERRED SUBMITTAL.

ACCESSIBILITY REQUIREMENTS: PUBLIC SPACES TO BE ACCESSIBLE PER THE 2018 IBC & 2010 ADA. 3 APARTMENT UNITS TO BE TYPE 'A' COMPLIANT (UNITS 104, 105 & 107). ALL 1ST FLOOR NON-TYPE 'A' UNITS TO BE TYPE 'B' COMPLIANT. UNIT 101 WILL BE EQUIPPED TO BE USEABLE BY THOSE WITH VISUAL & HEARING IMPAIRMENTS.



A2 1ST FLOOR PLAN
SCALE: 1/16" = 1'-0"

SWD
ARCHITECTS

EST 1935

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MISSOURI CERTIFICATE
OF AUTHORITY NO. 000073

NORDIC LANDING
SW CORNER OF W CATALPA ST & S DOUGLAS AVE
SPRINGFIELD, GREENE COUNTY, MISSOURI 65807

STARK WILSON DUNCAN ARCHITECTS INC
315 NICHOLS RD. STE 228 - KANSAS CITY, MO 64112 - T 816.531.1698

SEAL
ARCHITECT - PAUL G STARK
MO. LICENSE NO. A-7505



CODE ANALYSIS

ISSUE DATE:

4.15.2022

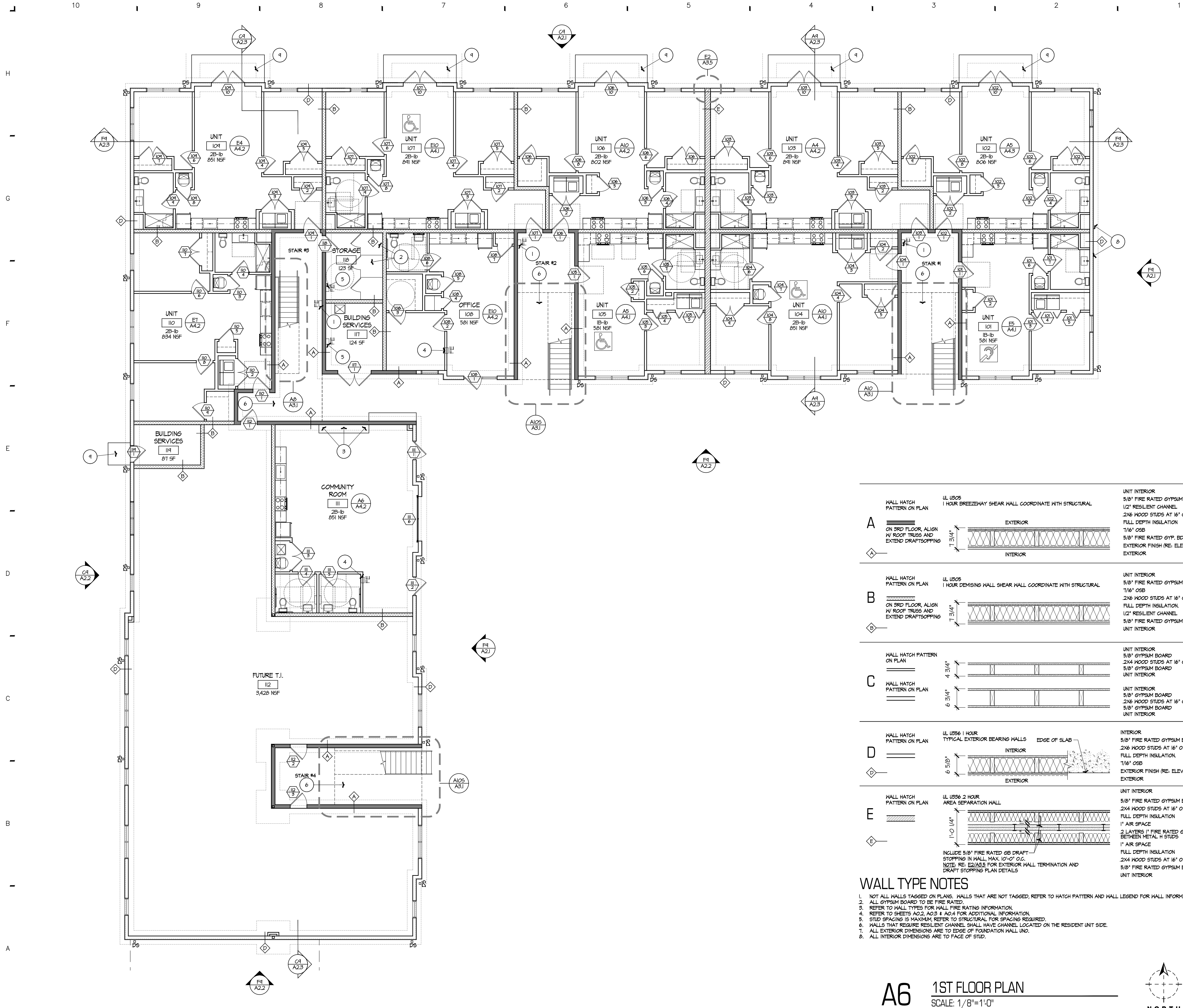
REVISIONS:

PROJECT NO.: 2116

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KEY NOTES

- 1 HR FIRE RATED SEMI-RECESSED FIRE EXTINGUISHER CABINET, 104415 & 104416. PROVIDE OUTDOOR RATED CABINETS AT EXTERIOR LOCATIONS.
2. 8 FT HIGH FENCED STORAGE COMPARTMENTS W/ 3 FT WIDE COMMERCIAL GRADE HINGE/GATE & LOCKABLE LATCH OR PADLOCK HASP. 4 ANG CHAIN LINK FENCING MATERIAL WITH 2-3/8" GSSO TERMINAL POSTS. PROVIDE ACCESSIBLE COMPARTMENTS ON THE FIRST FLOOR - ROOM 118.
3. 3 COMPUTER DESKS, BY OWNER.
4. SAME AS KEY NOTE 1, EXCEPT SEMI RECESSED, NON-RATED MOUNT TYPE.
5. SAME AS KEY NOTE 1, EXCEPT SURFACE MOUNT ON 1 HR FIRE RATED WALL.
6. SLOPE DOWN CONCRETE @ 1% TO SIDEWALK.
7. NOT USED.
8. APPROX. LOCATION OF WALL MOUNTED ELEG EQUIPMENT. RE: ELEG.
9. CONC. PATIO WITH THICKENED SLAB EDGE (MIN. 1/4" / FT SLOPE AWAY FROM BUILDING); RE: STRUCTURAL. PROVIDE 1/2" EXPANSION MATERIAL; RE: C45/A3.5.

GENERAL FLOOR PLAN

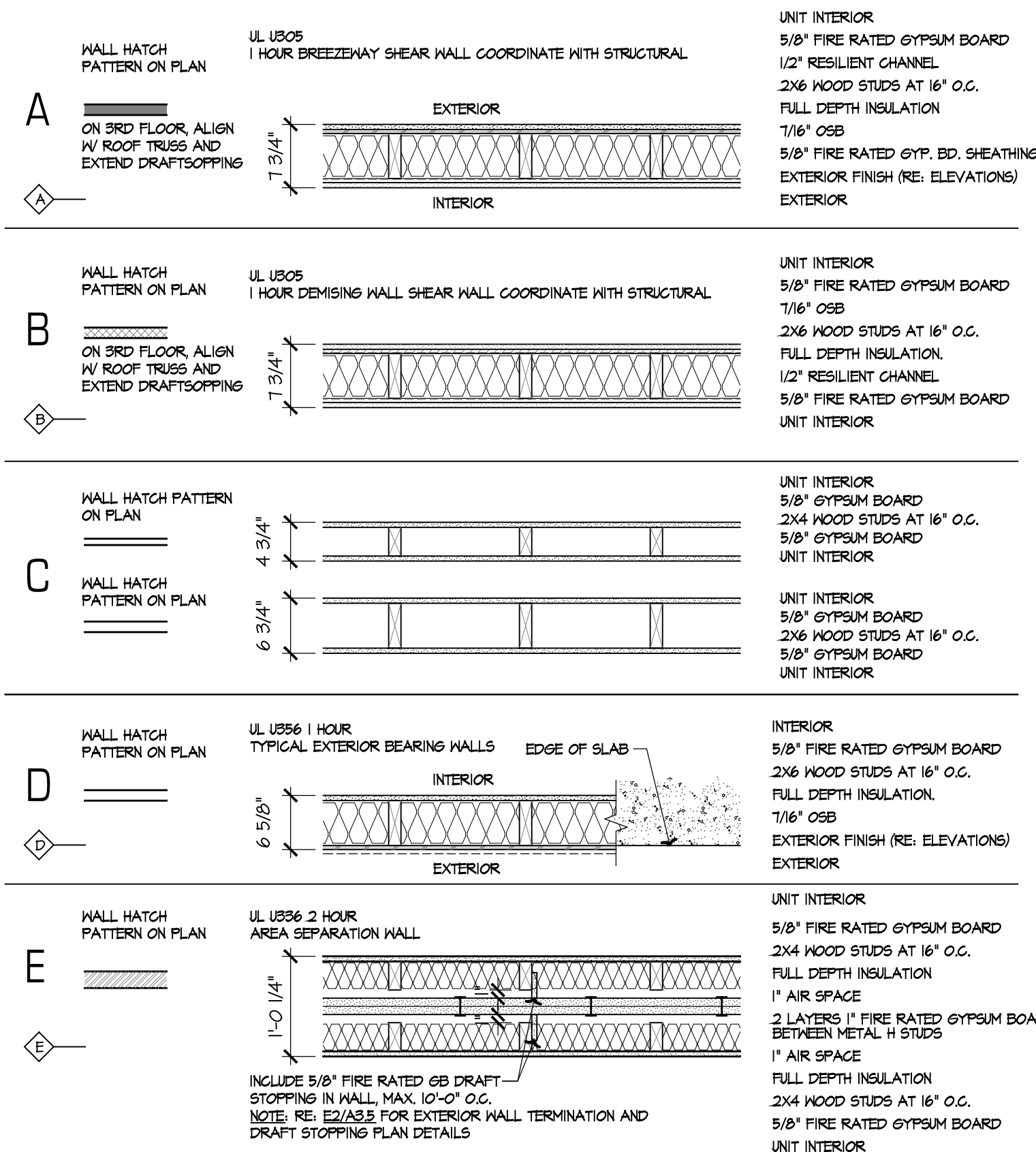
NOTES

- A. RE: SHEETS A4.1, A4.2 & A4.3 FOR ENLARGED FLOOR PLANS.

LEGEND

NOTE: RE: A0.0 FOR SYMBOL LEGEND AND ABBREVIATIONS

DS - DOWNSPOUT LOCATION - COORDINATE ALL LOCATIONS W/ THE BUILDING ELEVATIONS & CIVIL DRAWINGS FOR BELOW GRADE CONNECTIONS.



WALL TYPE NOTES

1. NOT ALL WALLS TAGGED ON PLANS. WALLS THAT ARE NOT TAGGED, REFER TO HATCH PATTERN AND WALL LEGEND FOR WALL INFORMATION.
2. ALL GYPSUM BOARD TO BE FIRE RATED.
3. REFER TO WALL TYPES FOR WALL FIRE RATING INFORMATION.
4. REFER TO SHEETS A0.2, A0.3 & A0.4 FOR ADDITIONAL INFORMATION.
5. STUD SPACING IS MAXIMUM. REFER TO STRUCTURAL FOR SPACING REQUIRED.
6. WALLS THAT REQUIRE RESILIENT CHANNEL SHALL HAVE CHANNEL LOCATED ON THE RESIDENT UNIT SIDE.
7. ALL EXTERIOR DIMENSIONS ARE TO EDGE OF FOUNDATION WALL UND.
8. ALL INTERIOR DIMENSIONS ARE TO FACE OF STUD.



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FIRST FLOOR PLAN

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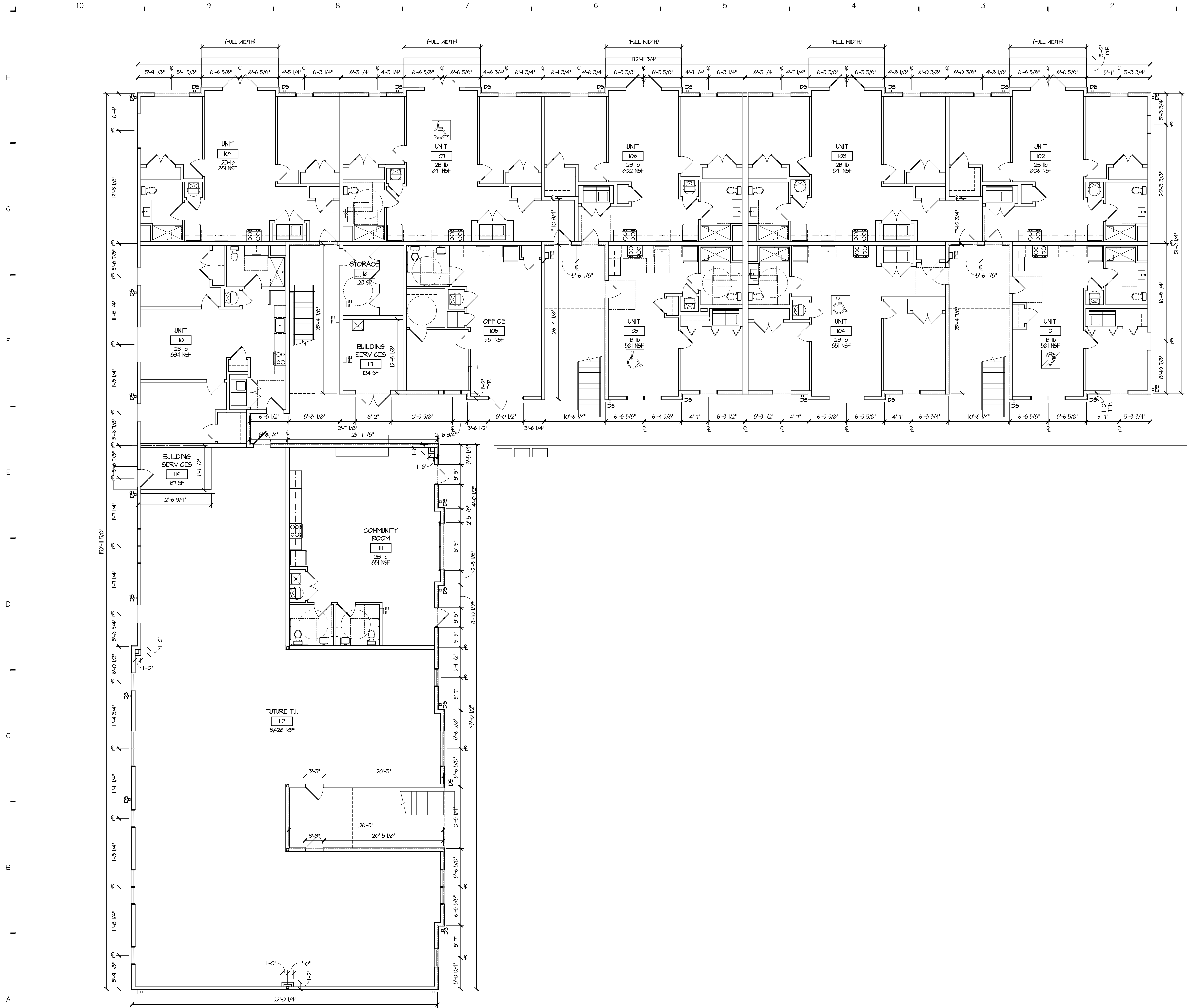
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1ST FLOOR PLAN
SCALE: 1/8"=1'-0"



DIMENSIONS

- DIMENSIONS ARE TO FACE OF STUD WALL, CENTER OF STUD WALL, MASONRY OPENING, & CENTER OF WINDOWS AS SHOWN.
- REFER TO ENLARGED PLANS FOR DIMENSIONS WITHIN APARTMENTS, OFFICE, AND COMMUNITY ROOM SPACES.

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FIRST FLOOR
DIMENSION PLAN

ISSUE DATE:

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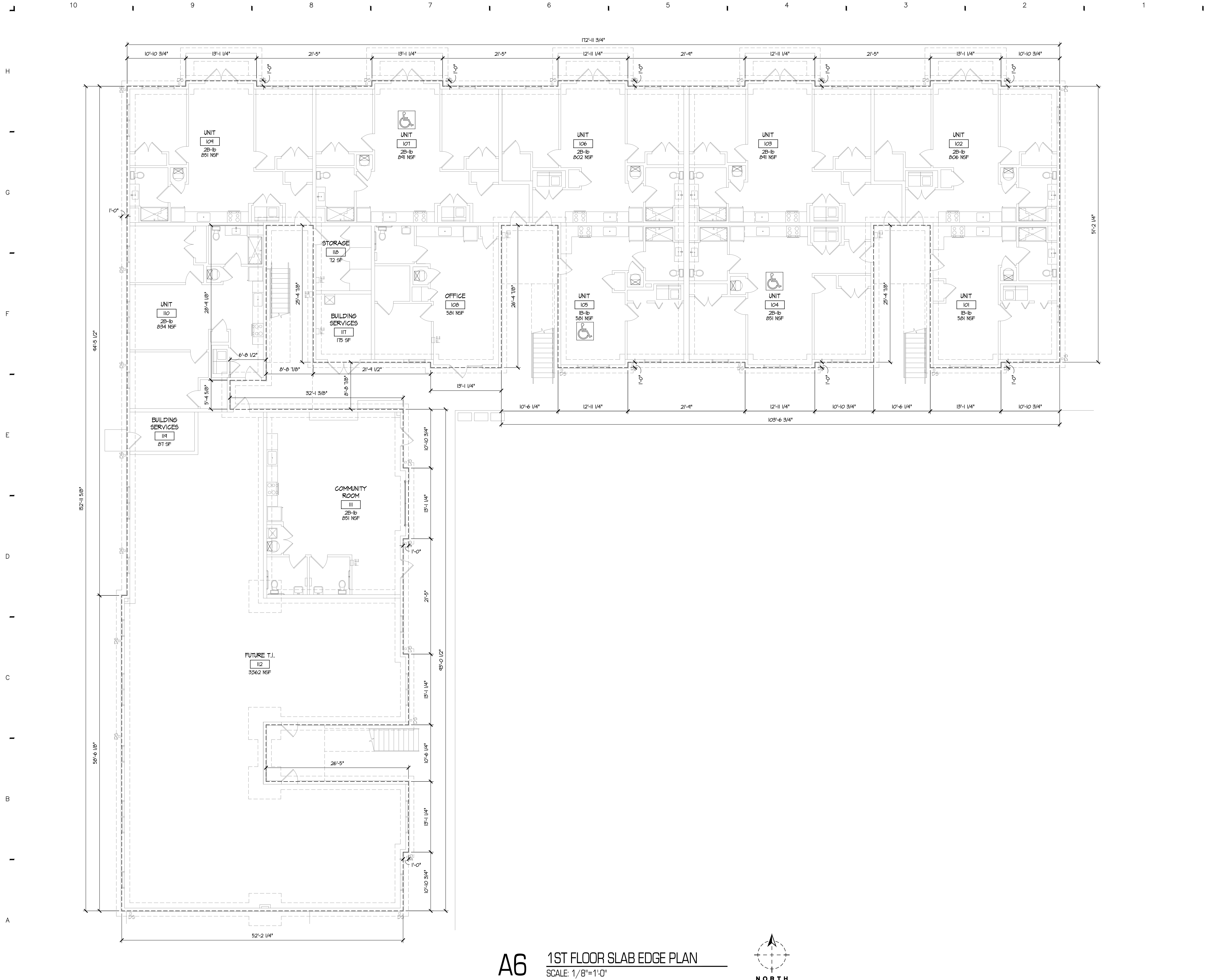
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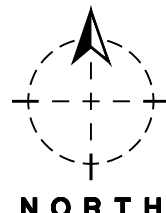
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1ST FLOOR SLAB EDGE PLAN
SCALE: 1/8"=1'-0"



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FIRST FLOOR SLAB
EDGE PLAN

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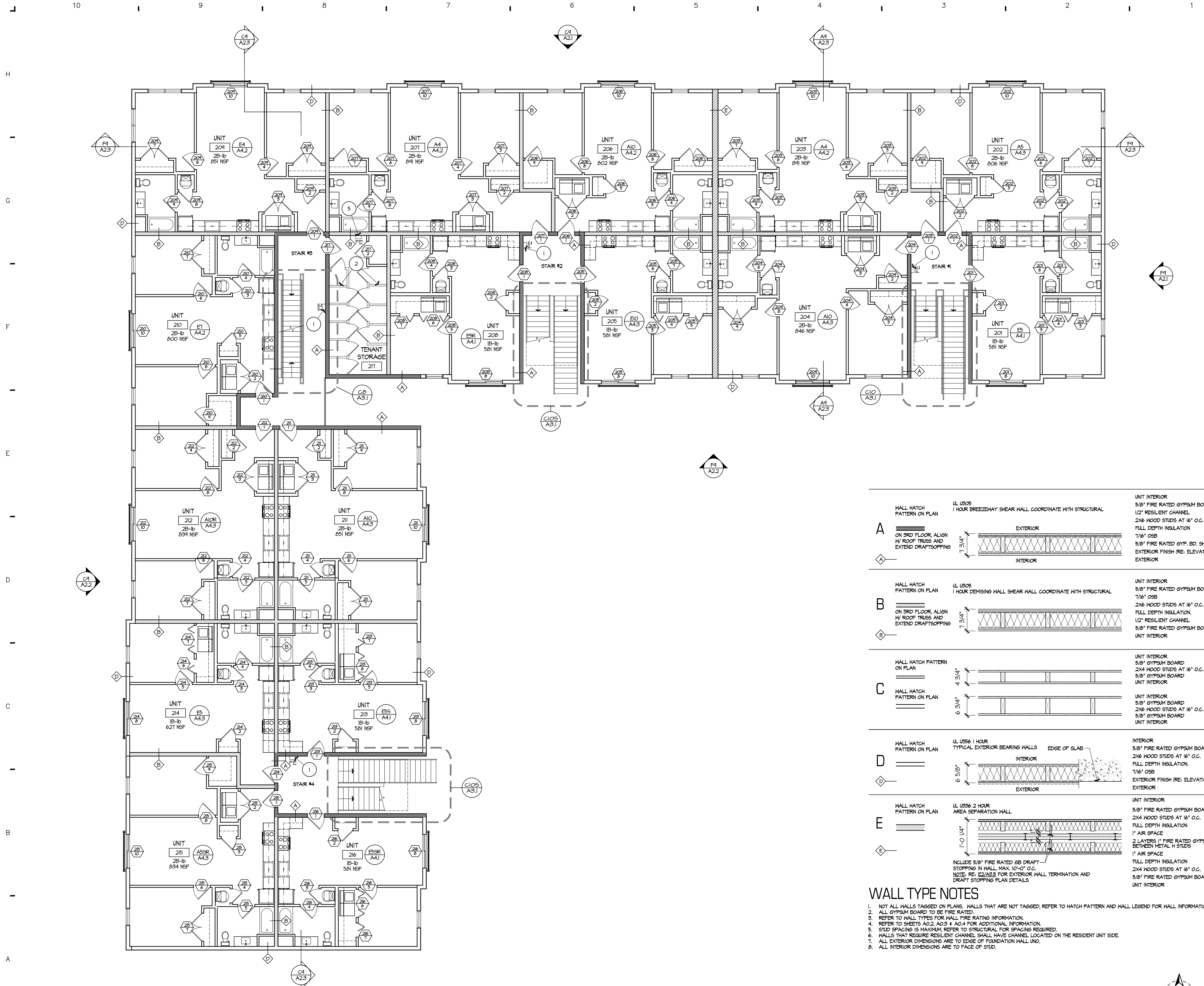
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1. 1 HR FIRE RATED SEMI-RECESSED FIRE EXTINGUISHER CABINET, 104415 & 104416. PROVIDE OUTDOOR RATED CABINETS AT EXTERIOR LOCATIONS.
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GENERAL FLOOR PLAN

NOTES

- A. RE: SHEETS A4.1, A4.2 & A4.3 FOR ENLARGED FLOOR PLANS.

LEGEND

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DS - DOWNSPOUT LOCATION - COORDINATE ALL LOCATIONS W/ THE BUILDING ELEVATIONS & CIVIL DRAWINGS FOR BELOW GRADE CONNECTIONS.

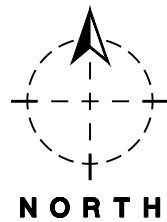
A	WALL HATCH PATTERN ON PLAN ON 3RD FLOOR, ALIGN W/ ROOF TRUSS AND EXTEND DRAFTSTOPPING	UL U505 1 HOUR BREEZEWAY SHEAR WALL COORDINATE WITH STRUCTURAL	UNIT INTERIOR 5/8" FIRE RATED GYPSUM BOARD 1/2" RESILIENT CHANNEL 2X6 WOOD STUDS AT 16" O.C. FULL DEPTH INSULATION 7/16" OSB 5/8" FIRE RATED GYP. BD. SHEATHING EXTERIOR FINISH (RE: ELEVATIONS) EXTERIOR
B	WALL HATCH PATTERN ON PLAN ON 3RD FLOOR, ALIGN W/ ROOF TRUSS AND EXTEND DRAFTSTOPPING	UL U505 1 HOUR DEMISING WALL SHEAR WALL COORDINATE WITH STRUCTURAL	UNIT INTERIOR 5/8" FIRE RATED GYPSUM BOARD 7/16" OSB 2X6 WOOD STUDS AT 16" O.C. FULL DEPTH INSULATION 1/2" RESILIENT CHANNEL 5/8" FIRE RATED GYPSUM BOARD UNIT INTERIOR
C	WALL HATCH PATTERN ON PLAN WALL HATCH PATTERN ON PLAN	UL U566 TYPICAL EXTERIOR BEARING WALLS	UNIT INTERIOR 5/8" GYPSUM BOARD 2X4 WOOD STUDS AT 16" O.C. 5/8" GYPSUM BOARD UNIT INTERIOR
D	WALL HATCH PATTERN ON PLAN	UL U566 TYPICAL EXTERIOR BEARING WALLS	UNIT INTERIOR 5/8" GYPSUM BOARD 2X6 WOOD STUDS AT 16" O.C. 5/8" GYPSUM BOARD UNIT INTERIOR
E	WALL HATCH PATTERN ON PLAN	UL U566 2 HOUR AREA SEPARATION WALL	UNIT INTERIOR 5/8" FIRE RATED GYPSUM BOARD 2X4 WOOD STUDS AT 16" O.C. FULL DEPTH INSULATION 1" AIR SPACE 2 LAYERS 1" FIRE RATED GYPSUM BOARD 1 BETWEEN METAL H STUDS 1" AIR SPACE FULL DEPTH INSULATION 2X4 WOOD STUDS AT 16" O.C. 5/8" FIRE RATED GYPSUM BOARD UNIT INTERIOR

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4. REFER TO SHEETS A2.2, A2.3 & A2.4 FOR ADDITIONAL INFORMATION.
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A6

2ND FLOOR PLAN (3RD FLOOR SIM)
SCALE: 1/8"=1'-0"



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SECOND & THIRD
FLOOR PLANS

ISSUE DATE:

4.15.2022

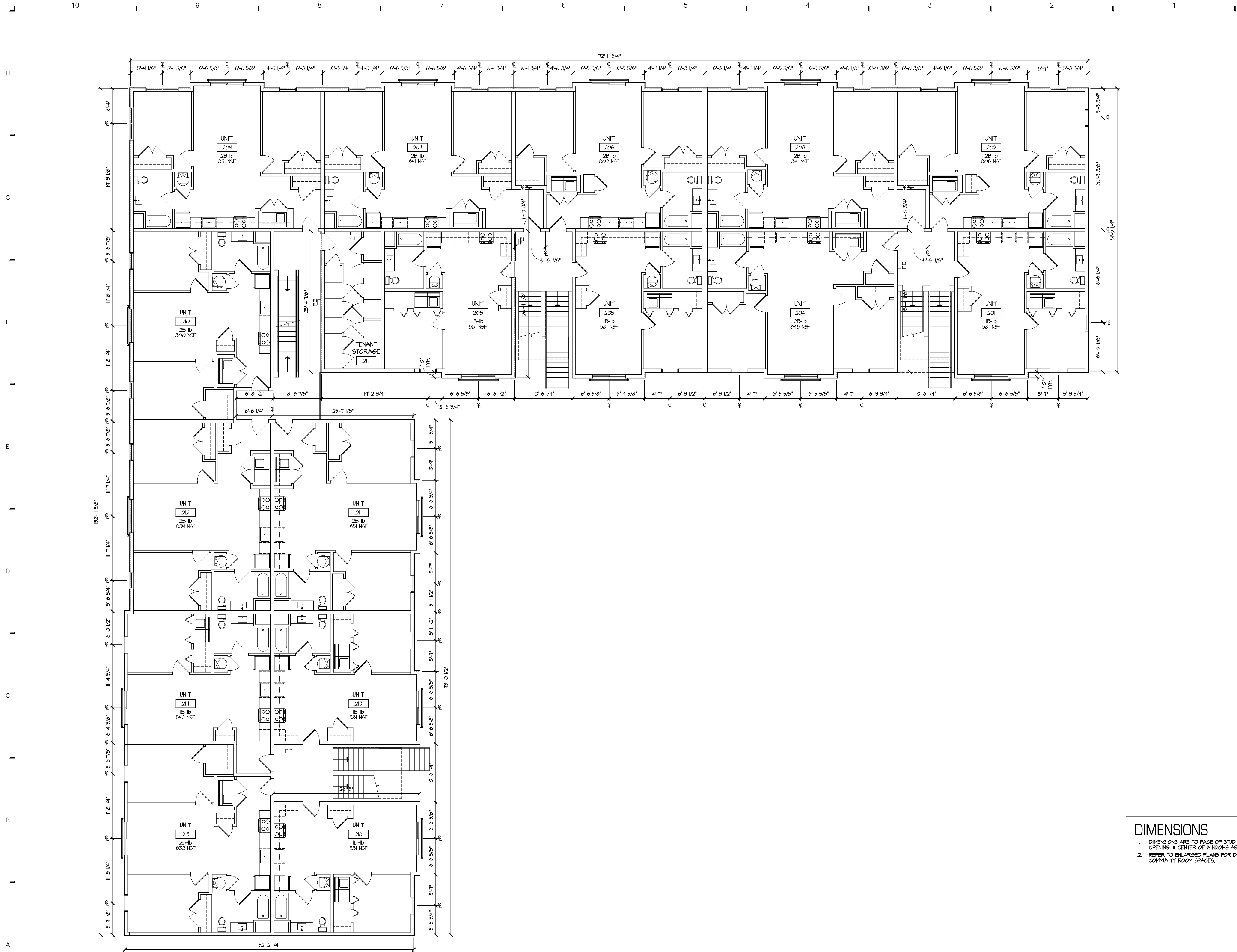
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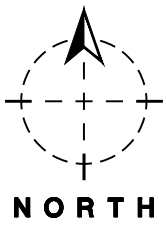
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2ND FLOOR PLAN (3RD FLOOR SIM)
SCALE: 1/8"=1'-0"



DIMENSIONS

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SECOND & THIRD
FLOOR DIMENSION
PLANS

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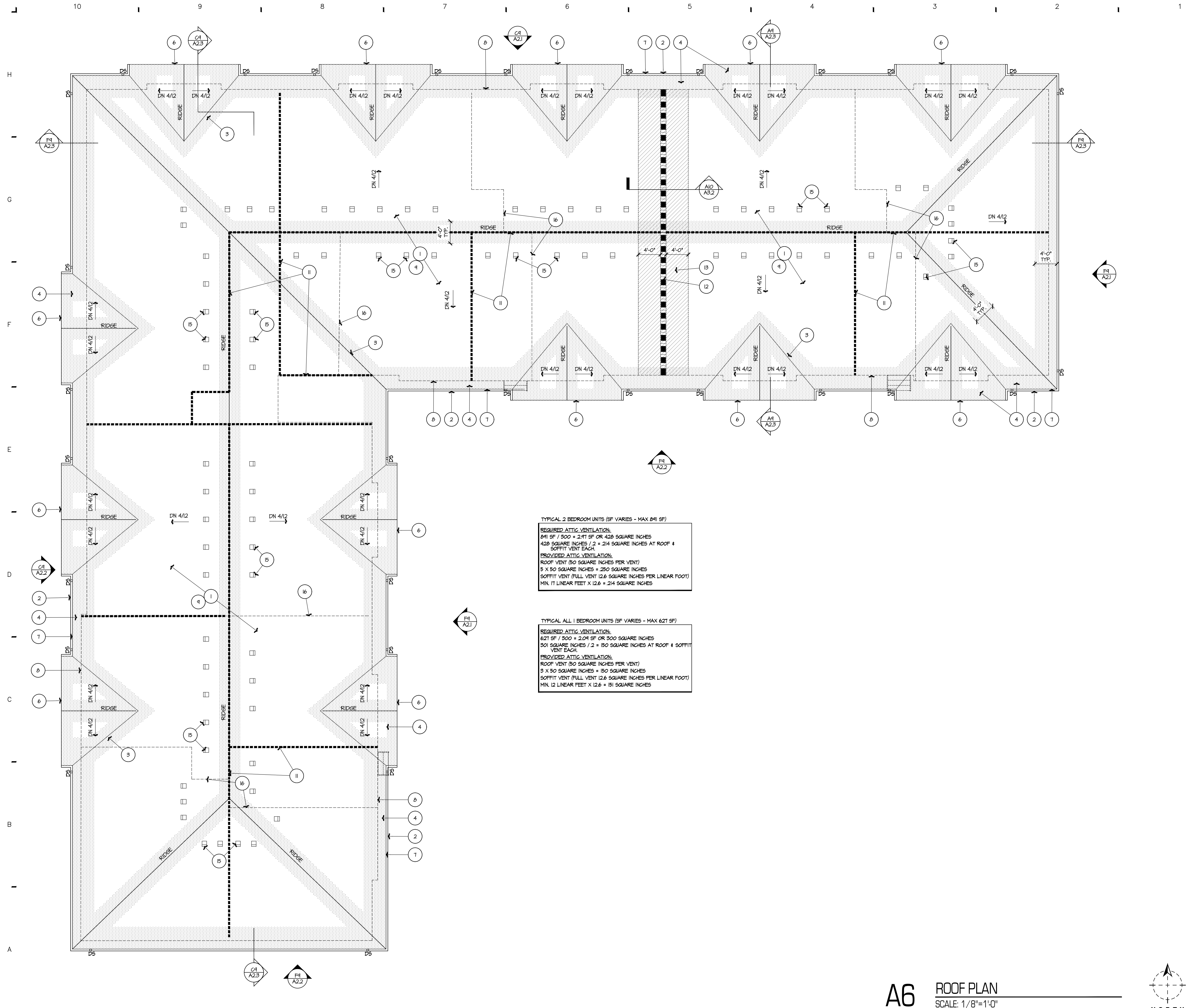
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TYPICAL 2 BEDROOM UNITS (SF VARIES - MAX 841 SF)
REQUIRED ATTIC VENTILATION:
841 SF / 300 = 2.81 SF OR 428 SQUARE INCHES
428 SQUARE INCHES / 2 = 214 SQUARE INCHES AT ROOF & SOFFIT VENT EACH.
PROVIDED ATTIC VENTILATION:
ROOF VENT: 80 SQUARE INCHES PER VENT
5 X 50 SQUARE INCHES = 250 SQUARE INCHES
SOFFIT VENT (FULL VENT 12.6 SQUARE INCHES PER LINEAR FOOT)
MIN. 17 LINEAR FEET X 12.6 = 214 SQUARE INCHES

TYPICAL ALL 1 BEDROOM UNITS (SF VARIES - MAX 621 SF)
REQUIRED ATTIC VENTILATION:
621 SF / 300 = 2.07 SF OR 300 SQUARE INCHES
301 SQUARE INCHES / 2 = 150 SQUARE INCHES AT ROOF & SOFFIT VENT EACH.
PROVIDED ATTIC VENTILATION:
ROOF VENT: 80 SQUARE INCHES PER VENT
3 X 50 SQUARE INCHES = 150 SQUARE INCHES
SOFFIT VENT (FULL VENT 12.6 SQUARE INCHES PER LINEAR FOOT)
MIN. 12 LINEAR FEET X 12.6 = 151 SQUARE INCHES

KEY NOTES

1. ARCHITECTURAL ASPHALT SHINGLE ROOFING ON UNDERLAYMENT ON WOOD SHEATHING PER STRUCTURAL. LAYER OF 15# ASPHALT SATURATED FELT UNDERLAYMENT, LAPPED 2" MIN. INSTALL LEAK BARRIER (ICE DAM PROTECTION) AT EAVES UP ROOF 24" MIN. FAST INTERIOR FACE OF EXTERIOR WALL LINE, MANUFACTURED BY "TANKO" OR APPROVED EQUAL. MOISTURE GUARD PLUS. ALSO INSTALL LEAK BARRIER AT RIDGES, VALLEYS (36" WIDE) & SIDEWALL CONDITIONS. INSTALL SHINGLES UNDERLAYMENT, FLASHING, ETC. SYSTEMS PER BUILDING CODE & MANUFACTURER'S INSTRUCTIONS. TYP. ENTIRE ROOF. 30 YEAR WARRANTY. 073115
2. PREFINISHED ALUMINUM GUTTER (4"x4") & DOWNSPOUT (4"x4"). INCLUDE VALLEY CORNER SPLASH GUARDS, HEADWALL KICKOUT FLASHINGS, & CONCRETE SPLASH BLOCKS. TYP. 076200.
3. PREFINISHED SHEETMETAL OPEN-VALLEY FLASHING (UNO), MIN. 24" WIDE. COLOR TO MATCH ROOFING. TYP. 076200.
4. CEMENT FIBER VENTED SOFFIT PANELS BELOW W/ 12.6 SQ. IN. / LF. SMOOTH TEXTURE. PLACE VENTED SECTION OF PANEL TOWARD THE OUTSIDE OF THE EAVE. COLOR SELECTED BY ARCHITECT. TYP. 074600.
5. NOT USED
6. PREFINISHED SHEETMETAL ROOF EDGE FLASHING, TYPICAL AT ROOF ENDS. TYP. 076200.
7. PREFINISHED SHEETMETAL ROOF DRIP EDGE FLASHING, TYPICAL AT ROOF / GUTTER EDGES. TYP. 076200.
8. LINE OF EXTERIOR WALL SHOWN BELOW. SOFFIT WIDTH VARIES, RE. A6/A5.3 FOR DIMENSIONS.
9. INSIDE ATTIC BELOW, R-44 BLOWN-IN INSULATION. INSTALL RAFTER VENTILATION BAFFLES BETWEEN ALL RAFTERS & TRUSSES. 071010.
10. NOT USED
11. 1 HOUR FIRE RATED WALL BELOW. TERMINATE AT RATED ROOF/CEILING ASSEMBLY. INSTALL DRAFTSTOPPING PER CODE PLANS. TYP.
12. 2 HOUR FIRE RATED WALL BELOW. EXTEND TO BOTTOM OF FIRE TREATED ROOF DECK.
13. FIRE TREATED PLYWOOD ROOF SHEATHING, MIN. OF 4'-0" PAST GB ON BOTH SIDES OF THE 2 HR FIRE RATED WALL, INDICATED BY "HATCH PATTERN". NO PENETRATIONS THIS AREA.
14. SAME AS KEY NOTE 2, EXCEPT TIE DOWNSPOUT TO UNDERGROUND DRAINAGE THIS LOCATION. RE. CIVIL.
15. LOUVERED ROOF VENT, MIN. 50 SQ. IN. EACH. SHEET METAL TYPE, PREFINISHED TO MATCH ROOF COLOR. TYP. 073115
16. UNIT DEMISING OR RATED EGRESS CORRIDOR/STAIR WALL BELOW

ROOF GENERAL NOTES

1. PROVIDE CONCRETE SPLASH BLOCK AT ALL DOWNSPOUTS THAT ARE NOT CONNECTED TO UNDERGROUND DRAINAGE SYSTEM. RE. CIVIL.
2. RE. VENT DRAINAGES FOR ROOF TERMINATION EXHAUST VENTING, PIPE VENTING, ETC.

LEGEND

PS - DOWNSPOUT LOCATION - COORDINATE ALL LOCATIONS W/ THE BUILDING ELEVATIONS & CIVIL DRAWINGS FOR BELOW GRADE CONNECTIONS.

AREA OF LEAK BARRIER APPLICATION

ATTIC DRAFTSTOPPING: MIN. 3/8" OSB APPLIED TO FRAMING. LINE OF DRAFTSTOPPING TO FOLLOW WALL LINE OF UNITS BELOW. PROVIDE MIN. 20"x30" SELF CLOSING ACCESS DOOR AT EACH DRAFT STOP. DRAFT STOPPING TO EXTEND TO THE FASCIA THROUGH THE SOFFIT SO THAT SMOKE/AIR CAN NOT TRAVEL TO ADJACENT SPACES.



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ROOF PLAN

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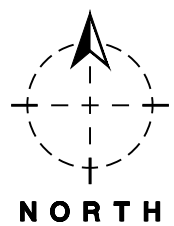
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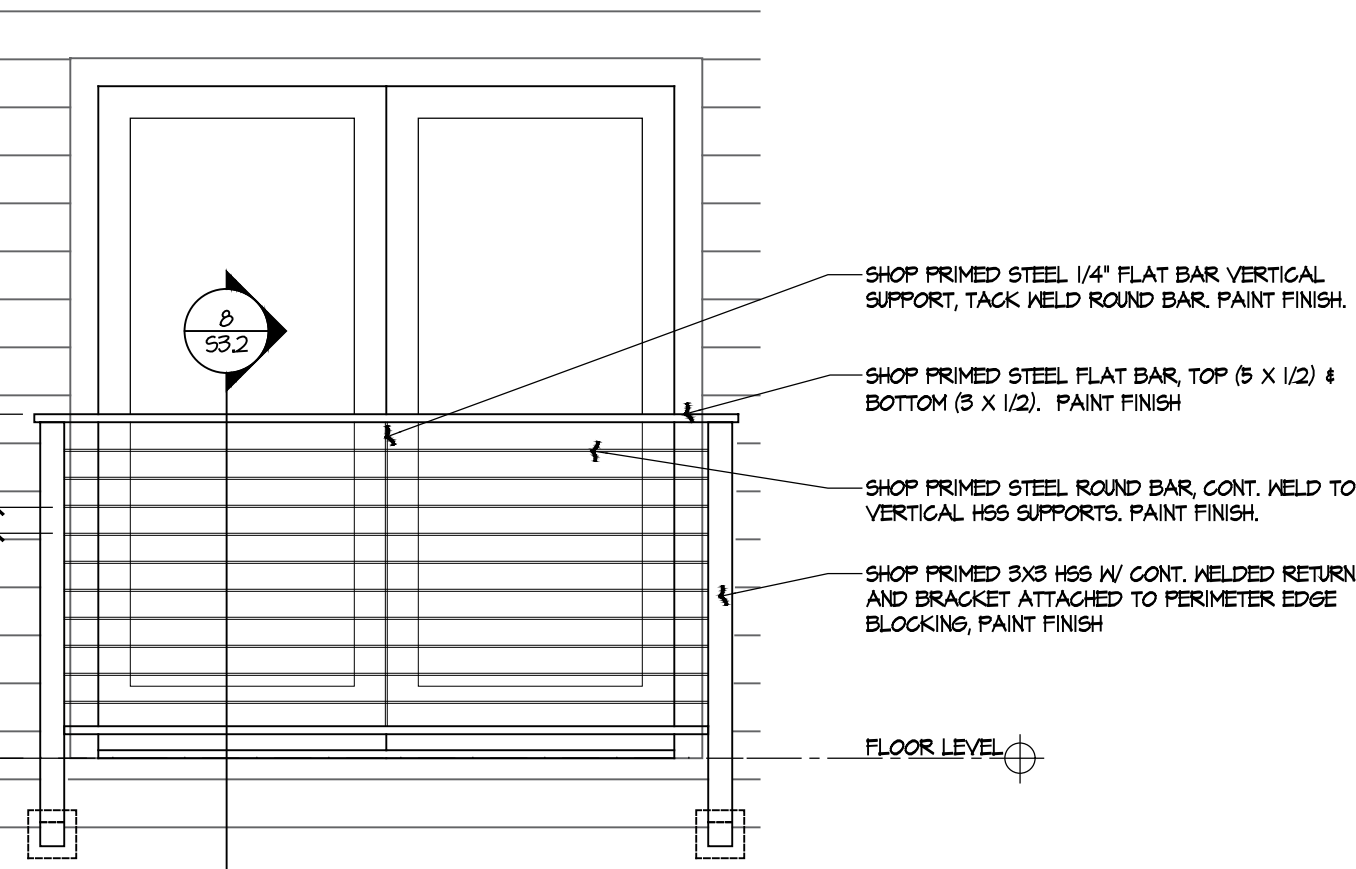
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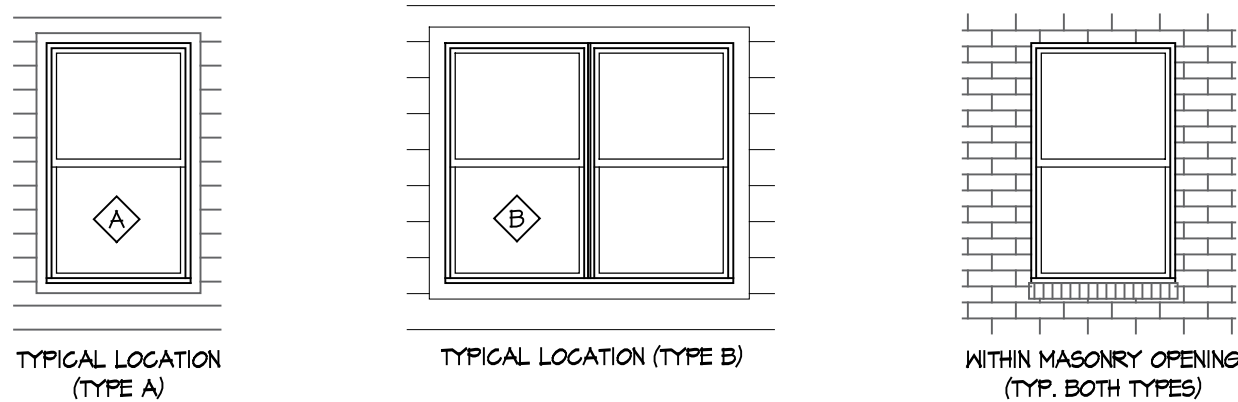
ROOF PLAN
SCALE: 1/8"=1'-0"



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A9 JULIET BALCONY - ENLARGED ELEVATION
SCALE: 1/2"=1'-0"

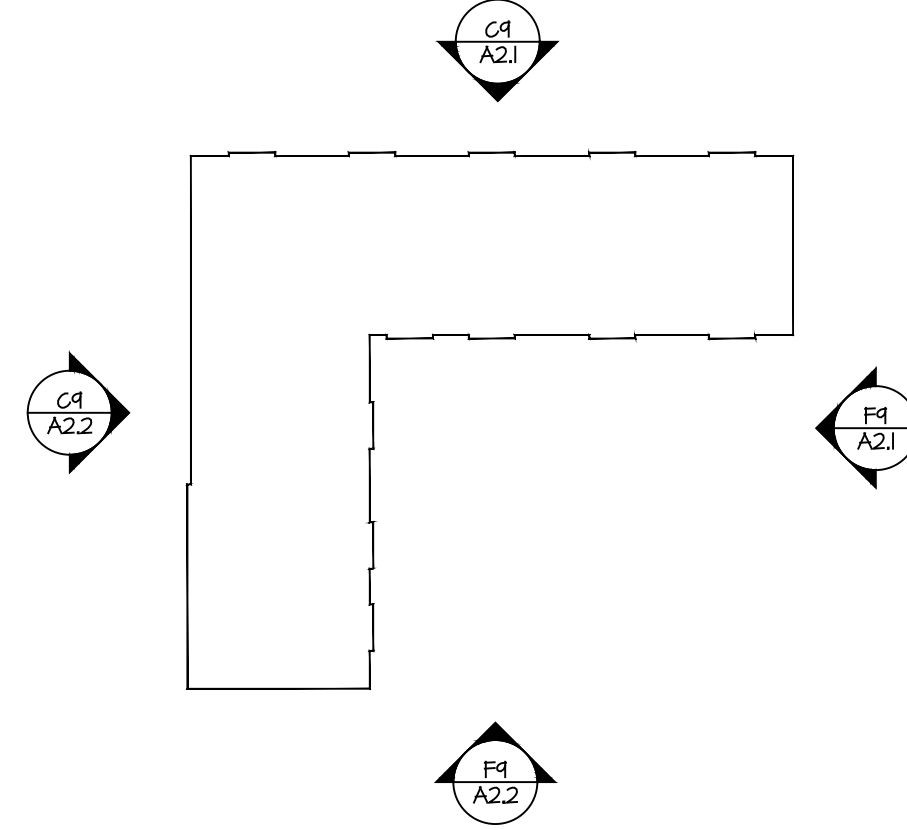


WINDOW SCHEDULE

MARK	FRAME MATERIAL/TYPE	UNITS PER WINDOW OPENING	HEIGHT OF UNIT	WIDTH OF UNIT
A	VINYL / SINGLE HUNG	1	64"	36"
B	VINYL / SINGLE HUNG	2	64"	72"

- RE: EXTERIOR ELEVATION GENERAL NOTES FOR ADDITIONAL INFORMATION.
- U VALUE = MAX 0.32, SHGC = MAX 0.30
- ALIGN HEAD OF WINDOW W/ HEAD OF STOREFRONT / PATIO DOORS
- INCLUDE MANUFACTURER STANDARD MULLION & REINFORCEMENT AS REQUIRED

A5 WINDOW TYPES - ENLARGED ELEVATION
SCALE: 1/4"=1'-0"



A2 KEY PLAN
SCALE: NONE



C9 NORTH BUILDING ELEVATION
SCALE: 1/8"=1'-0"

F9 EAST BUILDING ELEVATION
SCALE: 1/8"=1'-0"



KEY NOTES

- VINYL WINDOW PER SCHEDULE. QUAKER ADVANTEDGE SERIES BASIS OF DESIGN. 085513
- CEMENT FIBER VERTICAL SIDING PANEL W/ 2 1/2" CEMENT FIBER BORDER TRIM AND BATTENS @ APPROX. 36" O.C. SMOOTH PANEL & TRIM TEXTURE. INCLUDE HORIZONTAL Z-FLASHING AT ALL HORIZONTAL TRIM PER MANUFACTURER'S RECOMMENDATIONS. PAINT COLOR BY ARCHITECT. 074646
- ALUMINUM STOREFRONT ENTRANCE. 084113
- WALL MOUNTED ELECTRICAL EQUIPMENT. RE: ELECTRICAL
- CEMENT FIBER BOARD LAP SIDING. 6" EXPOSURE. SMOOTH TEXTURE. PAINT COLOR AS INDICATED. 074646
- CEMENT FIBER BOARD LAP SIDING. 6" EXPOSURE. SMOOTH TEXTURE. PAINT COLOR AS INDICATED. 074646
- 3/4" X 3/4" CEMENT FIBER BOARD TRIM. TEXTURE & FINISH TO MATCH ADJACENT CEMENT FIBER BOARD SIDING (UNLESS NOTED OTHERWISE (UNO.). 074646
- EXTERIOR HOLLOW METAL DOOR AND FRAME. PAINT. RE: DOOR SCHEDULE. 081113
- GALVANIZED HSS METAL RAILING W/ GALV. 1" X 1" STEEL PICKETS SPACED 4" MAX O.C. 085513
- COMPOSITE WOOD FASCIA ATTACHED TO STAIR/ DECK FRAMING. COLOR & FINISH TO MATCH COMPOSITE DECKING. 081333
- PRE-FINISHED BREAK METAL JAMBHEAD PANEL. 071000
- FULL-VIEW ALUMINUM & GLASS SECTIONAL DOOR. PRE-FINISHED THERMALLY BROKEN CLEAR LOW-E INSULATING GLASS - COMMERCIAL RATED. INCLUDE POLYURETHANE FILLED RAILS AND STILES. STANDARD LIFT TRACK. HARDWARE ELECTRICAL OPERATION. WEATHERSTRIPPING, ETC. MANUFACTURED BY C.H.I. OVERHEAD DOOR OR SIM. 083613
- EXTERIOR VINYL OR FIBERGLASS PATIO DOOR. RE: DOOR SCHEDULE. 081113
- STEEL & WOOD STAIR. TREATED WOOD CARRIAGES BOLTED TO MC CHANNEL STEEL STRINGERS. RE: STRUCTURAL. TREADS & LANDING DECKING TO BE 2X6 NOMINAL COMPOSITE WOOD PLANK. 085513
- PRE-FINISHED GUTTER & DOWNSPOUT. TERMINATE AT GRADE. COORD. FINAL DOWNSPOUT ROUTING / PATH WITH ARCHITECT AND CIVIL PLANS PRIOR TO INSTALLATION (PROVIDE CONCRETE SPLASH BLOCK WHERE REQUIRED) RE: CIVIL. 076200
- FACE BRICK MASONRY VENEER - KING SIZE, COLOR TED. 042113
- FIRE DEPARTMENT CONNECTION. RE: MEP
- DECORATIVE ROOF BRACKET, PYPON SMOOTH FLAT LINE' AS THE BASIS OF DESIGN.
- FIBER CEMENT BOARD STRAIGHT EDGE PANEL. SHINGLE SIDING. PRIMER FOR PAINT, FINISH COLOR BY ARCHITECT. 074600.
- ARCHITECTURAL ASPHALT SHINGLE ROOFING SYSTEM. COLOR TED BY ARCHITECT. RE: ROOF PLAN. 073113
- VINYL 2 PANEL SLIDING PATIO DOOR.

ELEV. GENERAL NOTES

- INSTALL COMPLETE SIDING SYSTEM ON SHEATHING. SIDING SYSTEM MANUFACTURED BY JAMES HARDIE BUILDING PRODUCTS. INSTALL SIDING, TRIM, CAULK & FLASHING PER MANUFACTURER'S INSTRUCTIONS. FINISH AS INDICATED UNDER "EXTERIOR FINISH LEGEND". ALL TRIM 3/4" THICK, SMOOTH FINISH, UNO. ALL DETAILS SHALL BE AS READ BY THE MANUFACTURER. 074646
- CAULK ALL WINDOW FRAMES, DOOR FRAMES, DOOR SILLS, TRIM & EXTERIOR WALL PENETRATIONS AS REQUIRED FOR WATERPROOF PERFORMANCE. COLOR TO MATCH ADJACENT TRIM / WALL SURFACE COLOR. USE CAULK TYPE RECOMMENDED BY MANUFACTURER FOR SPECIFIC JOINT MATERIAL & CONDITION.
- ALL COLOR SELECTIONS BY ARCHITECT FROM MANUFACTURER'S FULL RANGE.
- VINYL WINDOWS W/ CLEAR INSULATED GLAZING. ENERGY STAR RATED, 2018 IBC EMERGENCY ESCAPE & RESCUE SIZE COMPLIANT. QUAKER MANCHESTER SERIES BASIS OF DESIGN. INTEGRAL WHITE COLOR W/ BETWEEN THE GLASS FLAT MATTING WHERE SHOWN. ALL OPERABLE WINDOWS ABOVE THE 1ST FLOOR TO HAVE OPENING CONTROL DEVICES. INCLUDE INSECT SCREENS. 085513.

EXTERIOR FINISHES

- FACE BRICK VENEER. KING SIZE. COLOR TO TED.
- CEMENT FIBER VERTICAL SIDING W/ BATTEN BOARDS AT 36" O.C., JAMES HARDIE. TEXTURE: SMOOTH. COLOR: EXT-P1 (TED).
- CEMENT FIBER LAP SIDING (6" EXPOSURE). JAMES HARDIE. TEXTURE: SMOOTH. COLOR: EXT-P2 (TED) OR EXT-P3 (TED). CONTRACTOR TO ALLOW FOR TWO COLOR SCHEMES AT ALL LAP SIDING.
- CEMENT FIBER LAP SIDING (6" EXPOSURE). JAMES HARDIE. TEXTURE: SMOOTH. COLOR: EXT-P3 (TED) OR EXT-P4 (TED). CONTRACTOR TO ALLOW FOR TWO COLOR SCHEMES AT ALL LAP SIDING.
- CEMENT FIBER STRAIGHT EDGE SHINGLE SIDING. JAMES HARDIE. TEXTURE - SMOOTH. COLOR: EXT-P3

WINDOW GEN. NOTES

- ALL SECOND AND THIRD FLOOR OPERABLE WINDOWS TO HAVE OPENING CONTROL DEVICES. COLOR TO MATCH WINDOW. ALL OPENING WINDOW TO OPEN FULLY.
- PROVIDE FIRE RATED & SAFETY GLAZING WHERE REQUIRED BY CODE.
- CONTRACTOR TO PROVIDE HORIZONTAL LOUVER BLINDS AT EACH WINDOW. RE: SPEC. SECTION 122113.
- RE: AS/A2.1 FOR WINDOW SCHEDULE, TYPES, AND ADDITIONAL INFORMATION



ARCHITECTURAL CORPORATION
MISSOURI CERTIFICATE
OF AUTHORITY NO. 000073

NORDIC LANDING
SW CORNER OF W CATALPA ST & S DOUGLAS AVE
SPRINGFIELD, GREENE COUNTY, MISSOURI 65807

STARK WILSON DUNCAN ARCHITECTS INC.
315 NICHOLS RD. STE 228 - KANSAS CITY, MO 64112 - T: 816.531.1898

SEAL
ARCHITECT - PAUL G STARK
MO. LICENSE NO. A-7505



BUILDING
ELEVATIONS

ISSUE DATE:

4.15.2022

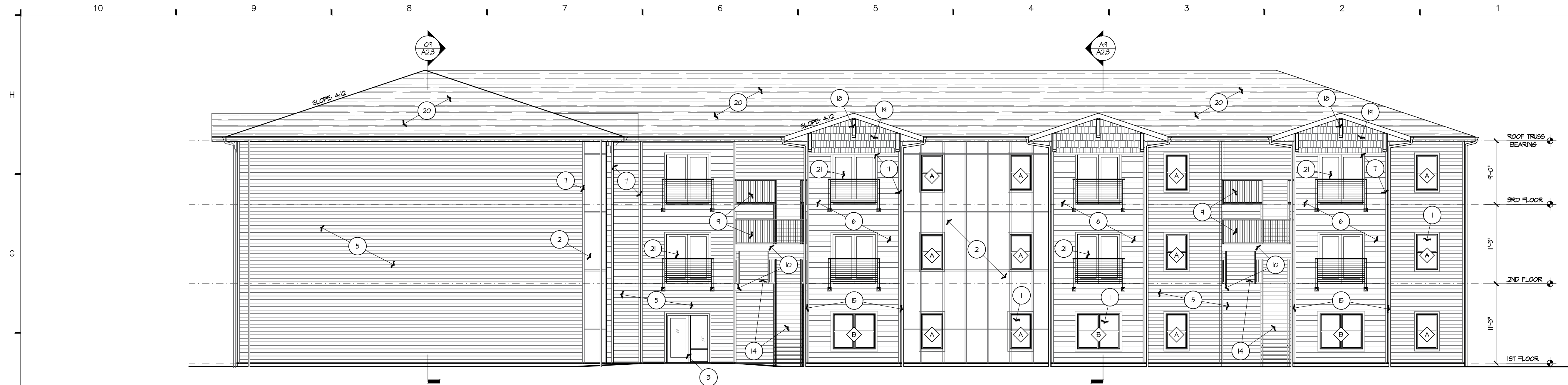
REVISIONS:

PROJECT NO.: 2116

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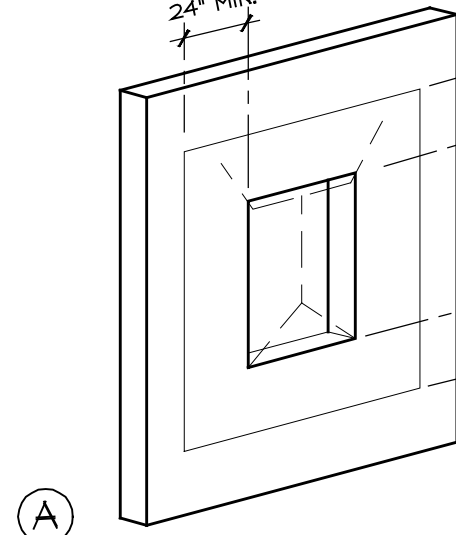
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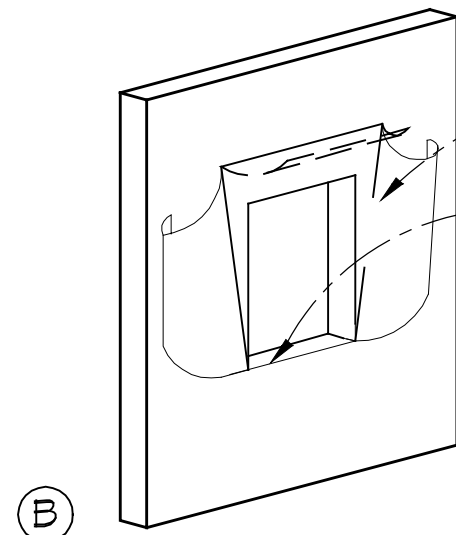
F9 SOUTH BUILDING ELEVATION
SCALE: 1/8"=1'-0"



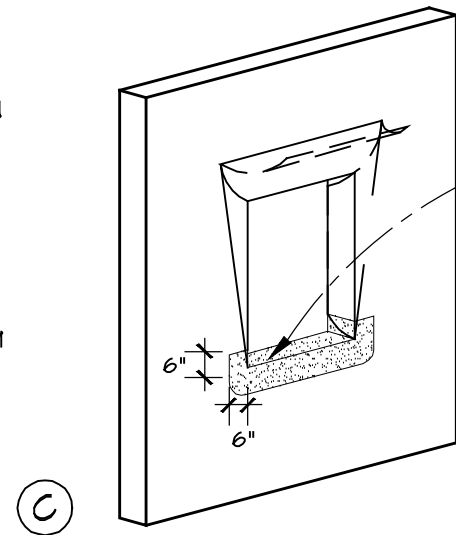
C9 WEST BUILDING ELEVATION
SCALE: 1/8"=1'-0"



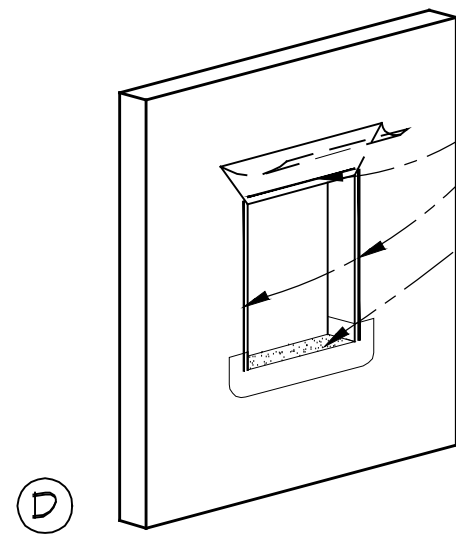
- IF AIR INFILTRATION BARRIER CANNOT BE INSTALLED OVER ENTIRE BUILDING PRIOR TO WINDOW INSTALLATION, CUT AND PLACE PIECE OF AIR INFILTRATION BARRIER AT EACH WINDOW AND DOOR OPENING TO EXTEND BEYOND OPENING MINIMUM 24" ALL SIDES.
- CAREFULLY CUT AIR INFILTRATION BARRIER ACCORDING TO DIAGRAM 'A'. CUT TOP FLAP OF AIR INFILTRATION BARRIER FLUSH WITH TOP OF OPENING.



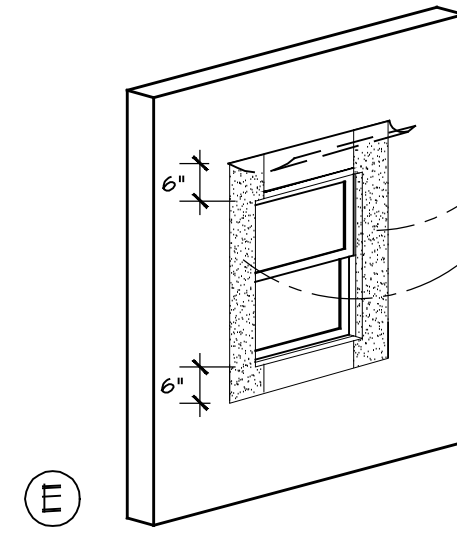
- INSTALL BEVELED CEDAR SHIM AT SILL, SLOPED TOWARD EXTERIOR.
- WRAP AIR INFILTRATION BARRIER @ SILL AND JAMB INTO OPENING.



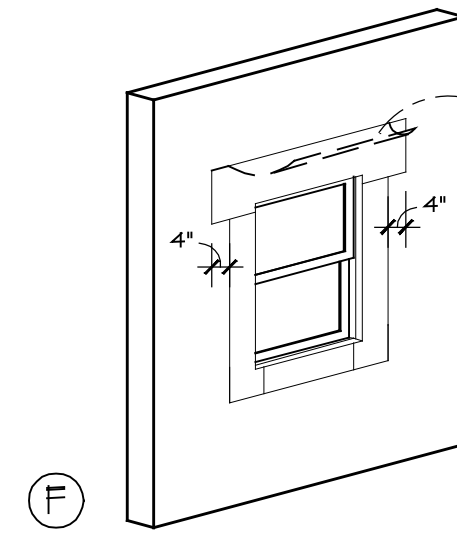
- INSTALL FLASHING AT SILL IN SINGLE PIECE, ALIGN EDGE OF SILL FLASHING WITH INSIDE EDGE OF SILL, EXTEND MINIMUM 6" BEYOND SIDES OF OPENING AND 6" UP JAMBS.



- PLACE SEALANT AT TOP AND SIDES OF OPENING (ON SHEATHING AT TOP, ON AIR INFILTRATION BARRIER AT SIDES). DO NOT PLACE SEALANT AT SILL.



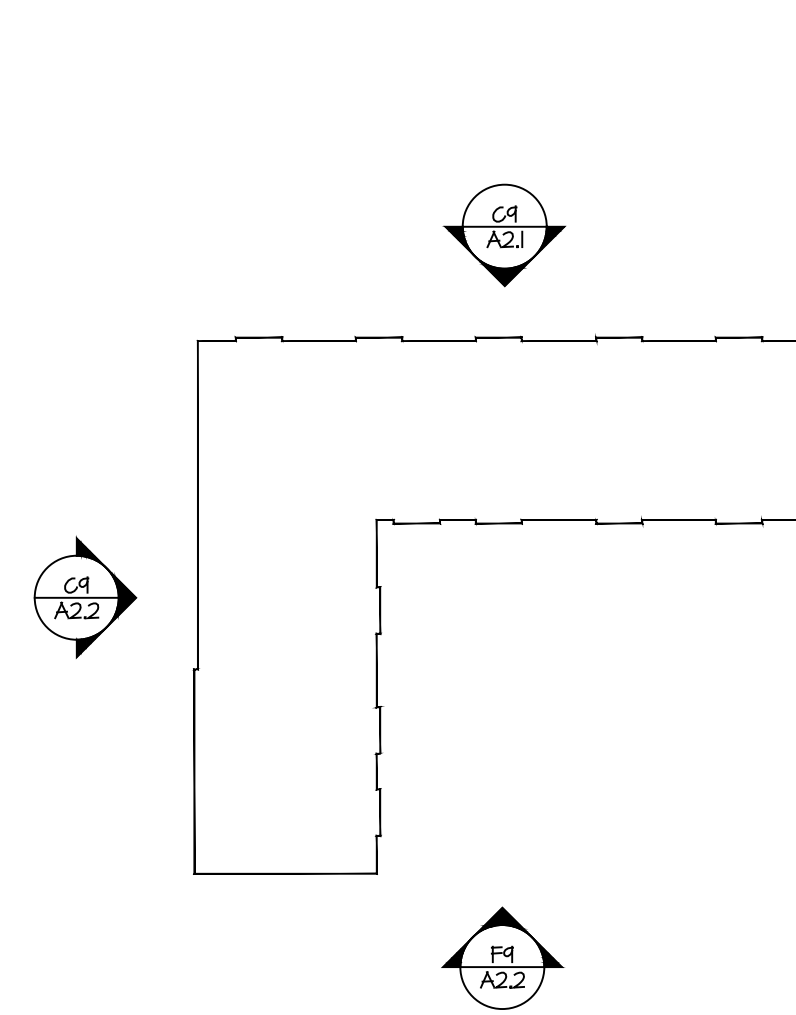
- APPLY SIDE FLASHING IN SINGLE PIECE, EXTENDING ABOVE AND BELOW WINDOW OPENING 6" (SAME WIDTH AS FLASHING), OVERLAP SILL FLASHING & WINDOW FRAME BY NOTCHING FLASHING TO WRAP AROUND TOP & BOTTOM OF FRAME 2" MINIMUM. LAP SIDE FLASHING ONTO WINDOW FRAME, NOT ONLY NAILING FIN.
- IF WINDOW DOESN'T HAVE AN INTEGRAL DRAIN CAP, APPLY ONE OVER TOP OF NAILING FIN, EXTENDING OVER THE FRONT EDGE OF THE FRAME.



- APPLY TOP FLASHING IN SINGLE PIECE, EXTEND OVER SIDE OF FLASHING 4" MINIMUM & NOTCH FLASHING TO LAP OVER TOP OF WINDOW FRAME BY 2".

NOTE: VERIFY INSTALLATION AND FLASHING RECOMMENDATIONS WITH WINDOW & SIDING MANUFACTURER

A5 WINDOW FLASHING SEQUENCE
SCALE: N.T.S.
(DOOR SIMILAR)



A2 KEY PLAN
SCALE: NONE

KEY NOTES

- VINYL WINDOW PER SCHEDULE. QUAKER ADVANTEDGE SERIES BASIS OF DESIGN. 085513
- CEMENT FIBER VERTICAL SIDING PANEL W/ 2 1/2" CEMENT FIBER BORDER TRIM AND BATTENS @ APPROX. 38" O.C. SMOOTH PANEL & TRIM TEXTURE. INCLUDE HORIZONTAL Z-FLASHING AT ALL HORIZONTAL TRIM PER MANUFACTURER'S RECOMMENDATIONS. PAINT COLOR BY ARCHITECT. 074646
- ALUMINUM STOREFRONT ENTRANCE. 084113
- WALL MOUNTED ELECTRICAL EQUIPMENT. RE: ELECTRICAL
- CEMENT FIBER BOARD LAP SIDING. 6" EXPOSURE. SMOOTH TEXTURE. PAINT COLOR AS INDICATED. 074646
- CEMENT FIBER BOARD LAP SIDING. 6" EXPOSURE. SMOOTH TEXTURE. PAINT COLOR AS INDICATED. 074646
- 3/4" X 3 1/2" CEMENT FIBER BOARD TRIM. TEXTURE & FINISH TO MATCH ADJACENT CEMENT FIBER BOARD SIDING (UNLESS NOTED OTHERWISE (UNCL)). 074646
- EXTERIOR HOLLOW METAL DOOR AND FRAME. PAINT. RE: DOOR SCHEDULE. 081113
- GALVANIZED HSS METAL RAILING W/ GALV. 1" X 1" STEEL PICKETS SPACED 4" MAX O.C. 085513
- COMPOSITE WOOD FASCIA ATTACHED TO STAIR/ DECK FRAMING. COLOR & FINISH TO MATCH COMPOSITE DECKING. 061533
- PRE-FINISHED BREAK METAL JAMB/HEAD PANEL. 071000
- FULL-VIEW ALUMINUM & GLASS SECTIONAL DOOR. PRE-FINISHED THERMALLY BROKEN CLEAR LOW-E INSULATING GLASS - COMMERCIAL RATED. INCLUDE POLYURETHANE FILLED RAILS AND STILES. STANDARD LIFT TRUCK HARDWARE. ELECTRICAL OPERATION. WEATHERSTRIPPING, ETC. MANUFACTURED BY C.H.I. OVERHEAD DOOR OR SIM. 083613
- EXTERIOR VINYL OR FIBERGLASS PATIO DOOR. RE: DOOR SCHEDULE. 081113
- STEEL & WOOD STAIR. TREATED WOOD CARRIAGES BOLTED TO VC CHANNEL STEEL STRINGERS. RE: STRUCTURAL. TREADS & LANDING DECKING TO BE 2X6 NOMINAL COMPOSITE WOOD FLANK. 061533
- PRE-FINISHED GUTTER & DOWNSPOUT. TERMINATE AT GRADE. COORD. FINAL DOWNSPOUT ROUTING / PATH WITH ARCHITECT AND CIVIL PLANS PRIOR TO INSTALLATION (PROVIDE CONCRETE SPLASH BLOCK WHERE REQUIRED) RE: CIVIL. 076200
- FACE BRICK MASONRY VENEER - KING SIZE, COLOR TBD. 042113
- FIRE DEPARTMENT CONNECTION. RE: MEP
- DECORATIVE ROOF BRACKET, PYPON SMOOTH FLAT LINE! AS THE BASIS OF DESIGN.
- FIBER CEMENT BOARD STRAIGHT EDGE PANEL. SHINGLE SIDING. PRIMED FOR PAINT, FINISH COLOR BY ARCHITECT. 074600.
- ARCHITECTURAL ASPHALT SHINGLE ROOFING SYSTEM. COLOR TBD BY ARCHITECT. RE: ROOF PLAN. 073113
- VINYL 2 PANEL SLIDING PATIO DOOR.

ELEV. GENERAL NOTES

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EXTERIOR FINISHES

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| | B. CEMENT FIBER VERTICAL SIDING W/ BATTEN BOARDS AT 38" O.C., JAMES HARDIE. TEXTURE: SMOOTH. COLOR: EXT-F1 (TBD). |
| | C. CEMENT FIBER LAP SIDING (6" EXPOSURE). JAMES HARDIE. TEXTURE: SMOOTH. COLOR: EXT-F2 (TBD) OR EXT-F3 (TBD). CONTRACTOR TO ALLOW FOR TWO COLOR SCHEMES AT ALL LAP SIDING. |
| | D. CEMENT FIBER LAP SIDING (6" EXPOSURE). JAMES HARDIE. TEXTURE: SMOOTH. COLOR: EXT-F3 (TBD) OR EXT-F4 (TBD). CONTRACTOR TO ALLOW FOR TWO COLOR SCHEMES AT ALL LAP SIDING. |
| | E. CEMENT FIBER STRAIGHT EDGE SHINGLE SIDING. JAMES HARDIE. TEXTURE - SMOOTH. COLOR: EXT-F3 |

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ARCHITECTURAL CORPORATION
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OF AUTHORITY NO. 000073

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SPRINGFIELD, GREENE COUNTY, MISSOURI 65807

SEAL
ARCHITECT - PAUL G STARK
MO. LICENSE NO. A-7505



**BUILDING
ELEVATIONS**

ISSUE DATE:
4.15.2022
REVISIONS:

PROJECT NO.: 2116

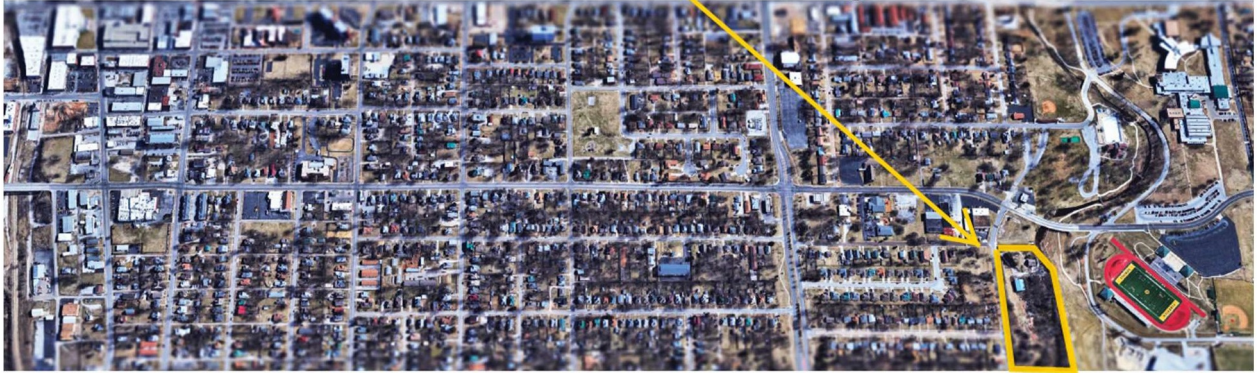
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Nordic Landing Relationship to GAP Redevelopment District

Nordic Landing is located just West of the intersection between Grant Ave and Catalpa St. in Springfield, MO. The project is targeted as Subarea F in the Grant Avenue Plan. Subarea F is designated for multifamily projects to support the adjacent neighborhood retail nodes. The GAP Plan calls out the proximity to Fasnigh Park, the Greenway Trail, and the Grant Avenue Parkway as amenities that increase the attractiveness of the subarea F as a location for more intense residential development.

The Nordic Landing project will redevelop a property that for years has created a blight in our community. The project will also be some of the first dollars spent in the redevelopment district and will help kickstart the developments and future investments to start. This project is executing on the goals of the approved redevelopment plan.

Nordic Landing



MORE THAN A STREET PROJECT

The Grant Avenue Parkway is truly more than just a street project. The Parkway is an opportunity for the City to invest in a public amenity that, with the proper planning and development tools in place, can also be used to spur private investment. The Plan includes recommendations and strategies to encourage the creation of unique places and strengthen community identity with an emphasis on new development being designed at a pedestrian-scale.

The intent of the Plan is to promote reinvestment and redevelopment that leverages the new Parkway as an asset. The Plan will also be used to inform updated regulations that provide for greater flexibility to achieve high-quality design and foster sense of place.

GRANT AVENUE PARKWAY OVERLAY DISTRICT

The recommendations of the Grant Avenue Parkway Corridor Plan will be used to guide the creation of new development regulations and zoning code amendments that will impact the experience and beautification of both public and private properties. Following the adoption of the Corridor Plan, it is recommended that Grant Avenue Overlay District be established as primary implementation mechanism.

INCREASED FLEXIBILITY, INCREASED QUALITY-OF-PLACE

The ultimate goal of the Plan is to promote reinvestment and redevelopment that leverages the new Parkway as an asset. The Plan will inform updated regulations that will ask more of the development community in delivering high-quality design that fosters sense of place. In exchange, those same regulations will also provide greater flexibility regarding what residents and business owners can do with their property, including a broader range of permitted uses and permitted height and density, and provide for greater creativity in design.

PLACETYPE OVERVIEW

The City of Springfield developed the Grant Avenue Parkway Corridor Plan to align with future land use and development policies defined in the Forward SGF Comprehensive Plan. While Forward SGF was still in draft form as the Corridor Plan was developed, the community input received during the Forward SGF process lends strong support to the recommended development.

The Corridor Plan builds on the concept of "placetypes" defined in the Forward SGF draft plan. Each placetype illustrates a logical and common-sense approach to planning that differs from zoning. Rather than focus on the use of a specific parcel of land, the placetype approach looks at the collective mix of uses that function together to create Springfield's unique neighborhoods and districts (places). These placetypes define the characteristics, scale, form, function and overall use in a given geographic area.

COMMUNITY ENGAGEMENT

Public Input for the Grant Avenue Parkway Corridor Plan was collected throughout the Public Visioning and Public Concept Development phases of the Parkway design process. That input, along with previous input received through the Forward SGF Comprehensive Plan process, was used to inform recommendations related to preferred future land use mix, urban design, connections to surrounding neighborhoods, and improvements to the transportation network.

Project Visioning

4 virtual workshops In Sept.

501 total
livestream
viewers

268 polling
participants

372 Online
surveys completed

Concept Development

1 3-hour, segmented Virtual
Concept Development event in Nov.

267 total livestream viewers

199 polling
participants

24 participants to
follow-up poll

35+ one-on-one
stakeholder & property
owner meetings

The Road Ahead

1 Virtual concept education and
Corridor Plan input event In Feb.

480 total
livestream viewers

207 polling JI*rtldpnts

30 participants
to follow-up
Corridor Plan survey

SUBAREA F

DESCRIPTION

Subarea F (generally Grant Avenue at Delmar and Loren Streets and along Catalpa Street west of Grant Avenue) is made of two mixed residential areas. This subarea, situated between the two neighborhood commercial nodes at Grand Street and at Catalpa Street, and along Catalpa Street west of Grant Avenue along the Fassnacht Creek Greenway, will accommodate multifamily development to support the adjacent neighborhood retail nodes. Nearby Fassnacht Park, the Greenway trail, and the Grant Avenue Parkway will be amenities that increase the attractiveness of this subarea as a location for more intense residential development.

BULK

Area: ~449,000 ft² / ~11.0 ac

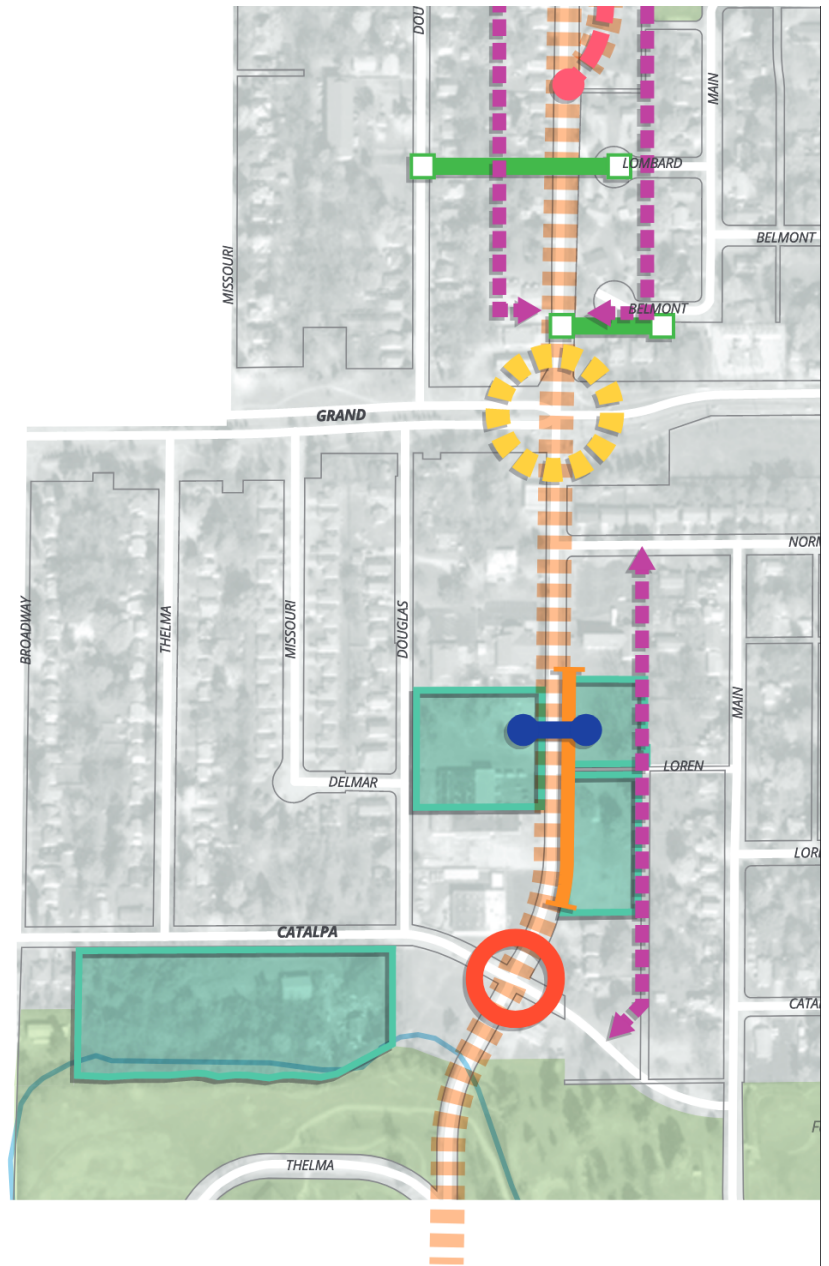
Maximum height: 3/4 stories

Front setback: 15-25 ft

Other: Development should orient to Grant Ave. and Fassnacht Park

USE

Mixed residential including single-family attached and multifamily; Ground-floor commercial should also be encouraged as a component of multifamily structures



SUBAREA F

-  Proposed Intersection Improvement & Placemaking Focal Points
-  Proposed Crosswalk Enhancement
-  Alley Opportunity
-  Cross-Access
-  Proposed Bike Lanes
-  Grant Avenue Roadway Reconfiguration
-  Potential Pedestrian Connections

