



City of Springfield

Agenda

Land Clearance for Redevelopment Authority

January 9, 2024

4:00 PM

Conference Room 2 - West
Busch Municipal Building
840 N Boonville Avenue,
Springfield, MO

Rules and procedures can be found on the [Agenda Center](#).

1. **CALL TO ORDER.**
2. **ROLL CALL.**
3. **NEW BUSINESS.**
 - 3.1. Request for Real Property Tax Abatement for redevelopment project inside the Downtown Redevelopment Area located at 430 South Avenue; South Street Developer, LLC, Applicant.
4. **OTHER BUSINESS.**
5. **ADJOURN.**

In accordance with Americans with Disabilities Act (ADA) guidelines, if you need special accommodations when attending any City meeting, please notify the City Clerk's Office at 417-864-1651 as soon as possible to ensure our ability to accommodate your needs.



**EXPLANATION TO REQUEST FOR REAL PROPERTY TAX ABATEMENT FOR
REDEVE**

FILED: 01/05/2024

ORIGINATING DEPARTMENT: City Clerk

TITLE:

PURPOSE:

BACKGROUND INFORMATION:

Submitted By:

Authorized for inclusion on the agenda pursuant to City Code section 2-33:

Attachments: 1. LCRA Application - 430 South Ave (Moxy Hotel)



Land Clearance for Redevelopment Authority Application for Real Property Tax Abatement

Sections 99.700-99.715, RSMo

Property Address: 430 South Avenue, Springfield, MO 65806

Redevelopment Area: Downtown Redevelopment Area

Developer Name: South Street Developer, LLC

Contact Person: Kristin Marquess

Mailing Address: 4045 E Sunshine St, Suite 200, Springfield, MO 65809

Telephone: (417)207-5301

Fax: _____

Email: kristin.marquess@ohospitalitymanagement.com

Does Applicant Own or Lease the Property? Own

Signature: _____

Date: 12/4/23

Printed Name: Timothy O'Reilly, Manager

Required Attachments:

- Legal description of project
- \$637 application fee
- Ten (10) hard copies and one electronic (.pdf) copy of the following:
 - Narrative identifying the scope of the proposed project
 - Site plan and floor plans
 - Concept plan and/or renderings, if available
 - Narrative describing relationship of project to the adopted redevelopment or urban renewal plan for the area.
 - conforms to the intercity zoning requirements
 - Stress that its is historic rehab that will comply with underlining zoning.
- If property is located in the *Downtown Redevelopment Area*, please note additional

requirements on page 2 of this application.

Page 1 of 2

July 2021

Additional Requirements for Projects Located in the *Downtown Redevelopment Area*

Pursuant to the *Downtown Redevelopment Plan*, applications for property tax abatement in that *Plan Area* will be reviewed on the following items:

1. What effect the requested abatement has on the project's financial feasibility.
2. If the proposed project is in accordance with the stated strategies and policies of the Downtown Strategy Plan.
3. The financial and market feasibility of the project.

The *Downtown Redevelopment Plan* requires that the following material be submitted to support applications for property tax abatement:

1. Developer
 - a. Identification of developer including all owners, partners and officers
 - b. Summary of developer's experience and qualifications
 - c. Proof of developer's financial capability (financial statements, profit/loss statements, etc.).
2. Development Plan
 - a. Legal description of area
 - b. Description of project development
 - c. Project stages and timing
 - d. Documentation of construction costs
 - e. Source, nature and terms of all required project financing
 - f. Plans and specifications
3. Documentation of abatement requested
 - a. Two project pro formas each with ten year projections reflecting the effects of no tax abatement and the requested level of abatement, to include the following as minimal justification: appraisal or third party references to support data.
 - i. All project gross income (rental estimates should be supported by local market data)
 - ii. Occupancy analysis to determine appropriate vacancy rate
 - iii. Estimate of effective gross income
 - iv. Itemized operating expense analysis
 - v. Projected net income
 - vi. Debt service impact, cash flow and investor rate of return analyses (IRR and cash-on-cash returns, etc.)



TIM O'REILLY

Chief Executive Officer

PROFILE

Chief Executive Officer of O'Reilly Hospitality Management, LLC, a hotel and restaurant development and management company and Partner of O'Reilly & Preston, LLC, Attorneys at Law.

CONTACT

PHONE:
417.861.6842

WEBSITE:
www.ohospitalitymanagement.com
www.oplawllc.com

EMAIL:
tim@ohospitalitymanagement.com

EDUCATION

University of Missouri Kansas City Law School- Kansas City, MO
1991 - 1993
Juris Doctorate

Westminster College-Fulton, MO
1986 - 1990
BA in Economics w/concentration in English and Political Science
Presidents & Athletic Scholarships
Team Captain, Blue Jay Basketball Team 1989-1990

Kickapoo High School- Springfield, MO
Class of 1986
Honor student all 4 years
Captain of the Basketball Team

EXPERIENCE

O'Reilly Hospitality Management- Springfield, MO
2008-Present
Founder & Chief Executive Officer; Award Winning Hotel, Convention, Restaurant, & Retail Sales Development and Management Company. Develops and operates hotel and restaurant properties and franchises under the Hilton, Marriott, Choice, Intercontinental Hotel Group, and Hyatt flags in 9 states with 42 locations and over 1,800 team members.

O'Reilly & Preston, LLC- Springfield Mo
2000-Present
Founder, Attorney & Counselor at Law in general civil trial and appellate practice, insurance defense, workers compensation, employment law, and business formation and transactions. Currently serving as "Of Counsel" for the firm.

Price Fry & Robb PC- Springfield, MO
1996-1999
Associate Attorney in civil legal practice involving trial and appellate practice, insurance defense, workers compensation, employment law, environmental law and business transactions.

COMMUNITY INVOLVEMENT

- Board Member, Encore Bank, 2021 - Present
- Board Member, Springfield First Community Bank, 2016 - 2021
- Board Member, Quad City Holding Company, 2018 - 2022
- Board Member, Missouri Trust and Investment Co., 2017 - present
- Board Member, Ozarks Water Watch – 2010 - present
- President (2017-2018), Member of the Board of Directors, Springfield Boys & Girls Club, Chair of Personnel Committee, 2007 - present
- President (2013-2016) & Vice President (2010-2012), Springfield Catholic Schools Development Board member 2010-2016
- Board of Directors, Springfield Missouri Convention and Visitors Bureau
- Member, Executive Committee for the Board of Trustees, Missouri State Foundation 2010 – 2018
- Member, Missouri Bar Association, 1994 – present

HONORS & AWARDS

- President's Academic and Athletic Scholarship at Westminster College, Fulton, Missouri 1986-1990
- Captain, Westminster Blue Jays Basketball Team, 1989-1990
- America Jurisprudence Award at University of Missouri Kansas City School of Law - 1994
- Springfield Business Journal Economic Impact Award - 2011
- IHG Renovation Awards for Holiday Inn Tulsa City Center - 2012
- Houlihans Restaurants, Inc. Franchise Marketer of the Year - 2015
- Missourian of the Year Award Winner - 2016
- Springfield Sertoma Club-Service to Mankind Award- 2016-2017
- South Missouri Arkansas District Service to Mankind- 2016-2017
- Marriott Horizon Award- 2018
- North Springfield Betterment Association Civic Contribution Award- 2019 & 2020
- Boys & Girls Clubs of America-National Service to Youth Award- 10 Years of Devoted Service
- Springfield Business Journal's Dynamic Dozen- 2020
- Biz 417 Magazine - Person of the Year- 2021
- Cambria Hotel Louisville Downtown-Whiskey Row Earns LEED Certification - April 2022
- Embassy Suites by Hilton Denton Convention Center Named Recipient of the 2021 Connie Award - April 2022
- Fairfield Inn & Suites Bonita Springs Awarded Prestigious LEED Green Building Certification - December 2022
- Inducted into the Boys & Girls Clubs of Springfield Hall of Fame - November 2023
- Received Inaugural Tony Fraga Visionary Leadership Award - Choice Hotels - May 2023
- Embassy Suites by Hilton Red Wolf Convention Center (Jonesboro, AR) - Hilton Award of Excellence - April 2023
- Embassy Suites by Hilton Denton Convention Center (Denton, TX) - Hilton Award of Excellence - April 2023
- DoubleTree by Hilton Springfield Received Service Impact Challenge Award - January 2023
- OHM Announces Cambria Hotel Copper Mountain - June 2023
- Cambria Hotel Louisville Downtown-Whiskey Row Earns Top Spot at USGBC LEED Awards - November 2023
- OHM Announces Opening of Delta Hotels by Marriott Wichita Falls Convention Center - September 2023

BIOGRAPHY

Tim O'Reilly grew up working in the local family business, O'Reilly Automotive, Inc., which is now an international company with its stock ("ORLY") traded on the NASDAQ exchange, headquartered in Springfield, MO. After graduating from Kickapoo High School in Springfield, Tim attended Westminster College in Fulton, Missouri on an Athletic and President's Academic Scholarship, where he graduated with a bachelor's degree in Economics with emphasis in English and Political Science, and then graduated with a Juris Doctor degree from University of Missouri-Kansas City in 1994. Tim practiced law for several years and by 1999 he helped form O'Reilly & Jensen, LLC, Attorneys at Law (later changed to O'Reilly & Preston), in Springfield, Missouri and continues to practice law as "Of Counsel" in the firm. Mr. O'Reilly has represented numerous clients in various industries, including the hospitality industry, in franchise negotiations, real estate transactions, civil litigation, difficult human resource and employment issues, and financing transactions with banks and lenders.

Tim is founder and Chief Executive Officer of O'Reilly Hospitality Management, LLC (OHM) founded in 2007. Tim is owner and managing member of OHM which has developed and manages over 42 properties, as he manages a broad range of duties including future project analysis and evaluation, real estate acquisition and development, design, franchising, operations, and human resources under the Hilton, Marriott, Choice, IHG, and Hyatt flags as well as non-franchised hotel and restaurant concepts located in 9 states with over 1,800 Team Members. Tim has a lifelong passion in the pursuit of environmentally and socially responsible initiatives and business practices, which has inspired all OHM properties to implement sustainability programs (Green Teams) within their daily operations. Tim and the OHM team makes every effort to develop LEED certified projects, with prime examples of these efforts being the LEED Gold Certified on a 318 room Embassy Suite by Hilton, Houlihan's Restaurant and a 70,000 SF conference center in Denton, Texas and the LEED Silver 203 room Embassy Suites by Hilton & Red Wolf Convention Center and Houlihan's Restaurant at Arkansas State University in Jonesboro, Arkansas, along with many additional LEED projects developed by the company. Tim and OHM are committed to being an integral part of the communities in which they reside which is inspired by the O'Reilly family's long history of commitment to an assortment of important philanthropic causes and charities. Tim and the OHM team have created the O'Reach program to inspire all team members to enhance and contribute to their communities through outreach and community support programs. The O'Reach teams across OHM have volunteered tens of thousands of hours of community service with 83 community partnerships nationwide.

Tim is an avid mountain biker, road and gravel cyclist, and a 6-time Leadville 100 Mountain Bike Race Finisher and Buckle Winner. His most important time is spent with his wife Brooke and four amazing children Alec, Charlie, Liam and Grace. Tim and Brooke enjoy supporting Alec as a Graduate Assistant for the Drury University Men's Basketball Team, Charlie a recent graduate of Boston College working on Wall Street in New York City, Grace playing volleyball for Long Beach State in California, and Liam playing football for Missouri State University in Springfield.

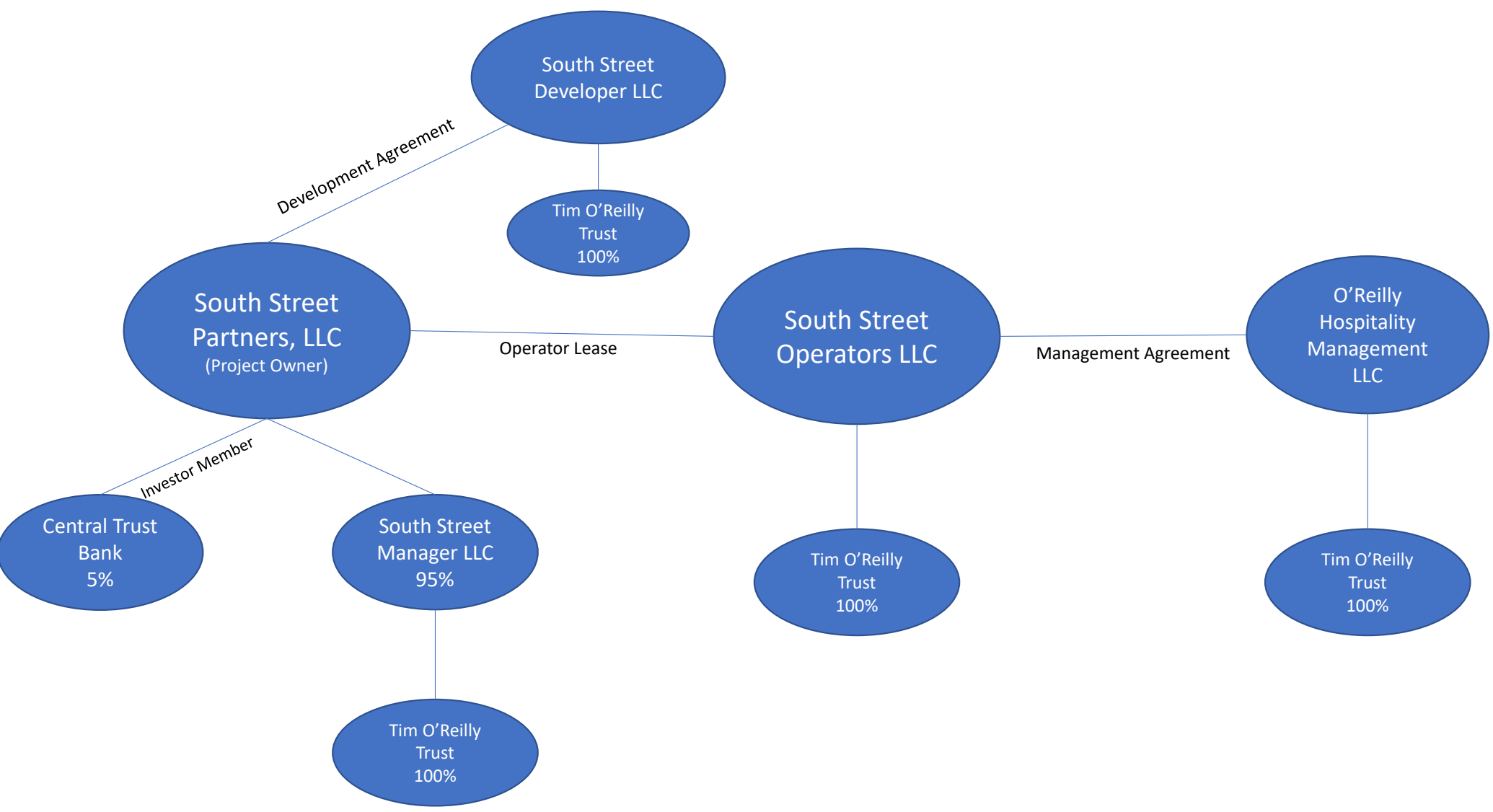


EXHIBIT A

ALL THAT LOT, TRACT OR PARCEL OF LAND FRONTING 59 FEET ON THE EAST LINE OF SOUTH AVENUE BY A DEPTH EASTWARDLY AND ALONG THE SOUTH LINE OF EAST PERSHING STREET OF 116 FEET, MORE PARTICULARLY DESCRIBED AS FOLLOWS: BEGINNING AT THE POINT AND PLACE OF INTERSECTION OF THE EAST BOUNDARY LINE OF SOUTH AVENUE WITH THE SOUTH BOUNDARY LINE OF EAST PERSHING STREET; EXTENDING THEREIN A SOUTHERLY DIRECTION ALONG AND WITH THE EAST BOUNDARY LINE OF SOUTH AVENUE A DISTANCE OF 59 FEET TO THE NORTH BOUNDARY LINE OF PROPERTY NOW OR FORMERLY OF L.E. LINES; THENCE IN A EASTERLY DIRECTION ALONG AND WITH NORTH BOUNDARY LINE OF SAID PROPERTY NOW OR FORMERLY OF L.E. LINES, A DISTANCE OF 116 FEET TO A POINT; THENCE IN A NORTHERLY DIRECTION AND PARALLEL TO THE EAST BOUNDARY LINE OF SOUTH AVENUE A DISTANCE OF 58.17 FEET TO THE SOUTH BOUNDARY LINE OF EAST PERSHING STREET; THENCE IN A WESTERLY DIRECTION AND WITH THE SOUTH BOUNDARY LINE OF EAST PERSHING STREET, A DISTANCE OF 116 FEET TO THE POINT AND PLACE OF BEGINNING, ALL IN SPRINGFIELD, GREENE COUNTY, MISSOURI.

ALSO

BEGINNING AT THE NORTHWEST CORNER OF THE SOUTHWEST QUARTER (SW1/4) OF SECTION TWENTY-FOUR (24), TOWNSHIP TWENTY-NINE (29), RANGE TWENTY-TWO (22), THENCE NORTH 413.00 FEET; THENCE EAST 550.0 FEET TO A NEW POINT OF BEGINNING; THENCE NORTH 224.79 FEET ALONG THE EAST RIGHT-OF-WAY LINE OF SOUTH AVENUE; THENCE NORTH 89°29'20"EAST A DISTANCE OF 116.00 FEET; THENCE NORTH A DISTANCE OF 58.16 FEET TO THE SOUTH RIGHT-OF-WAY LINE OF EAST PERSHING STREET; THENCE NORTH 89°54'10"EAST A DISTANCE OF 119.11 FEET ALONG SAID RIGHT-OF-WAY LINE TO THE WEST RIGHT-OF-WAY LINE OF ROBBERSON AVENUE; THENCE SOUTH 0°43'10"EAST A DISTANCE OF 279.66 FEET ALONG THE WEST RIGHT-OF-WAY LINE OF SAID ROBBERSON AVENUE TO THE NORTH RIGHT-OF-WAY LINE OF ELM STREET; THENCE SOUTH 88°59'40"WEST A DISTANCE OF 238.65 FEET ALONG SAID RIGHT-OF-WAY LINE TO NEW POINT OF BEGINNING, ALL IN SPRINGFIELD, GREENE COUNTY, MISSOURI.

Project Narrative

South Street Partners, LLC purchased the historic building aka Medical Arts Building in 2017, which was less than 25% leased to a third-party real estate group. This tenant relocated in 2019, and the building was vacant until December 2021. South Street Developer, LLC is rehabilitating the Medical Arts Building and converting it into a 98 room Moxy Hotel by Marriott. In addition to the 98 hotel rooms, the hotel will consist of the Subterranean Restaurant/Meeting Space in the basement and Eyrie Roof Top Bar & Restaurant. Due to the nature of the historic building, the exterior and a portion of the interior will remain in its original condition or restored to original condition. The majority of the interior was gutted to the studs and demolished with major remediation to remove asbestos and lead paint throughout the building before being fully renovated into an upscale hotel property. The hotel is scheduled to open in February 2024.

The property is located within a blighted area as defined in section 99.320. South Street Partners, LLC is rehabilitating the historic medical arts building in accordance with an approved redevelopment plan.

See Moxy Deck attached for further information on the Moxy Hotel by Marriott.





**SAY HELLO
TO MOXY**



HOW WE MOXY :60 VIDEO

<https://youtu.be/CwAoQ61zZ4E>



Moxxy is a playful, affordable, and stylish hotel brand designed to give guests everything they want and nothing they don't. With more than 60 experiential hotels open across North America, Europe, and Asia Pacific, Moxxy boldly breaks the rules of a conventional hotel stay – starting with check-in at the Bar.

The animated brand combines stylish, industrial design and sociable service at an affordable price point, so that guests can save on space and splurge on experiences.

Created for the young at heart, Moxxy celebrates nonconformity, open-mindedness, and originality above all.

Featuring small but smart bedrooms and vibrant social spaces with bold programming to plug and play, the Moxxy experience is seriously considered and playfully executed.

Moxy is proud to participate in Marriott Bonvoy, the global travel program from Marriott International with over 160 million members worldwide. The program offers members an extraordinary portfolio of global brands, exclusive experiences on Marriott Bonvoy Moments, and unparalleled benefits including free nights and Elite status recognition. To enroll for free or for more information about the program visit MarriottBonvoy.marriott.com.



GET TO KNOW ME

THE PLAY PYRAMID

POSITIONING

Play On

MISSION

We savor the moment, through moments of Play

CORE VALUES

Thoughtful Spirited Fun

TARGET MINDSET

Fun Hunter

PASSION POINTS

Play / Inclusivity / Authenticity

BENEFITS

Functional: A convenient, fun place to stay with playful touchpoints throughout.

Emotional: A inclusive place that gives you permission to play how you want.

RTB'S

Check In at the bar / Complimentary cocktail / Pet Friendly / Hookups / Bedtime stories

OUR POSITIONING

PLAY ON.



Moxy gives our guests permission to break free in a world that doesn't play enough.

We allow people to feel comfortable to play because they've been hard wired to not.

We deal in playfulness.

We trade in experiences.

We barter in banter.

We savor the moment, through moments of Play.

OUR MISSION

Less break the rules, more make your rules.

Less trouble makers, more memory makers.

Less doing what you think you should do, more doing what you want to do.

Less force to play, more play your way.

Less highlight reel, more real reels.

CORE VALUES

For the Fun Hunter, travel means confidently connecting with the world and people around them.

Our Fun Hunters share a mindset with Moxy of being lighthearted and most of all - playful.

01

THOUGHTFUL

Fun Hunters' needs come first with thoughtful touchpoints that encourage interactions.



02

SPIRITED

Electric, positive energy that spreads joy, connection and creativity.

03

FUN

A hint of Play in all we do, Moxy never takes things too seriously.



GET TO KNOW ME

TARGET MINDSET



THE FUN HUNTER

The Moxy Funhunters share a playful spirit that makes them young at heart, whether they're 26 or 76.

As the brand grows up, we're keenly focused on a mindset instead of a number. No matter their age, gender or career, everyone is welcome to Play with us.

They maintain fierce independence, finding validation from within.

GET TO KNOW ME

PASSION POINTS



PLAY

Play is part of everything we do. We make everyday activities and moments just a little more upbeat and fun to ensure a memorable visit.



INCLUSIVITY

We welcome everyone and give off a vibe that makes you feel welcome and accepted just for being yourself. Find like-minded people who like to play in different kinds of ways.



AUTHENTICITY

We provide an experience that is true to us and true to you. We aren't here to hide behind smoke and mirrors, we are who we are and want you to be the same.

GET TO KNOW ME

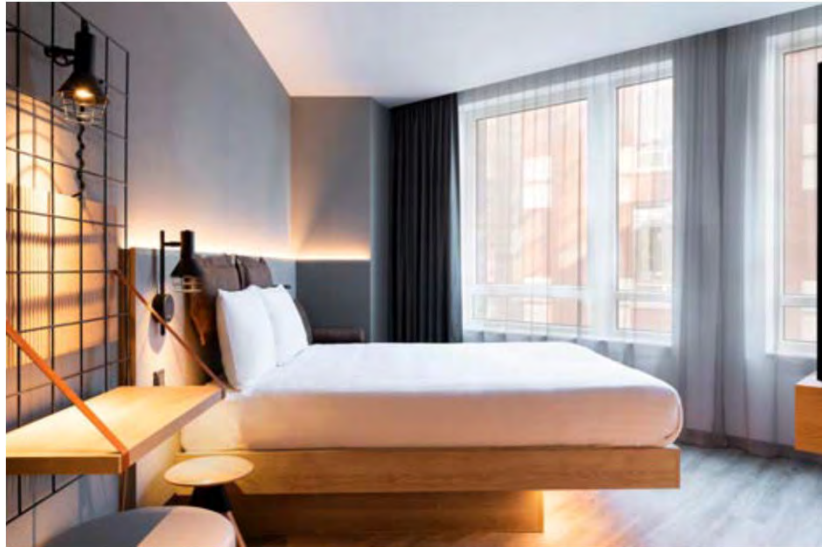
HOW WE PLAY

Moxy Hotels isn't your typical stay. From check in at Bar Moxy, to a complimentary cocktail, play is included all the way. Space is maximized in small but smart rooms so you don't have to minimize your fun. Multi-functional public spaces create for an inviting, playful and social vibe.





THE STYLE FACTOR







CHICAGO



WASHINGTON, D.C.

OAKLAND



EXTERIOR ARCHITECTURE

PORTLAND



VIENNA



COMING IN 2024:
MOXY SPRINGFIELD
PROUDLY OWNED &
OPERATED BY



SPRINGFIELD, MO

THANKS





Contact:

Tim O'Reilly
CEO

O'Reilly Hospitality Management, LLC
tim@ohospitalitymanagement.com



The Moxy Construction Schedule EXHIBIT C

ID	Task Name	Duration	Start	Finish	Predecessor	% Complete	Qtr 4, 2021 Oct Nov Dec	Qtr 1, 2022 Jan Feb Mar Apr May Jun Jul Aug Sep Oct Nov Dec	Qtr 2, 2022 Jan Feb Mar Apr May Jun Jul Aug Sep Oct Nov Dec	Qtr 3, 2022 Jan Feb Mar Apr May Jun Jul Aug Sep Oct Nov Dec	Qtr 4, 2022 Jan Feb Mar Apr May Jun Jul Aug Sep Oct Nov Dec	Qtr 1, 2023 Jan Feb Mar Apr May Jun Jul Aug Sep Oct Nov Dec	Qtr 2, 2023 Jan Feb Mar Apr May Jun Jul Aug Sep Oct Nov Dec	Qtr 3, 2023 Jan Feb Mar Apr May Jun Jul Aug Sep Oct Nov Dec	Qtr 4, 2023 Jan Feb Mar Apr May Jun Jul Aug Sep Oct Nov Dec	Qtr 1, 2024 Jan Feb Mar Apr May Jun Jul Aug Sep Oct Nov Dec	
1	The Moxy	587 days	Mon 11/29/21	Mon 2/19/24		76%											
2	Building permit	1 day	Mon 11/29/21	Mon 11/29/21		100%											
3	Notice to proceed	1 day	Mon 11/29/21	Mon 11/29/21		100%											
4	Mobilize on site	1 day	Mon 11/29/21	Mon 11/29/21		100%											
5	Demo	172 days	Tue 11/30/21	Fri 7/29/22		100%											
6	Asbestos removal	30 days	Tue 11/30/21	Mon 1/10/22	4	100%											
7	Interior demo	59 days	Tue 1/11/22	Fri 4/1/22	6	100%											
8	Mastic removal	15 days	Mon 3/14/22	Fri 4/1/22	7FS-15 d	100%											
9	Penthouse and roof demo	40 days	Mon 4/11/22	Mon 6/6/22	8FS+5 d	100%											
10	Slab demo for new stair tower	30 days	Tue 5/31/22	Tue 7/12/22	9FS-5 d	100%											
11	Elevator slab demo	10 days	Mon 7/18/22	Fri 7/29/22	10FS+3 d	100%											
12	Building	469 days	Mon 4/18/22	Thu 1/25/24		75%											
13	2nd Floor	430 days	Mon 4/18/22	Fri 12/8/23		89%											
14	Frame corridor and demising walls	10 days	Mon 4/18/22	Fri 4/29/22	7FS+10 d	100%											
15	Corridor and demising wall pre-rock	5 days	Mon 5/2/22	Fri 5/6/22	14	100%											
16	Frame restroom walls and pre-rock	8 days	Mon 5/9/22	Wed 5/18/22	15	100%											
17	Frame hard ceilings	5 days	Thu 5/19/22	Wed 5/25/22	16	100%											
18	ID Drawing delays	39 days	Tue 5/10/22	Tue 7/5/22		100%											
19	MEP rough in	33 days	Wed 7/6/22	Fri 8/19/22	18	100%											
20	MEP inspections	2 days	Mon 8/22/22	Tue 8/30/22	19	100%											
21	Pipe insulation	5 days	Tue 8/30/22	Wed 9/7/22	20	100%											
22	Framing inspection	1 day	Wed 9/7/22	Thu 9/8/22	21	100%											
23	Install windows	5 days	Tue 9/6/22	Tue 9/13/22	20FS+4 d	100%											
24	Insulate walls	5 days	Mon 10/10/22	Mon 10/17/22	22FS+22	100%											
25	drywall walls and ceilings	5 days	Mon 10/17/22	Mon 10/24/22	24	100%											
26	Drywall finish walls and ceilings	10 days	Mon 10/24/22	Mon 11/7/22	25	100%											
27	Shower pan delay	19 days	Wed 11/9/22	Wed 12/7/22	26FS-2 d	100%											
28	Install shower pans	5 days	Thu 12/8/22	Wed 12/14/22	27	100%											
29	Prime walls and ceilings	5 days	Mon 11/14/22	Mon 11/21/22	26FS+5 d	100%											
30	Paint walls and ceilings	5 days	Mon 11/21/22	Wed 11/30/22	29	100%											
31	VP flooring	5 days	Thu 12/15/22	Wed 12/21/22	28	100%											
32	Wall and floor tile	8 days	Wed 12/21/22	Tue 1/3/23	31FS-1 d	100%											
33	MEP fixtures and trim	5 days	Tue 1/10/23	Mon 1/16/23	32	100%											
34	Shower surrounds	5 days	Mon 4/24/23	Fri 4/28/23		100%											
35	Install wood trim / barn doors	5 days	Mon 6/12/23	Fri 6/16/23	34FS+25	100%											
36	Install doors and hardware	5 days	Mon 6/19/23	Fri 6/23/23	35	95%											
37	Touch up paint corridor	4 days	Mon 11/6/23	Thu 11/9/23		0%											
38	Corridor carpet	3 days	Fri 11/10/23	Mon 11/13/23	37	0%											
39	Corridor base	2 days	Tue 11/14/23	Wed 11/15/23	38	0%											
40	ORB punch	5 days	Thu 11/16/23	Wed 11/22/23	39	0%											
41	Final clean	5 days	Mon 11/27/23	Fri 12/1/23	40	0%											

The Moxy
Construction Schedule
EXHIBIT C

ID	Task Name	Duration	Start	Finish	Predecessor	% Complete	Qtr 4, 2021 Oct Nov Dec	Qtr 1, 2022 Jan Feb Mar	Qtr 2, 2022 Apr May Jun	Qtr 3, 2022 Jul Aug Sep	Qtr 4, 2022 Oct Nov Dec	Qtr 1, 2023 Jan Feb Mar	Qtr 2, 2023 Apr May Jun	Qtr 3, 2023 Jul Aug Sep	Qtr 4, 2023 Oct Nov Dec	Qtr 1, 2024 Jan Feb Mar
42	Owner / Architect punch	5 days	Sat 12/2/23	Thu 12/7/23	41	0%										
43	Floor complete	1 day	Fri 12/8/23	Fri 12/8/23	42	0%										
44	3rd Floor	426 days	Mon 5/2/22	Fri 12/15/23		83%										
45	Frame corridor and demising walls	10 days	Mon 5/2/22	Fri 5/13/22	14	100%										
46	Corridor and demising wall pre-rock	5 days	Mon 5/16/22	Fri 5/20/22	45	100%										
47	Frame restroom walls and pre-rock	8 days	Mon 5/23/22	Thu 6/2/22	46	100%										
48	Frame hard ceilings	5 days	Fri 6/3/22	Thu 6/9/22	47	100%										
49	MEP rough in	31 days	Mon 8/15/22	Wed 9/28/22	19FS-5 d	100%										
50	MEP inspections	2 days	Thu 9/29/22	Fri 9/30/22	49	100%										
51	Pipe insulation	5 days	Mon 10/3/22	Fri 10/7/22	50	100%										
52	Framing inspection	1 day	Mon 10/10/22	Mon 10/10/22	51	100%										
53	Install windows	5 days	Tue 9/13/22	Tue 9/20/22	23	100%										
54	Insulate walls	5 days	Mon 10/17/22	Mon 10/24/22	24	100%										
55	Drywall walls and ceilings	5 days	Mon 10/24/22	Mon 10/31/22	54	100%										
56	Drywall finish walls and ceilings	10 days	Mon 10/31/22	Mon 11/14/22	55	100%										
57	Install shower pans	5 days	Thu 12/15/22	Wed 12/21/22	28	100%										
58	Prime walls and ceilings	3 days	Mon 11/14/22	Thu 11/17/22	56	100%										
59	Paint walls and ceilings	5 days	Thu 11/17/22	Mon 11/28/22	58	100%										
60	VP flooring	5 days	Tue 1/3/23	Tue 1/10/23	32FS-1 d	100%										
61	Wall and floor tile	8 days	Tue 1/10/23	Thu 1/19/23	60FS-1 d	100%										
62	MEP fixtures and trim	5 days	Fri 1/20/23	Thu 1/26/23	61	100%										
63	Shower surrounds	5 days	Mon 5/1/23	Fri 5/5/23	34	100%										
64	Install wood trim / barn doors	5 days	Mon 6/26/23	Fri 6/30/23	36	100%										
65	Install doors and hardware	5 days	Mon 7/3/23	Mon 7/10/23	64	95%										
66	Touch up paint corridor	5 days	Fri 11/10/23	Wed 11/15/23	37	0%										
67	Corridor carpet	3 days	Thu 11/16/23	Mon 11/20/23	66	0%										
68	Corridor base	3 days	Tue 11/21/23	Mon 11/27/23	67	0%										
69	ORB punch	5 days	Tue 11/28/23	Sat 12/2/23	68	0%										
70	Final clean	5 days	Mon 12/4/23	Fri 12/8/23	69	0%										
71	Owner / Architect punch	5 days	Sat 12/9/23	Thu 12/14/23	70	0%										
72	Floor complete	1 day	Fri 12/15/23	Fri 12/15/23	71	0%										
73	4th Floor	414 days	Mon 5/23/22	Tue 12/19/23		83%										
74	Frame corridor and demising walls	10 days	Mon 5/23/22	Mon 6/6/22	45FS+5 d	100%										
75	Corridor and demising wall pre-rock	5 days	Tue 6/7/22	Mon 6/13/22	74	100%										
76	Frame restroom walls and pre-rock	8 days	Tue 6/14/22	Thu 6/23/22	75	100%										
77	Frame hard ceilings	5 days	Fri 6/24/22	Thu 6/30/22	76	100%										
78	MEP rough in	17 days	Thu 9/29/22	Fri 10/21/22	49	100%										
79	MEP inspections	2 days	Mon 10/24/22	Tue 10/25/22	78	100%										
80	Pipe insulation	4 days	Wed 10/26/22	Mon 10/31/22	79	100%										
81	Framing inspection	1 day	Tue 11/1/22	Tue 11/1/22	80	100%										
82	Install windows	5 days	Fri 10/7/22	Tue 11/1/22	80	100%										



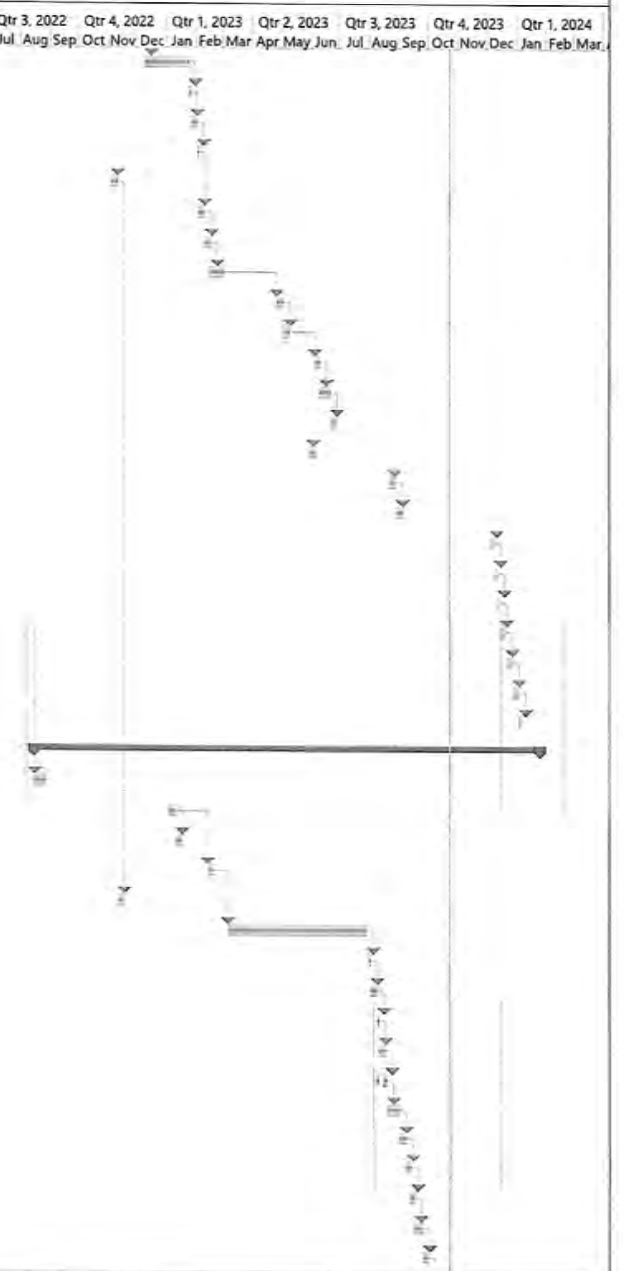
The Moxy 10/23/23 Schedule Update

The Moxy
Construction Schedule
EXHIBIT C

ID	Task Name	Duration	Start	Finish	Predecessor	% Complete	Qtr 4, 2021 Oct Nov Dec	Qtr 1, 2022 Jan Feb Mar Apr May Jun	Qtr 2, 2022 Jul Aug Sep Oct Nov Dec	Qtr 3, 2022 Jan Feb Mar Apr May Jun	Qtr 4, 2022 Jul Aug Sep Oct Nov Dec	Qtr 1, 2023 Jan Feb Mar Apr May Jun	Qtr 2, 2023 Jul Aug Sep Oct Nov Dec	Qtr 3, 2023 Jan Feb Mar Apr May Jun	Qtr 4, 2023 Jul Aug Sep Oct Nov Dec	Qtr 1, 2024 Jan Feb Mar
124	Touch up paint cooridor	4 days	Wed 11/22/23	Wed 11/29/23	95	0%										
125	Corridor carpet	3 days	Thu 11/30/23	Sat 12/2/23	124	0%										
126	Corridor base	2 days	Mon 12/4/23	Tue 12/5/23	125	0%										
127	ORB punch	5 days	Wed 12/6/23	Mon 12/11/23	126	0%										
128	Final clean	5 days	Tue 12/12/23	Sat 12/16/23	127	0%										
129	Owner / Architect punch	5 days	Mon 12/18/23	Fri 12/22/23	128	0%										
130	Floor complete	1 day	Sat 12/23/23	Sat 12/23/23	129	0%										
131	6th Floor	407 days	Tue 6/14/22	Fri 12/29/23		83%										
132	Frame corridor and demising walls	10 days	Tue 6/14/22	Mon 6/27/22	103	100%										
133	Corridor and demising wall pre-rock	5 days	Mon 6/27/22	Fri 7/1/22	132FS+9	100%										
134	Frame restroom walls and pre-rock	8 days	Tue 7/5/22	Thu 7/14/22	133	100%										
135	Frame hard ceilings	5 days	Fri 7/15/22	Thu 7/21/22	134	100%										
136	MEP rough in	20 days	Wed 11/9/22	Thu 12/8/22	107	100%										
137	MEP inspections	2 days	Fri 12/9/22	Mon 12/12/22	136	100%										
138	Pipe insulation	5 days	Tue 12/13/22	Mon 12/19/22	137	100%										
139	Framing inspection	1 day	Tue 12/20/22	Tue 12/20/22	138	100%										
140	Install windows	5 days	Fri 10/21/22	Thu 11/3/22	111	100%										
141	Insulate walls	5 days	Wed 12/21/22	Wed 12/28/22	139	100%										
142	Drywall walls and ceilings	8 days	Wed 12/28/22	Mon 1/9/23	141FS-1	100%										
143	Install shower pans	4 days	Thu 1/5/23	Wed 1/11/23	142	100%										
144	Drywall finish walls and ceilings	10 days	Mon 1/9/23	Fri 1/20/23	142FS-1	100%										
145	Prime walls and ceilings	5 days	Fri 1/20/23	Thu 1/26/23	144FS-1	100%										
146	Paint walls and ceilings	5 days	Thu 1/26/23	Fri 2/3/23	145FS-1	100%										
147	VP flooring	5 days	Mon 2/20/23	Fri 2/24/23	119FS-1	100%										
148	Wall and floor tile	8 days	Fri 2/24/23	Tue 3/7/23	147FS-1	100%										
149	MEP fixtures and trim	5 days	Wed 3/8/23	Tue 3/14/23	148	100%										
150	Shower surrounds	5 days	Mon 5/22/23	Fri 5/26/23	121	100%										
151	Install wood trim / barn doors	5 days	Tue 8/8/23	Mon 8/14/23	123	90%										
152	Doors and hardware	5 days	Tue 8/15/23	Sat 8/19/23	151	95%										
153	Touch up paint cooridor	4 days	Thu 11/30/23	Mon 12/4/23	124	0%										
154	Corridor carpet	3 days	Tue 12/5/23	Thu 12/7/23	153	0%										
155	Corridor base	2 days	Fri 12/8/23	Sat 12/9/23	154	0%										
156	ORB punch	5 days	Mon 12/11/23	Fri 12/15/23	155	0%										
157	Final clean	5 days	Sat 12/16/23	Thu 12/21/23	156	0%										
158	Owner / Architect punch	5 days	Fri 12/22/23	Thu 12/28/23	157	0%										
159	Floor complete	1 day	Fri 12/29/23	Fri 12/29/23	158	0%										
160	7th Floor	388 days	Mon 7/18/22	Thu 1/4/24		83%										
161	Frame corridor and demising walls	10 days	Mon 7/18/22	Fri 7/29/22	132	100%										
162	Corridor and demising wall pre-rock	5 days	Mon 8/1/22	Fri 8/5/22	161	100%										
163	Frame restroom walls and pre-rock	8 days	Mon 8/8/22	Wed 8/17/22	162	100%										
164	Frame hard ceilings	5 days	Thu 8/11/22	Wed 8/17/22	163FS-5	100%										

The Moxy
Construction Schedule
EXHIBIT C

ID	Task Name	Duration	Start	Finish	Predecessor	% Complete	Qtr 4, 2021 Oct Nov Dec	Qtr 1, 2022 Jan Feb Mar	Qtr 2, 2022 Apr May Jun	Qtr 3, 2022 Jul Aug Sep	Qtr 4, 2022 Oct Nov Dec	Qtr 1, 2023 Jan Feb Mar	Qtr 2, 2023 Apr May Jun	Qtr 3, 2023 Jul Aug Sep	Qtr 4, 2023 Oct Nov Dec	Qtr 1, 2024 Jan Feb Mar
165	MEP rough in	30 days	Fri 12/9/22	Mon 1/23/23	136	100%										
166	MEP inspections	2 days	Tue 1/24/23	Wed 1/25/23	165	100%										
167	Pipe insulation	5 days	Thu 1/26/23	Wed 2/1/23	166	100%										
168	Framing inspection	1 day	Thu 2/2/23	Thu 2/2/23	167	100%										
169	Install windows	5 days	Thu 11/3/22	Thu 11/10/22	140	100%										
170	Insulate walls	5 days	Fri 2/3/23	Thu 2/9/23	168	100%										
171	Drywall walls and ceilings	5 days	Thu 2/9/23	Wed 2/15/23	170FS-1	100%										
172	Drywall finish walls and ceilings	10 days	Wed 2/15/23	Tue 2/28/23	171FS-1	100%										
173	Prime walls and ceilings	5 days	Wed 4/26/23	Tue 5/2/23	172FS+4	100%										
174	Paint walls and ceilings	5 days	Tue 5/2/23	Mon 5/8/23	173FS-1	100%										
175	VP flooring	5 days	Mon 6/5/23	Fri 6/9/23	174FS+1	100%										
176	Wall and floor tile	8 days	Fri 6/9/23	Tue 6/20/23	175FS-1	100%										
177	MEP fixtures and trim	5 days	Wed 6/21/23	Tue 6/27/23	176	80%										
178	Shower surrounds	5 days	Tue 5/30/23	Mon 6/5/23	150	100%										
179	Install wood trim / barn doors	5 days	Tue 8/22/23	Mon 8/28/23	152	80%										
180	Doors and hardware	5 days	Tue 8/29/23	Tue 9/5/23	179	90%										
181	Touch up paint corridor	4 days	Tue 12/5/23	Fri 12/8/23	153	0%										
182	Corridor carpet	3 days	Sat 12/9/23	Tue 12/12/23	181	0%										
183	Corridor base	2 days	Wed 12/13/23	Thu 12/14/23	182	0%										
184	ORB punch	5 days	Fri 12/15/23	Wed 12/20/23	183	0%										
185	Final clean	5 days	Thu 12/21/23	Wed 12/27/23	184	0%										
186	Owner / Architect punch	5 days	Thu 12/28/23	Wed 1/3/24	185	0%										
187	Floor complete	1 day	Thu 1/4/24	Thu 1/4/24	186	0%										
188	8th Floor	386 days	Mon 8/15/22	Thu 1/25/24		78%										
189	Frame corridor / demising walls	10 days	Mon 8/15/22	Fri 8/26/22	161FS+1	100%										
190	Pre-rock walls	5 days	Tue 1/3/23	Mon 1/9/23		100%										
191	Install MEP hangers	5 days	Tue 1/10/23	Mon 1/16/23	190	100%										
192	Frame hard ceilings @ 9' and 9'6"	5 days	Mon 2/13/23	Fri 2/17/23	190FS+1	100%										
193	Install windows	5 days	Thu 11/10/22	Thu 11/17/22	169	100%										
194	MEP rough in	103 days	Mon 3/6/23	Fri 7/28/23	192FS+1	100%										
195	MEP inspections	2 days	Mon 7/31/23	Tue 8/1/23	194	100%										
196	Pipe insulation	5 days	Wed 8/2/23	Tue 8/8/23	195	100%										
197	Framing inspection	1 day	Wed 8/9/23	Wed 8/9/23	196	100%										
198	Insulate walls	5 days	Thu 8/10/23	Wed 8/16/23	197	100%										
199	Drywall walls and ceilings	5 days	Tue 8/8/23	Fri 8/18/23	198FS-2	100%										
200	Drywall finish walls and ceilings	10 days	Fri 8/18/23	Thu 8/31/23	199	100%										
201	Prime walls and ceilings	5 days	Wed 8/30/23	Thu 9/7/23	200FS-1	100%										
202	Paint walls and ceilings	5 days	Wed 9/6/23	Tue 9/12/23	201FS-1	100%										
203	VP flooring	5 days	Mon 9/11/23	Sat 9/16/23	202FS-1	100%										
204	Wall and floor tile	8 days	Fri 9/15/23	Mon 9/25/23	203FS-1	80%										
205	MEP fixtures and trim	5 days	Mon 9/25/23	Sat 9/30/23	204	50%										



The Moxy
Construction Schedule
EXHIBIT C

ID	Task Name	Duration	Start	Finish	Predecessor	% Complete	Qtr 4, 2021 Oct Nov Dec	Qtr 1, 2022 Jan Feb Mar Apr May Jun Jul Aug Sep	Qtr 2, 2022 Oct Nov Dec	Qtr 3, 2022 Jan Feb Mar Apr May Jun Jul Aug Sep	Qtr 4, 2022 Oct Nov Dec	Qtr 1, 2023 Jan Feb Mar Apr May Jun Jul Aug Sep	Qtr 2, 2023 Oct Nov Dec	Qtr 3, 2023 Jan Feb Mar Apr May Jun Jul Aug Sep	Qtr 4, 2023 Oct Nov Dec	Qtr 1, 2024 Jan Feb Mar	
206	Shower surrounds	5 days	Sat 9/30/23	Fri 10/6/23	205	100%											
207	Install wood trim / barn doors	5 days	Fri 10/6/23	Thu 10/12/23	206	0%											
208	Doors and hardware	5 days	Thu 10/12/23	Wed 10/18/23	207	0%											
209	Touch up paing corridor	4 days	Sat 12/9/23	Wed 12/13/23	181	0%											
210	Corridor carpet	5 days	Thu 12/14/23	Tue 12/19/23	209	0%											
211	Corridor base	4 days	Wed 12/20/23	Sat 12/23/23	210	0%											
212	ORB punch	10 days	Tue 12/26/23	Sat 1/6/24	211	0%											
213	Final clean	5 days	Mon 1/8/24	Fri 1/12/24	212	0%											
214	Owner / Architect punch	10 days	Sat 1/13/24	Wed 1/24/24	213	0%											
215	Floor complete	1 day	Thu 1/25/24	Thu 1/25/24	214	0%											
216	Penthouse / Roof	372 days	Mon 7/11/22	Fri 12/8/23		77%											
217	Demo parapets for steel	10 days	Mon 7/11/22	Fri 7/22/22		100%											
218	Demo existing roof	5 days	Mon 7/25/22	Fri 7/29/22	217	100%											
219	Stub column / parapet conflict	10 days	Mon 8/1/22	Fri 8/12/22	218	100%											
220	RFI 50 answer	7 days	Mon 8/15/22	Tue 8/23/22	219	100%											
221	RFI 55	1 day	Wed 8/24/22	Wed 8/24/22	220	100%											
222	Re-fab stub columns	7 days	Thu 8/25/22	Fri 9/2/22	221	100%											
223	Set stub columns	4 days	Tue 9/6/22	Fri 9/9/22	218FS+2'	100%											
224	Install roof below roof steel	9 days	Mon 9/12/22	Thu 9/22/22	223	100%											
225	Penthouse slab steel	16 days	Wed 10/5/22	Wed 10/26/22		100%											
226	Inspect deck	1 day	Thu 10/27/22	Thu 10/27/22	225	100%											
227	Place penthouse slab	1 day	Thu 11/3/22	Thu 11/3/22	226FS+4	100%											
228	Install steel framing over elevators	51 days	Mon 11/7/22	Fri 1/20/23	227FS+1	100%											
229	Frame roof over elevators	18 days	Mon 1/9/23	Mon 2/13/23	228	100%											
230	Temp penthouse in at elevator	9 days	Tue 2/7/23	Fri 2/24/23	229	100%											
231	Low steel design complete	8 days	Mon 10/31/22	Wed 11/9/22	227FS-4	100%											
232	Fab low roof steel	14 days	Thu 11/10/22	Thu 12/1/22	231	100%											
233	Install low roof steel	15 days	Fri 12/2/22	Thu 12/22/22	232	100%											
234	Install penthouse steel framing	9 days	Fri 12/23/22	Fri 1/6/23	233	100%											
235	Install penthouse slab decking @ kitchen	5 days	Mon 3/27/23	Fri 3/31/23	234FS+5	100%											
236	Inspect slab	1 day	Mon 4/3/23	Mon 4/3/23	235	100%											
237	Place slab on deck	2 days	Tue 4/4/23	Wed 4/5/23	236	100%											
238	Frame and sheath exterior walls	10 days	Thu 4/6/23	Wed 4/19/23	237	100%											
239	Exterior air barrier, insulation, and siding	20 days	Fri 6/2/23	Thu 6/29/23	238FS+3	40%											
240	Install roofing	3 days	Tue 5/2/23	Fri 6/30/23	239	99%											
241	Frame walls	4 days	Fri 6/30/23	Fri 7/7/23	240	100%											
242	Pre-rock walls	1 day	Fri 7/7/23	Mon 7/10/23	241	100%											
243	Frame hard ceilings	9 days	Mon 7/10/23	Fri 7/21/23	242	100%											
244	MEP rough in	10 days	Tue 7/11/23	Tue 7/25/23	243	100%											
245	Install storefront	2 days	Tue 7/25/23	Thu 7/27/23	244	95%											
246	MEP Inspections	1 day	Tue 7/25/23	Wed 7/26/23	244	100%											

The Moxy
Construction Schedule
EXHIBIT C

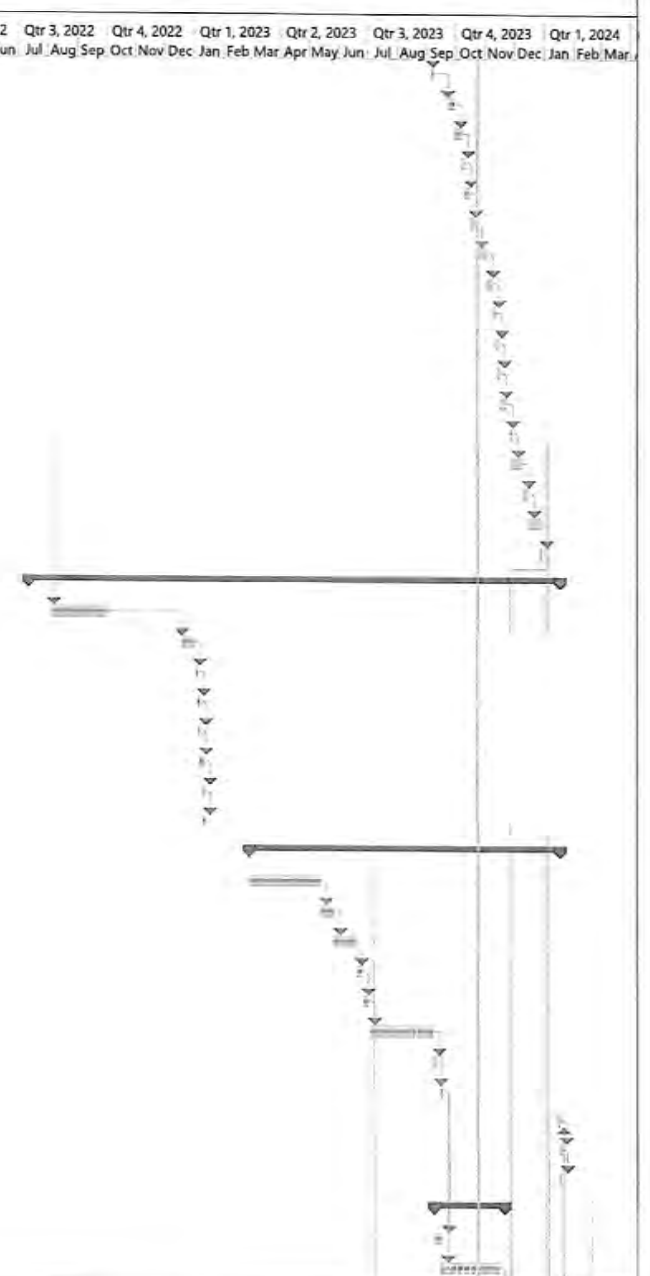
ID	Task Name	Duration	Start	Finish	Predecessor	% Complete	Qtr 4, 2021 Oct Nov Dec	Qtr 1, 2022 Jan Feb Mar Apr May Jun Jul Aug Sep Oct Nov Dec	Qtr 2, 2022	Qtr 3, 2022	Qtr 4, 2022	Qtr 1, 2023 Jan Feb Mar Apr May Jun Jul Aug Sep Oct Nov Dec	Qtr 2, 2023	Qtr 3, 2023	Qtr 4, 2023	Qtr 1, 2024 Jan Feb Mar
247	Pipe insulation	3 days	Wed 7/26/23	Mon 7/31/23	246	100%										
248	Framing inspection	2 days	Mon 7/31/23	Wed 8/2/23	247	100%										
249	Insulation	3 days	Wed 8/2/23	Mon 8/7/23	248	100%										
250	Drywall walls and ceilings	3 days	Mon 9/25/23	Wed 9/27/23		40%										
251	Drywall finish walls and ceilings	5 days	Thu 9/28/23	Tue 10/3/23	250	0%										
252	Prime walls and ceilings	1 day	Wed 10/4/23	Wed 10/4/23	251	0%										
253	Paint walls and ceilings	2 days	Thu 10/5/23	Fri 10/6/23	252	0%										
254	Wall and floor tile	5 days	Sat 10/7/23	Thu 10/12/23	253	0%										
255	VP flooring	3 days	Sat 10/7/23	Tue 10/10/23	253	0%										
256	Cabinets and counter tops	3 days	Wed 10/11/23	Fri 10/13/23	255	0%										
257	Install VWC	2 days	Sat 10/14/23	Mon 10/16/23	256	0%										
258	Install doors and hardware	2 days	Tue 10/17/23	Wed 10/18/23	257	0%										
259	Install trim	3 days	Tue 10/17/23	Thu 10/19/23	257	0%										
260	MEP fixtures and trim	3 days	Fri 10/20/23	Mon 10/23/23	259	0%										
261	Install raised flooring	10 days	Tue 10/24/23	Fri 11/3/23	260	0%										
262	Install glass railing	10 days	Sat 11/4/23	Wed 11/15/23	261	0%										
263	Corridor carpet	1 day	Thu 11/16/23	Thu 11/16/23	262	0%										
264	Corridor base	1 day	Fri 11/17/23	Fri 11/17/23	263	0%										
265	ORB punch	5 days	Mon 11/20/23	Tue 11/28/23	264	0%										
266	Final clean	3 days	Wed 11/29/23	Fri 12/1/23	265	0%										
267	Owner / Architect punch	5 days	Sat 12/2/23	Thu 12/7/23	266	0%										
268	Floor complete	1 day	Fri 12/8/23	Fri 12/8/23	267	0%										
269	1st Floor	152.3 days	Fri 7/7/23	Thu 1/18/24		33%										
270	Frame walls	5 days	Mon 7/17/23	Fri 7/21/23		100%										
271	Pre-rock walls	3 days	Mon 7/24/23	Wed 7/26/23	270	100%										
272	Frame hard ceilings	5 days	Thu 7/27/23	Wed 8/2/23	271	100%										
273	MEP rough in	25 days	Fri 7/7/23	Tue 9/5/23	272	100%										
274	Install windows	5 days	Tue 9/5/23	Mon 9/11/23	273	0%										
275	MEP inspections	2 days	Tue 8/22/23	Thu 9/7/23	273	100%										
276	Pipe insulation	3 days	Thu 9/7/23	Mon 9/11/23	275	100%										
277	Framing inspection	1 day	Mon 9/11/23	Tue 9/12/23	276	0%										
278	Insulation	3 days	Mon 10/9/23	Thu 10/12/23	277FS+2	0%										
279	Drywall walls and ceilings	5 days	Thu 10/12/23	Wed 10/18/23	278	0%										
280	Drywall finish walls and ceilings	7 days	Wed 10/18/23	Thu 10/26/23	279	0%										
281	Prime walls and ceilings	5 days	Thu 10/26/23	Wed 11/1/23	280	0%										
282	Paint walls and ceilings	5 days	Wed 11/1/23	Tue 11/7/23	281	0%										
283	Wall and floor tile	5 days	Tue 11/7/23	Mon 11/13/23	282	0%										
284	Cabinets and counter tops	5 days	Mon 11/13/23	Mon 11/20/23	283	0%										
285	Install VWC	5 days	Mon 11/20/23	Wed 11/29/23	284	0%										
286	Install doors and hardware	2 days	Wed 11/29/23	Fri 12/1/23	285	0%										
287	Install trim	7 days	Fri 12/1/23	Sat 12/9/23	286	0%										

**The Moxy
Construction Schedule
EXHIBIT C**

ID	Task Name	Duration	Start	Finish	Predecessor	% Complete	Qtr 4, 2021 Oct Nov Dec	Qtr 1, 2022 Jan Feb Mar Apr May Jun Jul Aug Sep	Qtr 2, 2022 Oct Nov Dec	Qtr 3, 2022 Jan Feb Mar Apr May Jun Jul Aug Sep	Qtr 4, 2022 Oct Nov Dec	Qtr 1, 2023 Jan Feb Mar Apr May Jun Jul Aug Sep	Qtr 2, 2023 Oct Nov Dec	Qtr 3, 2023 Jan Feb Mar Apr May Jun Jul Aug Sep	Qtr 4, 2023 Oct Nov Dec	Qtr 1, 2024 Jan Feb Mar	
288	MEP fixtures and trim	6 days	Sat 12/9/23	Sat 12/16/23	287	0%											
289	ORB punch	10 days	Sat 12/16/23	Fri 12/29/23	288	0%											
290	Final clean	5 days	Fri 12/29/23	Fri 1/5/24	289	0%											
291	Owner / Architect punch	10 days	Fri 1/5/24	Wed 1/17/24	290	0%											
292	Floor complete	1 day	Wed 1/17/24	Thu 1/18/24	291	0%											
293	Kitchen	330.5 days	Tue 9/27/22	Tue 12/26/23		42%											
294	Frame walls	5 days	Tue 9/27/22	Mon 7/24/23	270	100%											
295	Pre-rock walls	3 days	Mon 5/8/23	Wed 7/26/23	294	100%											
296	Frame hard ceilings	3 days	Wed 7/26/23	Mon 7/31/23	295	100%											
297	MEP rough in	39 days	Tue 8/29/23	Mon 10/16/23	273	80%											
298	MEP inspections	1 day	Mon 10/16/23	Tue 10/17/23	297	50%											
299	Pipe insulation	4 days	Tue 10/17/23	Sat 10/21/23	298	100%											
300	Framing inspection	1 day	Sat 10/21/23	Mon 10/23/23	299	100%											
301	Insulation	2 days	Mon 10/23/23	Wed 10/25/23	300	0%											
302	Drywall walls and ceilings	2 days	Wed 10/25/23	Fri 10/27/23	301	0%											
303	Drywall finish walls and ceilings	5 days	Fri 10/27/23	Thu 11/2/23	302	0%											
304	Prime and paint	3 days	Thu 11/2/23	Mon 11/6/23	303	0%											
305	Install FRP	3 days	Mon 11/6/23	Thu 11/9/23	304	0%											
306	Install flooring	7 days	Thu 11/9/23	Fri 11/17/23	305	0%											
307	Install ceiling grid	5 days	Fri 11/17/23	Tue 11/28/23	306	0%											
308	MEP grid rough	5 days	Mon 11/27/23	Sat 12/2/23	307FS-1	0%											
309	MEP grid inspection	1 day	Sat 12/2/23	Mon 12/4/23	308	0%											
310	Install ceiling tile	4 days	Mon 12/4/23	Fri 12/8/23	309	0%											
311	Install equipment	10 days	Thu 12/7/23	Tue 12/19/23	310FS-1	0%											
312	Equipment hook ups	10 days	Wed 12/13/23	Tue 12/26/23	311FS-5	0%											
313	Basement	399 days	Thu 6/23/22	Thu 12/28/23		67%											
314	slab removal for under slab rough in	20 days	Thu 6/23/22	Thu 7/21/22	7FS+10	100%											
315	Under slab rough in	30 days	Fri 7/29/22	Fri 9/9/22	314FS-5	100%											
316	Under slab RI inspection	1 day	Tue 9/13/22	Tue 9/13/22	315FS+1	100%											
317	Backfill and put slab back	5 days	Wed 9/14/22	Tue 9/20/22	316	100%											
318	Sandblast and seal walls	7 days	Mon 10/3/22	Tue 10/11/22	317FS+8	100%											
319	Install footings	8 days	Fri 11/11/22	Tue 11/22/22	318FS+2	100%											
320	Set structural steel	2 days	Mon 3/6/23	Tue 3/7/23		100%											
321	Place slab back	1 day	Wed 3/8/23	Wed 3/8/23	320	100%											
322	Frame walls	5 days	Mon 4/3/23	Fri 4/7/23	321	100%											
323	Pre-rock walls	1 day	Mon 4/10/23	Mon 4/10/23	322	100%											
324	Frame hard ceilings	2 days	Tue 4/11/23	Wed 4/12/23	323	100%											
325	MEP rough in	29 days	Mon 7/17/23	Wed 8/23/23	194FS-1	100%											
326	MEP inspections	1 day	Thu 8/24/23	Thu 8/24/23	325	100%											
327	Pipe insulation	3 days	Fri 8/25/23	Tue 8/29/23	326	100%											
328	Framing inspection	1 day	Wed 8/30/23	Wed 8/30/23	327	100%											

The Moxy
Construction Schedule
EXHIBIT C

ID	Task Name	Duration	Start	Finish	Predecessor	% Complete	Qtr 4, 2021 Oct Nov Dec	Qtr 1, 2022 Jan Feb Mar Apr May Jun	Qtr 2, 2022 Jul Aug Sep Oct Nov Dec	Qtr 3, 2022 Jan Feb Mar Apr May Jun	Qtr 4, 2022 Jul Aug Sep Oct Nov Dec	Qtr 1, 2023 Jan Feb Mar Apr May Jun	Qtr 2, 2023 Jul Aug Sep Oct Nov Dec	Qtr 3, 2023 Jan Feb Mar Apr May Jun	Qtr 4, 2023 Jul Aug Sep Oct Nov Dec	Qtr 1, 2024 Jan Feb Mar
329	Insulation	3 days	Tue 9/5/23	Thu 9/7/23	328FS+2	100%										
330	Drywall walls and ceilings	5 days	Sat 9/23/23	Thu 9/28/23	329FS+1	100%										
331	Drywall finish walls and ceilings	7 days	Fri 9/29/23	Fri 10/6/23	330	100%										
332	Install glazing	2 days	Sat 10/7/23	Mon 10/9/23	331	0%										
333	Prime walls and ceilings	5 days	Tue 10/10/23	Sat 10/14/23	332	30%										
334	Paint walls and ceilings	5 days	Mon 10/16/23	Fri 10/20/23	333	0%										
335	Wall and floor tile	10 days	Sat 10/21/23	Wed 11/1/23	334	0%										
336	Cabinets and counter tops	5 days	Thu 11/2/23	Tue 11/7/23	335	0%										
337	Install VWC	3 days	Wed 11/8/23	Fri 11/10/23	336	0%										
338	Install doors and hardware	2 days	Sat 11/11/23	Mon 11/13/23	337	0%										
339	Install trim	2 days	Tue 11/14/23	Wed 11/15/23	338	0%										
340	MEP fixtures and trim	5 days	Thu 11/16/23	Wed 11/22/23	339	0%										
341	Corridor base	1 day	Mon 11/27/23	Mon 11/27/23	340	0%										
342	ORB punch	10 days	Tue 11/28/23	Fri 12/8/23	341	0%										
343	Final clean	5 days	Sat 12/9/23	Thu 12/14/23	342	0%										
344	Owner / Architect punch	10 days	Fri 12/15/23	Wed 12/27/23	343	0%										
345	Floor complete	1 day	Thu 12/28/23	Thu 12/28/23	344	0%										
346	Elevator	404 days	Mon 7/11/22	Wed 1/17/24		94%										
347	Pit walls and floor repair	41 days	Thu 8/4/22	Fri 9/30/22	11FS+3	100%										
348	Form and pour new pits	9 days	Mon 12/19/22	Fri 12/30/22	347FS+4	100%										
349	Water main break delay	1 day	Tue 1/3/23	Tue 1/3/23	348	100%										
350	Repair water line	2 days	Wed 1/4/23	Thu 1/5/23	349	100%										
351	Pull pit forms	1 day	Thu 1/5/23	Thu 1/5/23	350FS-1	100%										
352	DE muck pits	2 days	Fri 1/6/23	Mon 1/9/23	351	100%										
353	Reform pit walls	1 day	Mon 1/9/23	Mon 1/9/23	352FS-1	100%										
354	Place pit wall concrete	1 day	Tue 1/10/23	Tue 1/10/23	353	100%										
355	West Cab	244 days	Mon 2/27/23	Wed 1/17/24		95%										
356	Elevator steel delay	53 days	Mon 2/27/23	Wed 5/10/23		100%										
357	Fabricate steel	11 days	Thu 5/11/23	Thu 5/25/23	356	100%										
358	Install steel	15 days	Fri 5/26/23	Fri 6/16/23	357	100%										
359	Frame shaft walls	5 days	Mon 6/19/23	Fri 6/23/23	358	100%										
360	Install rails	5 days	Mon 6/26/23	Fri 6/30/23	359	100%										
361	Install cabs	45 days	Mon 7/3/23	Tue 9/5/23	360	100%										
362	Install cab flooring	3 days	Wed 9/6/23	Fri 9/8/23	361	0%										
363	Inspect cab for temp use	1 day	Fri 9/15/23	Fri 9/15/23	361FS+8	100%										
364	Complete lobby finishes	2 days	Mon 1/15/24	Tue 1/16/24	448	0%										
365	Elevator inspection	1 day	Wed 1/17/24	Wed 1/17/24	364	0%										
366	Elevator turn over	1 day	Wed 1/17/24	Wed 1/17/24	365FS-1	0%										
367	East Cab	62 days	Fri 9/8/23	Mon 11/20/23		91%										
368	Install rails	5 days	Fri 9/8/23	Thu 9/14/23	363FS-5	100%										
369	Install cabs	45 days	Fri 9/15/23	Mon 11/13/23	368	100%										



**The Moxy
Construction Schedule
EXHIBIT C**

ID	Task Name	Duration	Start	Finish	Predecessor	% Complete	Qtr 4, 2021 Oct Nov Dec	Qtr 1, 2022 Jan Feb Mar Apr May Jun Jul	Qtr 2, 2022 Aug Sep Oct Nov Dec	Qtr 3, 2022 Jan Feb Mar Apr May Jun Jul	Qtr 4, 2022 Aug Sep Oct Nov Dec	Qtr 1, 2023 Jan Feb Mar Apr May Jun Jul	Qtr 2, 2023 Aug Sep Oct Nov Dec	Qtr 3, 2023 Jan Feb Mar Apr May Jun Jul	Qtr 4, 2023 Aug Sep Oct Nov Dec	Qtr 1, 2024 Jan Feb Mar
370	Install cab flooring	3 days	Tue 11/14/23	Thu 11/16/23	369	0%										
371	Elevator inspection	1 day	Fri 11/17/23	Fri 11/17/23	370	0%										
372	Elevator turn over	1 day	Mon 11/20/23	Mon 11/20/23	371	0%										
373	New Stair	328 days	Mon 7/11/22	Fri 10/13/23		93%										
374	Design stair	75 days	Mon 7/11/22	Mon 10/24/22		100%										
375	Fab stairs	15 days	Tue 10/25/22	Mon 11/14/22	374	100%										
376	Set steel framing, landings, and stringer	85 days	Mon 1/9/23	Fri 5/5/23	375FS+3	100%										
377	Place concrete in treads and landings	9 days	Fri 5/12/23	Wed 5/24/23	376FS+4	100%										
378	Frame walls	15 days	Fri 6/9/23	Thu 6/29/23	377FS+1	100%										
379	Wall rough in	10 days	Fri 6/30/23	Fri 7/14/23	378	100%										
380	Insulate and rail blocking	5 days	Mon 7/17/23	Fri 7/21/23	379	100%										
381	Install windows	5 days	Mon 7/24/23	Fri 7/28/23	380	100%										
382	Hang drywall	6 days	Tue 9/5/23	Mon 9/11/23	381FS+2	100%										
383	Finish drywall	10 days	Tue 9/12/23	Fri 9/22/23	382	100%										
384	Install rails	5 days	Sat 9/23/23	Thu 9/28/23	383	0%										
385	Paint	10 days	Fri 9/29/23	Tue 10/10/23	384	0%										
386	MEP trim out	3 days	Wed 10/11/23	Fri 10/13/23	385	0%										
387	Building Exterior	406 days	Tue 6/14/22	Thu 12/28/23		51%										
388	Install site utilities	25 days	Mon 11/21/22	Wed 12/28/22		100%										
389	Tuck point bldg. exterior	60 days	Tue 6/14/22	Mon 9/12/22	11	90%										
390	Install site concrete	40 days	Mon 7/24/23	Thu 9/14/23		5%										
391	Install screen wall	5 days	Fri 9/15/23	Wed 9/20/23	390	0%										
392	Install gates	2 days	Thu 9/21/23	Fri 9/22/23	391	0%										
393	Exterior signage (High)	10 days	Fri 7/7/23	Thu 7/20/23	239FS+4	0%										
394	Patch asphalt parking lot	15 days	Mon 12/11/23	Thu 12/28/23	345FS-1	0%										
395	Exterior signage (Low)	3 days	Fri 7/21/23	Tue 7/25/23	393	0%										
396	Model Room	81 days	Tue 1/11/22	Tue 5/3/22		100%										
397	Procure material	50 days	Tue 1/11/22	Mon 3/21/22	6	100%										
398	Wall lay out	2 days	Mon 2/28/22	Tue 3/1/22	397FS-1	100%										
399	Frame walls, pre-rock, and patch ceiling	4 days	Tue 3/1/22	Fri 3/4/22	398FS-1	100%										
400	MEP rough in	2 days	Mon 3/7/22	Tue 3/8/22	399	100%										
401	Install window	1 day	Mon 3/7/22	Mon 3/7/22	399	100%										
402	Frame hard ceiling	1 day	Wed 3/9/22	Wed 3/9/22	400	100%										
403	Drywall walls	1 day	Thu 3/10/22	Thu 3/10/22	402	100%										
404	Patch ceilings and finish walls	3 days	Fri 3/11/22	Tue 3/15/22	403	100%										
405	Prime walls and ceilings	1 day	Wed 3/16/22	Wed 3/16/22	404	100%										
406	Texture wall	1 day	Thu 3/17/22	Thu 3/17/22	405	100%										
407	Paint walls and ceilings	1 day	Fri 3/18/22	Fri 3/18/22	406	100%										
408	Install tile	3 days	Mon 3/21/22	Wed 3/23/22	407	100%										
409	Install VP flooring	1 day	Thu 3/24/22	Thu 3/24/22	408	100%										
410	Shower surround / door	1 day	Fri 3/25/22	Fri 3/25/22	409	100%										



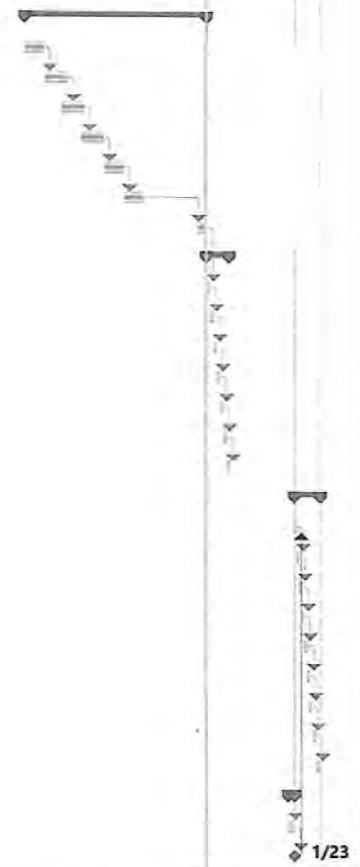
The Moxy
Construction Schedule
EXHIBIT C

ID	Task Name	Duration	Start	Finish	Predecessor	% Complete	Qtr 4, 2021 Oct Nov Dec	Qtr 1, 2022 Jan Feb Mar Apr	Qtr 2, 2022 May Jun Jul Aug Sep	Qtr 3, 2022 Oct Nov Dec	Qtr 4, 2022 Jan Feb Mar Apr	Qtr 1, 2023 May Jun Jul Aug Sep	Qtr 2, 2023 Oct Nov Dec	Qtr 3, 2023 Jan Feb Mar Apr	Qtr 4, 2023 May Jun Jul Aug Sep	Qtr 1, 2024 Oct Nov Dec Jan Feb Mar
411	Peg wall and trim	1 day	Fri 3/25/22	Fri 3/25/22	410FS-1	100%										
412	MEP fixtures and trim	1 day	Mon 3/28/22	Mon 3/28/22	411	100%										
413	Install doors, hardware, and trim	1 day	Mon 3/28/22	Mon 3/28/22	412FS-1	100%										
414	Marriott final approval	1 day	Tue 5/3/22	Tue 5/3/22	413FS+2'	100%										
415	Buck Hoist / Housekeeping Room	434 days	Mon 2/28/22	Sat 10/28/23		74%										
416	Demo south entrance	2 days	Mon 2/28/22	Tue 3/1/22		100%										
417	Demo windows and brick	3 days	Wed 3/2/22	Fri 3/4/22	416	100%										
418	Install hoist	5 days	Tue 3/29/22	Mon 4/4/22	417FS+1'	100%										
419	Remove buck hoist	3 days	Tue 9/19/23	Thu 9/21/23	363	100%										
420	Saw cut slab openings	3 days	Thu 9/21/23	Sat 9/23/23	419FS-1	100%										
421	Brick infill	5 days	Mon 9/25/23	Fri 9/29/23	420	100%										
422	Frame walls window openings	3 days	Mon 10/2/23	Wed 10/4/23	421FS+1'	100%										
423	Pre-rock	2 days	Thu 10/5/23	Fri 10/6/23	422	100%										
424	Install windows	2 days	Sat 10/7/23	Mon 10/9/23	422	100%										
425	MEP rough in	5 days	Tue 10/10/23	Sat 10/14/23	424	100%										
426	Drywall walls	2 days	Mon 10/16/23	Tue 10/17/23	425	5%										
427	Finish walls	5 days	Wed 10/18/23	Mon 10/23/23	426	0%										
428	Paint	2 days	Tue 10/24/23	Wed 10/25/23	427	0%										
429	Install flooring	2 days	Thu 10/26/23	Fri 10/27/23	428	0%										
430	Install doors and hardware	1 day	Sat 10/28/23	Sat 10/28/23	429	0%										
431	Single Story Rebuild	56 days	Mon 11/6/23	Tue 1/16/24		0%										
432	Demo elevator wall for rear entrance	1 day	Mon 11/6/23	Mon 11/6/23	419FS+8'	0%										
433	Install steel for new landing	1 day	Tue 11/7/23	Tue 11/7/23	432	0%										
434	Patch concrete slab	2 days	Thu 11/30/23	Fri 12/1/23	433FS+1'	0%										
435	Frame exterior walls	2 days	Sat 12/2/23	Mon 12/4/23	434	0%										
436	Set roof joists	2 days	Tue 12/5/23	Wed 12/6/23	435	0%										
437	Roof decking	2 days	Thu 12/7/23	Fri 12/8/23	436	0%										
438	Exterior sheathing	1 day	Sat 12/9/23	Sat 12/9/23	437	0%										
439	Install roofing	3 days	Mon 12/11/23	Wed 12/13/23	438	0%										
440	Frame interior walls	1 day	Thu 12/14/23	Thu 12/14/23	439	0%										
441	Pre-rock walls	1 day	Fri 12/15/23	Fri 12/15/23	440	0%										
442	Frame hard ceiling	1 day	Sat 12/16/23	Sat 12/16/23	441	0%										
443	MEP rough ins	10 days	Mon 12/18/23	Fri 12/29/23	442	0%										
444	Inspections	2 days	Mon 1/1/24	Tue 1/2/24	443	0%										
445	Hang drywall	1 day	Wed 1/3/24	Wed 1/3/24	444	0%										
446	Finish drywall	4 days	Thu 1/4/24	Mon 1/8/24	445	0%										
447	Wall and ceiling finishes	3 days	Tue 1/9/24	Thu 1/11/24	446	0%										
448	Install flooring	2 days	Fri 1/12/24	Sat 1/13/24	447	0%										
449	Doors and hardware	1 day	Mon 1/15/24	Mon 1/15/24	448	0%										
450	Install walk off mat	1 day	Tue 1/16/24	Tue 1/16/24	449	0%										
451	Systems Start Up / Commissioning	11.8 days	Tue 12/26/23	Wed 1/10/24		0%										

**The Moxy
Construction Schedule
EXHIBIT C**

ID	Task Name	Duration	Start	Finish	Predecessor	% Complete	Qtr 4, 2021	Qtr 1, 2022	Qtr 2, 2022	Qtr 3, 2022	Qtr 4, 2022	Qtr 1, 2023	Qtr 2, 2023	Qtr 3, 2023	Qtr 4, 2023	Qtr 1, 2024	
452	Kitchen equipment	10 days	Tue 12/26/23	Mon 1/8/24	312	0%	Oct	Nov	Dec	Jan	Feb	Mar	Apr	May	Jun	Jul	Aug
453	HVAC equipment	10 days	Wed 12/27/23	Tue 1/9/24	289FS-2	0%											
454	Fire alarm system	10 days	Wed 12/27/23	Tue 1/9/24	289FS-2	0%											
455	Electrical Systems	10 days	Thu 12/28/23	Wed 1/10/24	289FS-1	0%											
456	Sprinkler system	5 days	Thu 1/4/24	Wed 1/10/24	455FS-5	0%											
457	Install Peg wall	141 days	Mon 4/17/23	Mon 10/23/23		96%											
458	2nd floor	15 days	Mon 4/17/23	Fri 5/5/23		99%											
459	3rd floor	15 days	Tue 5/9/23	Tue 5/30/23	458FS+1	99%											
460	4th floor	15 days	Fri 5/26/23	Fri 6/16/23	459FS-2	99%											
461	5th floor	15 days	Fri 6/16/23	Fri 7/7/23	460FS-1	99%											
462	6th floor	15 days	Mon 7/10/23	Fri 7/28/23	461	99%											
463	7th floor	15 days	Mon 7/31/23	Fri 8/18/23	462	90%											
464	8th floor	7 days	Mon 10/16/23	Mon 10/23/23	463FS+4	80%											
465	Unit FF&E - beds	21 days	Tue 10/24/23	Thu 11/16/23		0%											
466	2nd floor	3 days	Tue 10/24/23	Thu 10/26/23	464	0%											
467	3rd floor	3 days	Fri 10/27/23	Mon 10/30/23	466	0%											
468	4th floor	3 days	Tue 10/31/23	Thu 11/2/23	467	0%											
469	5th floor	3 days	Fri 11/3/23	Mon 11/6/23	468	0%											
470	6th floor	3 days	Tue 11/7/23	Thu 11/9/23	469	0%											
471	7th floor	3 days	Fri 11/10/23	Mon 11/13/23	470	0%											
472	8th floor	3 days	Tue 11/14/23	Thu 11/16/23	471	0%											
473	Public Space FF&E+ beds	20 days	Wed 1/24/24	Mon 2/19/24		0%											
474	2nd floor	2 days	Wed 1/24/24	Thu 1/25/24	485	0%											
475	3rd floor	2 days	Fri 1/26/24	Sat 1/27/24	474	0%											
476	4th floor	2 days	Mon 1/29/24	Tue 1/30/24	475	0%											
477	5th floor	2 days	Wed 1/31/24	Thu 2/1/24	476	0%											
478	6th floor	2 days	Fri 2/2/24	Mon 2/5/24	477	0%											
479	7th floor	2 days	Tue 2/6/24	Wed 2/7/24	478	0%											
480	8th floor	2 days	Thu 2/8/24	Fri 2/9/24	479	0%											
481	1st floor	3 days	Mon 2/12/24	Wed 2/14/24	480	0%											
482	Basement	3 days	Thu 2/15/24	Mon 2/19/24	481	0%											
483	Certificate of Occupancy	6 days	Wed 1/17/24	Tue 1/23/24		0%											
484	Final inspections	5 days	Wed 1/17/24	Mon 1/22/24	450	0%											
485	Certificate of Occupancy	1 day	Tue 1/23/24	Tue 1/23/24	484	0%											

1/23



MOXY - SPRINGFIELD, MO

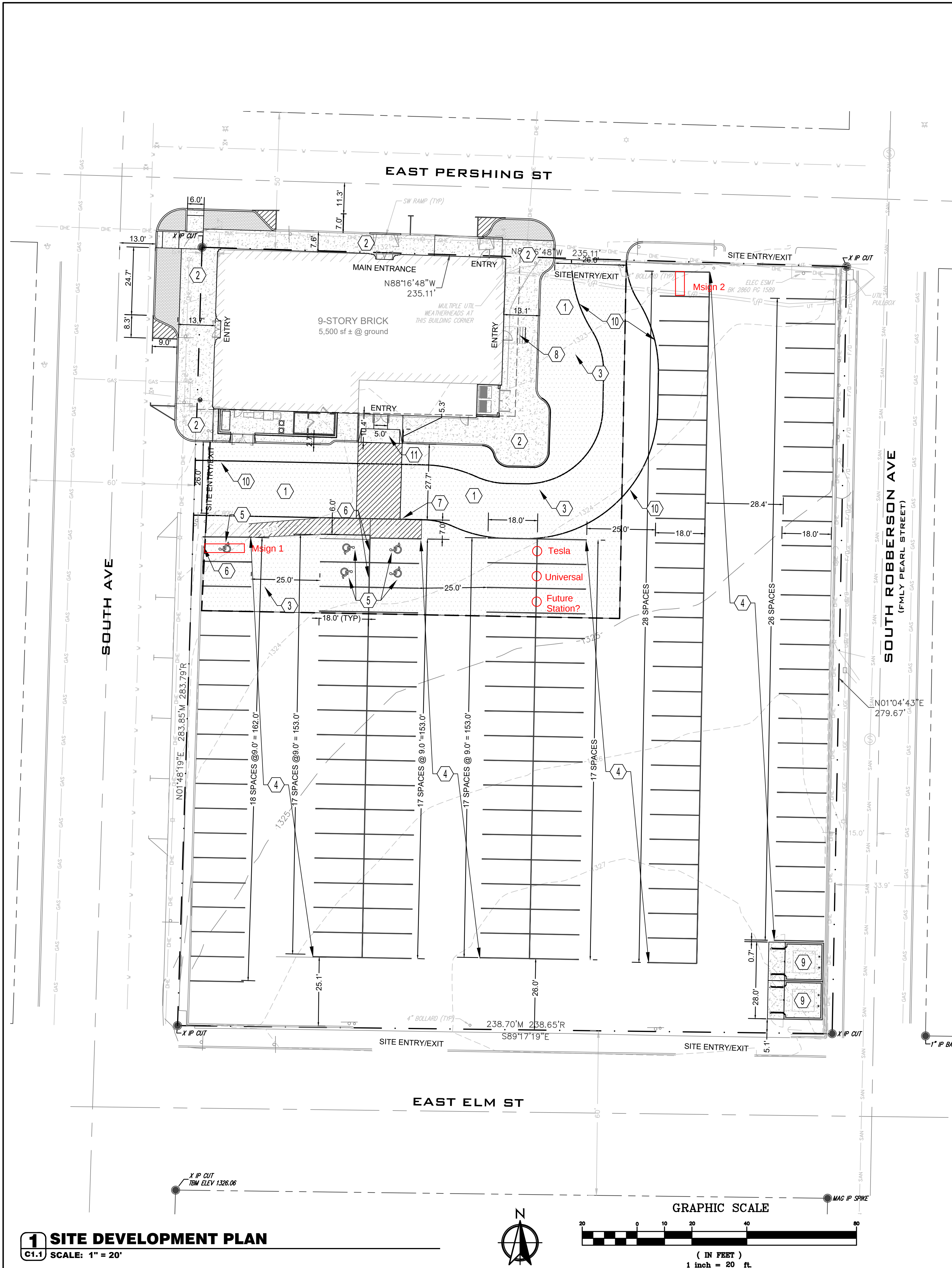
CONSTRUCTION BUDGET - 98 rooms

Description	Amount
Land Cost	1,900,000.00
SUBTOTAL - LAND COST	1,900,000.00
General Contractor/Construction Expenses	15,725,615.00
Change Orders	200,000.00
Structural Testing	400.00
Building Permits Fees	15,000.00
Historical Preservation	20,000.00
Telsa Charging Stations	5,000.00
SUBTOTAL - BUILDING COST	15,966,015.00
Architect & Engineer Fees	397,500.00
Reimbursables	15,000.00
Interior Design Fee	115,000.00
Reimbursables	6,000.00
Existing Conditions Testing	5,600.00
Civil Engineering	1,000.00
Kitchen/F&B Consultant	10,000.00
Third Party Engineering Materials Inspection	26,000.00
Commissioning	34,500.00
Ext. Bldg. Envelope Testing & Inspection	6,200.00
Printing/Material Charges	1,000.00
Miscellaneous	25,000.00
SUBTOTAL - TECHNICAL FEES	642,800.00
Kitchen Equipment (Can Lease Dishwasher)	475,000.00
Laundry Equipment	50,335.15
Furniture & Fixtures-Suites	1,329,265.02
Furniture & Fixtures-Public Space	771,854.73
Artwork (Local & Custom)	50,000.00
FF&E Install/Warehousing	231,500.00
Fitness Equipment & Décor	40,000.00
TVs (Guest Room & Public Space)	122,175.00
Television System	40,129.30
Internet/POTS Service	2,000.00
Phone System	30,000.00
Network & Cabling	127,780.00
Pre-Opening Phone Charges	20,000.00
IT / Wireless System & Integration (WiFi)	45,460.00
Interior Signage	26,000.00
Exterior Signage	95,000.00
Music System	1,500.00
Lighting Controls	432,249.15
Audio Visual (includes Digital Signage)	65,421.00
Security System	22,150.00
SUBTOTAL - FF&E	3,977,819.35
Guest Room	109,864.00
Public Space	200,012.00
Back of House	48,136.80
PMS & Software (Include Sales System)	103,540.00
Office Equipment	31,000.00
SUBTOTAL - OS&E	492,552.80
Closing Costs, Loan & Title Fees	70,000.00
Title Company / Draw Fees	5,500.00
Loan Origination & Broker Fees	15,355.00
Legal/Acct/Professional Fees	90,000.00
Licenses (liquor, food, occupancy, business)	6,000.00
Franchise Fees	75,000.00
Pre-Opening Advertising & Marketing	10,000.00
Opening Food & Beverage Inventory	25,000.00
Pre-Opening Payroll & Benefits	246,214.02
Recruitment	5,000.00
Brand Training Expenses	100,750.00
Brand Pre-Opening Expenses	6,250.00
Insurance - Comprehensive	45,000.00
Property Tax	172,000.00
Miscellaneous	100,000.00
Development Fee (3%)	1,800,000.00
Incentive	15,000.00
SUBTOTAL - SOFT	2,787,069.02
Project Cost Before Contingency and Interest	25,766,256.17
Contingency (3%)	715,987.69
Contingency Over/Under Budget Items	
SUBTOTAL-CONTINGENCY	715,987.69
Project cost without Interest	26,482,243.86
Capitalized Interest expense	700,000.00
TOTAL PROJECT COSTS	27,182,243.86

Moxy by Marriott Hotel
Capital Stack

Hotel Developer Equity	1,959,569
Historic Credit Tax Credit Equity	7,702,675
Mortgage	17,520,000
	<u>27,182,244</u>

Land	1,900,000
FF&E/OSE	4,470,372
Building	15,966,015
Technical Fees	642,800
Interest	700,000
Pre-Opening Soft	2,787,069
Contingency/Other	715,988
	<u>27,182,244</u>



1 SITE DEVELOPMENT PLAN
C1.1 SCALE: 1" = 20'

PARKING CALCULATION	
CENTER CITY ZONING:	NO PARKING REQUIRED
PROVIDED PARKING	141 SPACES
REQUIRED HANDICAP PARKING	5 SPACES
PROVIDED HANDICAP PARKING	5 SPACES

SPECIAL NOTE:
CONTRACTOR SHALL REPAIR AND/OR REPLACE ANY DAMAGED AREAS OF PAVEMENT DUE TO CONSTRUCTION ACTIVITIES.

CAUTION:
EXISTING SURFACE FEATURES, STRUCTURES, ETC. AND UNDERGROUND INSTALLATIONS SUCH AS WATER MAINS, GAS MAINS, SEWERS, TELEPHONE LINES, FIBER OPTIC LINES AND BURIED STRUCTURES ARE INDICATED ON THE DRAWING ONLY TO THE EXTENT SUCH INFORMATION HAS BEEN MADE AVAILABLE TO OR DISCOVERED BY THE SURVEYOR IN PREPARING THIS DRAWING. THERE IS NO GUARANTEE AS TO THE ACCURACY OR COMPLETENESS OF SUCH INFORMATION. THE CONTRACTOR IS RESPONSIBLE FOR MAKING HIS OWN DETERMINATION AS TO THE TYPE AND LOCATION OF UNDERGROUND AND OTHER UTILITIES AS MAY BE NECESSARY TO AVOID DAMAGE THEREOF.

SPECIAL NOTE:
CONTRACTOR TO CONTACT ANDERSON ENGINEERING 48 HOURS PRIOR TO EARTHWORK ACTIVITIES. ANDERSON TO PROVIDE ON-SITE SUBGRADE INSPECTION PRIOR TO PAVEMENT WORK.

GENERAL NOTES:

- REFER TO PROJECT MANUAL FOR ADDITIONAL REQUIREMENTS.
- ALL SITE DIMENSIONS TO THE FACE OF CURB, CONCRETE OR PROPERTY LINE UNLESS OTHERWISE NOTED. CONTRACTOR TO FIELD VERIFY EXISTING CONDITIONS BY DETAILED INSPECTION PRIOR TO SUBMITTING BID AND STARTING CONSTRUCTION.
- COORDINATE WORK WITH OTHER SITE RELATED DEVELOPMENT DRAWINGS.
- REFER TO STRUCTURAL PLANS FOR DEVELOPMENT OF SIDEWALKS ADJACENT TO FOUNDATIONS.
- PRIOR TO INSTALLATION, GENERAL CONTRACTOR TO CONFIRM THAT LIGHT POLES, LANDSCAPING AND UTILITIES DO NOT CONFLICT WITH SIGN LOCATION SHOWN. IF ANY POTENTIAL CONFLICT IS DISCOVERED, GENERAL CONTRACTOR IS TO CONTACT PROJECT MANAGER BEFORE PROCEEDING.
- SITE CONDITIONS BASED UPON SURVEY SUBMITTED BY OWNER. FIELD VERIFY EXISTING CONDITIONS BY DETAILED SITE INSPECTION PRIOR TO SUBMITTING BID AND BEGINNING CONSTRUCTION.
- REMOVE ALL EXISTING SITE CONSTRUCTION AND DELETERIOUS MATERIALS UNLESS OTHERWISE NOTED.
- REFER TO SITE UTILITIES PLAN FOR DEMOLITION OF EXISTING UTILITIES.
- ALL DEMOLISHED MATERIALS SHALL BECOME PROPERTY OF CONTRACTOR FOR PROPER DISPOSAL UNLESS OTHERWISE NOTED.

KEY NOTES:

- NEW STANDARD DUTY ASPHALT PAVEMENT PER DETAIL 1/C1.4.
- TURNDOWN SIDEWALK ADJACENT TO PAVEMENT. REFER TO DETAIL 2/C1.4. COORDINATE WITH OWNER AND THE CITY OF SPRINGFIELD FOR DETAILS FOR STAMPED CONCRETE AT INDICATIONS SHOWN.
- MATCH NEW PAVEMENT FLUSH WITH EXISTING PAVEMENT.
- STRIPING TO BE 4" HI-VIS WHITE PER CITY OF SPRINGFIELD STANDARDS AND SPECS.
- INSTALL ADA ACCESSIBLE SYMBOL PER DETAIL 4/C1.4.
- INSTALL ADA POLE MOUNTED SIGNAGE PER DETAIL 5/C1.4.
- HANDICAP ACCESS UNLOADING ZONE: SLOPE 2% MAX. EACH WAY (ADA COMPLIANT) AND STRIPE AS SHOWN. 4" STRIPES @ 24" O.C. AT 45 DEGREES. PAINT COLOR TO BE PER THE AUTHORITY HAVING JURISDICTION.
- NEW STAIRS. REFER TO ARCHITECTURAL & STRUCTURAL DRAWINGS FOR DETAILS.
- NEW DUMPSTER ENCLOSURE WITH LOCK. REFER TO SHEET C1.5 FOR DETAILS. REFER TO 6/C1.4 FOR PAVEMENT DETAILS.
- FIRE LANE STRIPING PER CITY OF SPRINGFIELD STANDARDS.
- 5' CURB RAMP. REFER TO DETAIL 3/C1.4.

ANDERSON ENGINEERING
EMPLOYEE OWNED

AE

ENGINEERS • SURVEYORS • LABORATORIES • DRILLING
2045 W. WOODLAND • SPRINGFIELD, MISSOURI 65807 • PHONE (417) 886-2741
ANDERSON COMM. 000062 • JARED M. DAVIS, P.E. 2018017614

BUXTON KUBIK DODD
DESIGN COLLECTIVE

3100 S. NATIONAL AVENUE, SUITE 300
SPRINGFIELD, MO 65807
PHONE: 417.880.5543 FAX: 417.880.5563
MISSOURI CERTIFICATE OF AUTHORITY NO. A-2006007284

PROJECT:
RENOVATION FOR:
MEDICAL ARTS BUILDING

moxxy
HOTELS

LOCATION:
430 SOUTH AVENUE
SPRINGFIELD, GREENE COUNTY, MISSOURI 65802

CONSULTANTS:
MECHANICAL/PLUMBING ENGINEER:
BUXTON KUBIK DODD
DESIGN COLLECTIVE
3100 SOUTH NATIONAL AVENUE,
SPRINGFIELD, MISSOURI 65807
MO CofA NO. 2016007397

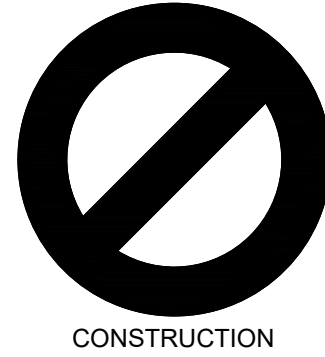
STRUCTURAL ENGINEER:
J & M ENGINEERING
3045 S. KANSAS EXPRESSWAY,
SPRINGFIELD, MISSOURI 65807
MO CofA NO. 2011011004

CIVIL ENGINEER:
ANDERSON ENGINEERING
3213 S. WEST BYPASS,
SPRINGFIELD, MISSOURI 65807
MO CofA NO. 000062

MODIFICATIONS:

90% SUBMITTAL

NOT FOR



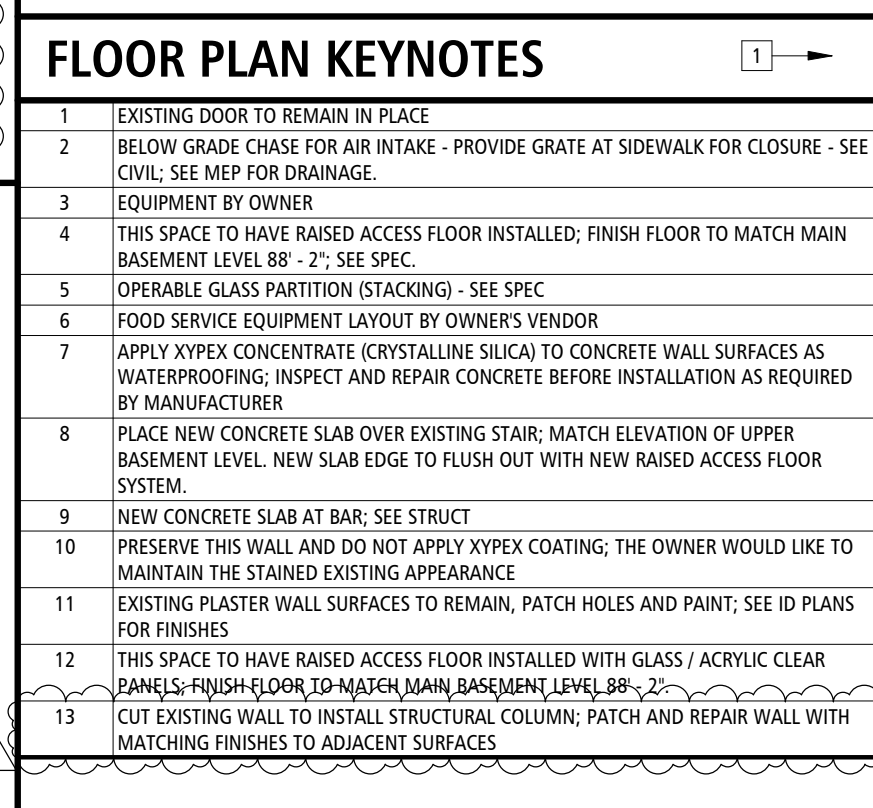
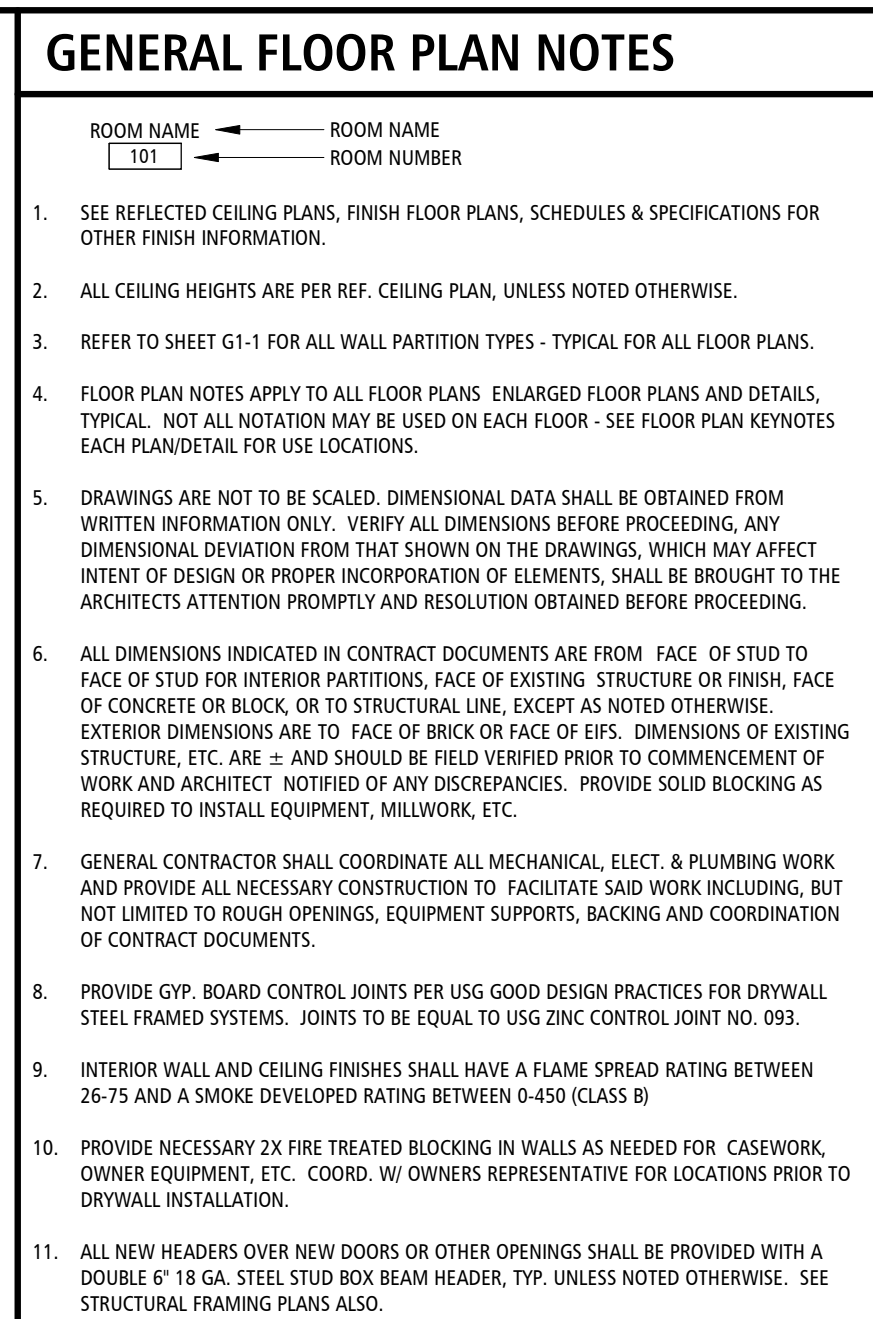
CONSTRUCTION

THIS SEAL IS FOR ARCHITECTURAL INFORMATION ONLY

Project No. BKD-1981 Drawn By JMD Date 09.25.2020

C1.1

SITE LAYOUT & DIMENSION PLAN



BUXTON KUBIK DODD
DESIGN COLLECTIVE

3100 S. NATIONAL AVENUE, SUITE 300
SPRINGFIELD, MO 65807
PHONE: 417.890.5543 FAX: 417.890.5563
MISSOURI CERTIFICATE OF AUTHORITY NO. A-2006007284

PROJECT:
RENOVATION FOR:
**MEDICAL ARTS
BUILDING**



LOCATION:
430 SOUTH AVENUE
SPRINGFIELD, GREENE COUNTY, MISSOURI 65802

CONSULTANTS:
MECH/ELECTRICAL/PLUMBING ENGINEER:
BUXTON KUBIK DODD
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3100 SOUTH NATIONAL AVENUE,
SPRINGFIELD, MISSOURI 65807
MO CoA NO. 2016007397

J & M ENGINEERING
3045 S. KANSAS EXPRESSWAY,
SPRINGFIELD, MISSOURI 65807
MO CofA NO. 2011011004

CIVIL ENGINEER:
ANDERSON ENGINEERING
2045 W. WOODLAND STREET,
SPRINGFIELD, MISSOURI 65807
MO CofA NO. 2006002904

MODIFICATIONS:		
1	ADD#1	09-10-21
2	ADD#2	09-17-21

CONSTRUCTION DOCUMENTS



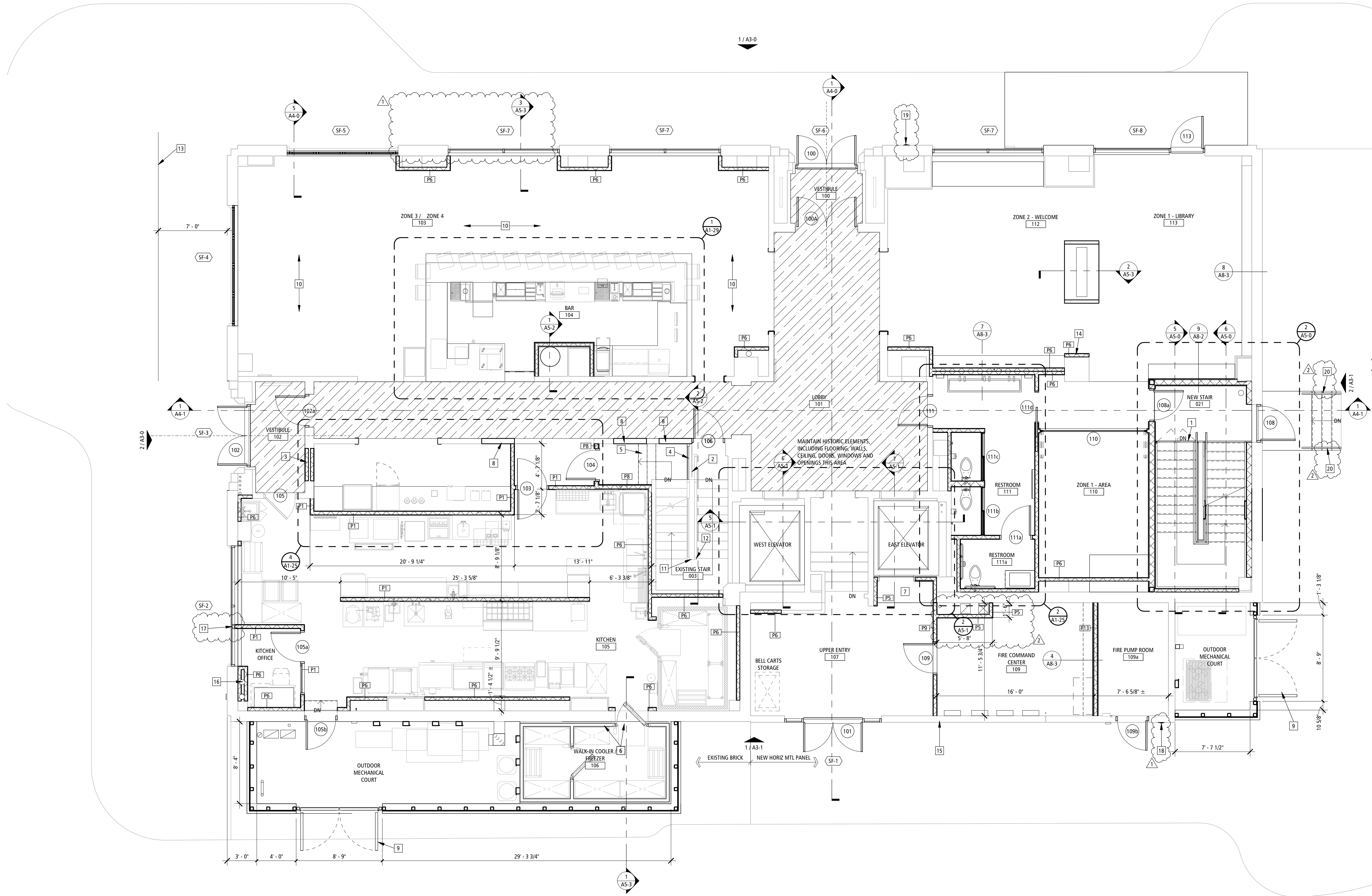
BRIAN K. KUBIK, ARCHITECT
MO. #: A-2003019819

THIS SEAL IS FOR ARCHITECTURAL INFORMATION ONLY

Project No.	Drawn By	Date
BKD-1981	RS, JL	08.20.2021

A1-0

FLOOR PLAN - BASEMENT LEVEL



MAIN FLOOR PLAN 1
SCALE: 3/16" = 1'-0"

GENERAL FLOOR PLAN NOTES

- ROOM NAME
101
ROOM NAME
ROOM NUMBER
- SEE REFLECTED CEILING PLANS, FINISH FLOOR PLANS, SCHEDULES & SPECIFICATIONS FOR OTHER FINISH INFORMATION.
 - ALL CEILING HEIGHTS ARE PER REF. CEILING PLAN, UNLESS NOTED OTHERWISE.
 - REFER TO SHEET G1-1 FOR ALL WALL PARTITION TYPES - TYPICAL FOR ALL FLOOR PLANS.
 - FLOOR PLAN NOTES APPLY TO ALL FLOOR PLANS ENLARGED FLOOR PLANS AND DETAILS, TYPICAL. NOT ALL NOTATION MAY BE USED ON EACH FLOOR - SEE FLOOR PLAN KEYNOTES EACH PLAN/DETAIL FOR USE LOCATIONS.
 - DRAWINGS ARE NOT TO BE SCALED. DIMENSIONAL DATA SHALL BE OBTAINED FROM WRITTEN INFORMATION ONLY. VERIFY ALL DIMENSIONS BEFORE PROCEEDING, ANY DIMENSIONAL DEVIATION FROM THAT SHOWN ON THE DRAWINGS, WHICH MAY AFFECT INTENT OF DESIGN OR PROPER INCORPORATION OF ELEMENTS, SHALL BE BROUGHT TO THE ARCHITECTS ATTENTION PROMPTLY AND RESOLUTION OBTAINED BEFORE PROCEEDING.
 - ALL DIMENSIONS INDICATED IN CONTRACT DOCUMENTS ARE FROM FACE OF STUD TO FACE OF STUD FOR INTERIOR PARTITIONS, FACE OF EXISTING STRUCTURE OR FINISH, FACE OF CONCRETE OR BLOCK, OR TO STRUCTURAL LINE, EXCEPT AS NOTED OTHERWISE. EXTERIOR DIMENSIONS ARE TO FACE OF BRICK OR FACE OF EIFS. DIMENSIONS OF EXISTING STRUCTURE, ETC. ARE - AND SHOULD BE FIELD VERIFIED PRIOR TO COMMENCEMENT OF WORK AND ARCHITECT NOTIFIED OF ANY DISCREPANCIES. PROVIDE SOLID BLOCKING AS REQUIRED TO INSTALL EQUIPMENT, MILLWORK, ETC.
 - GENERAL CONTRACTOR SHALL COORDINATE ALL MECHANICAL, ELECT. & PLUMBING WORK AND PROVIDE ALL NECESSARY CONSTRUCTION TO FACILITATE SAID WORK INCLUDING, BUT NOT LIMITED TO ROUGH OPENINGS, EQUIPMENT SUPPORTS, BACKING AND COORDINATION OF CONTRACT DOCUMENTS.
 - PROVIDE GYP. BOARD CONTROL JOINTS PER USG GOOD DESIGN PRACTICES FOR DRYWALL STEEL FRAMED SYSTEMS. JOINTS TO BE EQUAL TO USG ZINC CONTROL JOINT NO. 093.
 - INTERIOR WALL AND CEILING FINISHES SHALL HAVE A FLAME SPREAD RATING BETWEEN 26-75 AND A SMOKE DEVELOPED RATING BETWEEN 0-450 (CLASS B)
 - PROVIDE NECESSARY 2X FIRE TREATED BLOCKING IN WALLS AS NEEDED FOR CASEWORK, OWNER EQUIPMENT, ETC.. COORD. W/ OWNERS REPRESENTATIVE FOR LOCATIONS PRIOR TO DRYWALL INSTALLATION.
 - ALL NEW HEADERS OVER NEW DOORS OR OTHER OPENINGS SHALL BE PROVIDED WITH A DOUBLE 6" 18 GA. STEEL STUD BOX BEAM HEADER, TYP. UNLESS NOTED OTHERWISE. SEE STRUCTURAL FRAMING PLANS ALSO.

FLOOR PLAN KEYNOTES

- 1 PREFABRICATED STAIR INTERRUPTION BARRIER, EQUAL TO PACIFIC STAIR - EGRESSGATE
- 2 EXISTING VERTICAL PICKET STEEL DIVIDER TO REMAIN AND SERVE AS AN INTERRUPTION BARRIER
- 3 INFILL EXISTING OPENING WITH FINISHES TO MATCH ADJACENT SURFACES
- 4 NEW GUARDRAIL; MATCH HEIGHT AND DETAIL TO EXISTING STAIR GUARDRAIL
- 5 NEW CONCRETE STAIR EXTENSION; MATCH FINISH TO EXISTING STAIR TREADS AND RISERS
- 6 DOOR AND INSULATED ENCLOSURE DESIGNED BY KITCHEN EQUIPMENT PROVIDER
- 7 REMOVE EXISTING MASONRY FOR NEW OPENING TO ELEVATOR; PROVIDE NEW SLAB EXTENSION OVER WALL REMOVAL TO NEW ELEVATOR DOOR.
- 8 REMOVE DOOR AND INFILL WITH FINISHES TO MATCH ADJACENT EXISTING SURFACES
- 9 DOUBLE GATE WITH VERTICAL METAL PANEL - SEE DETAIL ON SHEET A6-2
- 10 AT RECESSED SLAB PROVIDE NEW FLOORING SYSTEM TO BRING FLOOR UP TO MATCH CORRIDOR. ASSEMBLY TO INCLUDE SLEEPERS, FLOOR DECKING, AND 3/4" GYPCRETE; SEE STRUCTURAL FOR DETAIL
- 11 REPLACE SMALL PORTIONS OF WOOD RAILING AND FINISH TO MATCH EXISTING; FIELD VERIFY QUANTITY AND LENGTHS
- 12 REPLACE RAILING POST CAPS, MULTIPLE LOCATIONS; FIELD VERIFY QUANTITY
- 13 DECORATIVE RAILING FOR SIDEWALK DINING
- 14 FLURR OUT COLUMN AS NECESSARY TO ACCOMMODATE DEPTH OF SHELVING; REFER TO INTERIOR PLANS FOR FINISHES
- 15 REMOVE EXISTING STUCCO FINISH; PREP EXISTING WALL SURFACE AND INSTALL FLUID APPLIED MEMBRANE AIR BARRIER. INSTALL FURRING AS NECESSARY FOR ATTACHMENT OF HORIZONTAL METAL PANEL.
- 16 MET. STUD FURRING AND 5/8" GYP. BD. FOR PLUMBING CHASE
- 17 SOUND BARRIER MULLION TRIM CAP. EQUAL TO MULLIT-OVER STC 55.
- 18 KNOX BOX 3200 SERIES, RECESSED MOUNTING; ALUMINUM FINISH - MOUNT AT 60" AFF
- 19 KNOX BOX 3200 SERIES-SURFACE MOUNTING-ALUMINUM FINISH - MOUNT AT 60" AFF
- 20 1 1/2" O.D. PIPE HANDRAIL STAINLESS STEEL @ 3'-0" AFF.

FLOOR PLAN KEYNOTES ARE SHEET SPECIFIC TYPICAL AND APPLY TO THIS SHEET ONLY. KEYNOTES ABOVE DO NOT APPLY TO ANY OTHER SHEET.



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PHONE: 417.890.5543 FAX: 417.890.5563
MISSOURI CERTIFICATE OF AUTHORITY NO. A-2006007284

PROJECT:
RENOVATION FOR:
**MEDICAL ARTS
BUILDING**



LOCATION:
430 SOUTH AVENUE
SPRINGFIELD, GREENE COUNTY, MISSOURI 65802

CONSULTANTS:
MECHANICAL/PLUMBING ENGINEER:
**BUXTON KUBIK DODD
DESIGN COLLECTIVE**
3100 SOUTH NATIONAL AVENUE,
SPRINGFIELD, MISSOURI 65807
MO CofA NO. 2016007397

STRUCTURAL ENGINEER:
J & M ENGINEERING
3045 S. KANSAS EXPRESSWAY,
SPRINGFIELD, MISSOURI 65807
MO CofA NO. 2011011004

CIVIL ENGINEER:
ANDERSON ENGINEERING
2045 W. WOODLAND STREET,
SPRINGFIELD, MISSOURI 65807
MO CofA NO. 2006002904

MODIFICATIONS:		
1	ADD#1	09-10-21
2	ADD#2	09-17-21

CONSTRUCTION DOCUMENTS



BRIAN K. KUBIK, ARCHITECT
MCO # A-2003019819

Digitally signed by Brian K. Kubik,
Date: 2021.09.20 09:04:51 -0500

THIS SEAL IS FOR ARCHITECTURAL INFORMATION ONLY

Project No. BKD-1981	Drawn By RS, JL	Date 08.20.2021
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A1-1

FLOOR PLAN - MAIN LEVEL



FLOOR PLAN KEYNOTES

MODIFICATIONS:

CONSTRUCTION DOCUMENTS



Project No.	Drawn By	Date
BKD-1981	RS, JL	08.20.2021

A1-3

FLOOR PLAN - THIRD LEVEL



ROOM NAME
ROOM NUMBER

SEE REFLECTED CEILING PLANS, FINISH FLOOR PLANS, SCHEDULES & SPECIFICATIONS FOR OTHER FLOOR PLAN INFORMATION.

ALL CEILING HEIGHTS ARE PER REF. CEILING PLAN, UNLESS NOTED OTHERWISE.

REFER TO SHEET G-11 FOR ALL WALL PARTITION TYPES - TYPICAL FOR ALL FLOOR PLANS

FLOOR PLAN NOTES APPLY TO ALL FLOOR PLANS ENLARGED FLOOR PLANS AND DETAILS. TYPICAL - NOT ALL NOTATION MAY BE USED ON EACH FLOOR - SEE FLOOR PLAN KEYNOTES EACH PLAN/DETAIL FOR USE LOCATIONS.

DRAWINGS ARE NOT TO BE SCALED. DIMENSIONAL DATA SHALL BE OBTAINED FROM WRITTEN INFORMATION ONLY. VERIFY ALL DIMENSIONS BEFORE PROCEEDING, ANY DIMENSIONAL DEVIATION FROM THAT SHOWN ON THE DRAWINGS, WHICH MAY AFFECT INTENT OF DESIGN OR PROPER INCORPORATION OF ELEMENTS, SHALL BE BROUGHT TO THE ARCHITECT'S ATTENTION PROMPTLY AND RESOLUTION OBTAINED BEFORE PROCEEDING.

ALL DIMENSIONS INDICATED IN CONTRACT DOCUMENTS ARE FROM: FACE OF STUD TO FACE OF STUD FOR PARTITION WALLS, FACE OF EXISTING STRUCTURE OR FINISH, FACE OF CONCRETE OR BLOCK, OR TO STRUCTURAL LINE, EXCEPT AS NOTED OTHERWISE. EXISTING DIMENSIONS ARE TO FACE OF BRICK OR FACE OF EIFS. DIMENSIONS OF EXISTING STRUCTURE, ETC. ARE = AND SHOULD BE FIELD VERIFIED PRIOR TO COMMENCEMENT OF WORK. ALL WORK NOTED OR IMPLIED BY ANY DISCREPANCIES, PROVIDE SUD BLOCKING AS REQUIRED TO INSTALL EQUIPMENT, MILLWORK, ETC.

GENERAL CONTRACTOR SHALL COORDINATE ALL MECHANICAL, ELECT & PLUMBING WORK AND PROVIDE ALL NECESSARY CONSTRUCTION TO FACILITATE SUD WORK INCLUDING, BUT NOT LIMITED TO ROUGH OPENINGS, EQUIPMENT SUPPORTS, BACKING AND COORDINATION OF CONTRACTOR DOCUMENTS.

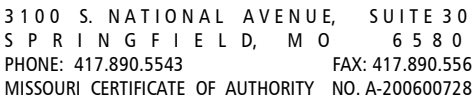
PROVIDE GYP BOARD CONTROL JOINTS PER USE GOOD DESIGN PRACTICES FOR DRYWALL, STEEL FRAMED SYSTEMS. JOINTS TO BE EQUAL TO USE ZINC CONTROL JOINT NO. 093.

INTERIOR WALL AND CEILING FINISHES SHALL HAVE A FLAME SPREAD RATING BETWEEN 26-75 AND A SMOKE DEVELOPED RATING BETWEEN 0.450 (CLASS B)

PROVIDE NECESSARY 2X FIR TREATED BLOCKING AS NEEDED FOR CASEWORK, OVERLAP EQUIPMENT, ETC. NOODS, W/ OWNERS REPRESENTATIVE FOR LOCATIONS PRIOR TO DRYWALL INSTALLATION.

ALL NEW HEADERS OVER CORRIDORS OR OTHER OPENINGS SHALL BE PROVIDED WITH A DOUBLE 6" 18 LB. STEEL STUD BOOM BEAM HEADER, TYP. UNLESS NOTED OTHERWISE. SEE STRUCTURAL FRAME PLAN ALSO.

**FLOOR PLAN KEYNOTES ARE SHEET SPECIFIC TYPICAL
AND APPLY TO THIS SHEET ONLY, KEYNOTES ABOVE
DO NOT APPLY TO ANY OTHER SHEET.**



LOCATION:
430 SOUTH AVENUE
SPRINGFIELD, GREENE COUNTY, MISSOURI 65802

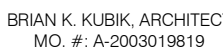
CONSULTANTS:
MECH/ELECTRICAL/PLUMBING ENGINEER
BUXTON KUBIK DODD
DESIGN COLLECTIVE
3100 SOUTH NATIONAL AVENUE,
SPRINGFIELD, MISSOURI 65807
MO CofA NO. 2016007397

STRUCTURAL ENGINEER:
J & M ENGINEERING
3045 S. KANSAS EXPRESSWAY,
SPRINGFIELD, MISSOURI 65807
MO CofA NO. 2011011004

CIVIL ENGINEER:
ANDERSON ENGINEERING
2045 W. WOODLAND STREET,
SPRINGFIELD, MISSOURI 65807
MO CoFA NO. 2006002904

MODIFICATIONS:

CONSTRUCTION DOCUMENTS

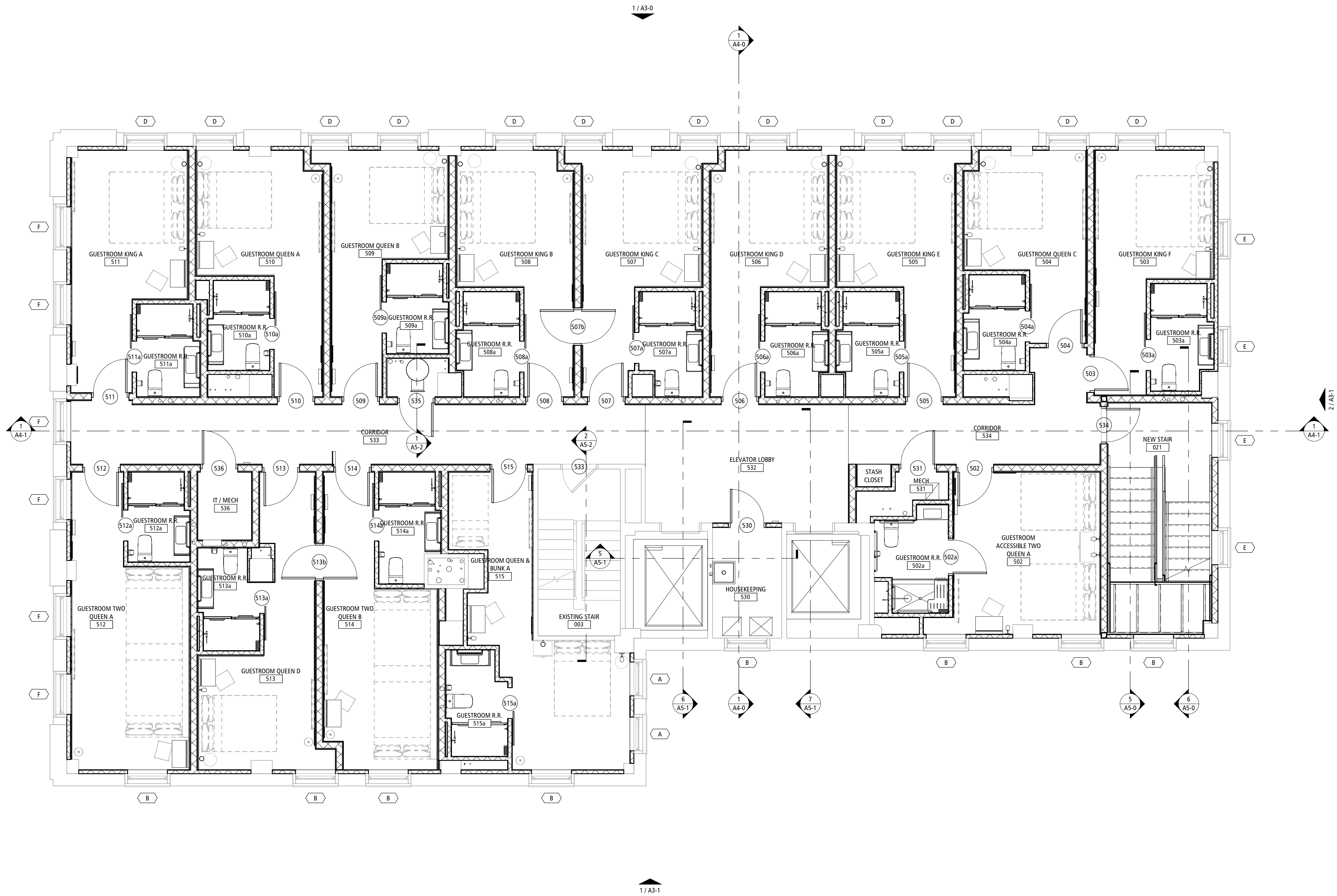


THIS SEAL IS FOR ARCHITECTURAL INFORMATION ONLY

Project No.	Drawn By	Date
RKD-1981	RS II	08 20 202

A1-4

FLOOR PLAN - FOURTH LEVE



FIFTH LEVEL - FLOOR PLAN 1
SCALE: 3/16" = 1'-0"

GENERAL FLOOR PLAN NOTES

- ROOM NAME
101 ROOM NAME
ROOM NUMBER
- SEE REFLECTED CEILING PLANS, FINISH FLOOR PLANS, SCHEDULES & SPECIFICATIONS FOR OTHER FINISH INFORMATION.
 - ALL CEILING HEIGHTS ARE PER REF. CEILING PLAN, UNLESS NOTED OTHERWISE.
 - REFER TO SHEET G1-1 FOR ALL WALL PARTITION TYPES - TYPICAL FOR ALL FLOOR PLANS.
 - FLOOR PLAN NOTES APPLY TO ALL FLOOR PLANS ENLARGED FLOOR PLANS AND DETAILS, TYPICAL. NOT ALL NOTATION MAY BE USED ON EACH FLOOR - SEE FLOOR PLAN KEYNOTES EACH PLAN/DETAIL FOR USE LOCATIONS.
 - DRAWINGS ARE NOT TO BE SCALED. DIMENSIONAL DATA SHALL BE OBTAINED FROM WRITTEN INFORMATION ONLY. VERIFY ALL DIMENSIONS BEFORE PROCEEDING, ANY DIMENSIONAL DEVIATION FROM THAT SHOWN ON THE DRAWINGS, WHICH MAY AFFECT INTENT OF DESIGN OR PROPER INCORPORATION OF ELEMENTS, SHALL BE BROUGHT TO THE ARCHITECTS ATTENTION PROMPTLY AND RESOLUTION OBTAINED BEFORE PROCEEDING.
 - ALL DIMENSIONS INDICATED IN CONTRACT DOCUMENTS ARE FROM FACE OF STUD TO FACE OF STUD FOR INTERIOR PARTITIONS, FACE OF EXISTING STRUCTURE OR FINISH, FACE OF CONCRETE OR BLOCK, OR TO STRUCTURAL LINE, EXCEPT AS NOTED OTHERWISE. EXTERIOR DIMENSIONS ARE TO FACE OF BRICK OR FACE OF EIFS. DIMENSIONS OF EXISTING STRUCTURE, ETC. ARE ± AND SHOULD BE FIELD VERIFIED PRIOR TO COMMENCEMENT OF WORK AND ARCHITECT NOTIFIED OF ANY DISCREPANCIES. PROVIDE SOLID BLOCKING AS REQUIRED TO INSTALL EQUIPMENT, MILLWORK, ETC.
 - GENERAL CONTRACTOR SHALL COORDINATE ALL MECHANICAL, ELECT. & PLUMBING WORK AND PROVIDE ALL NECESSARY CONSTRUCTION TO FACILITATE SAID WORK INCLUDING, BUT NOT LIMITED TO ROUGH OPENINGS, EQUIPMENT SUPPORTS, BACKING AND COORDINATION OF CONTRACT DOCUMENTS.
 - PROVIDE GYP. BOARD CONTROL JOINTS PER USG GOOD DESIGN PRACTICES FOR DRYWALL STEEL FRAMED SYSTEMS. JOINTS TO BE EQUAL TO USG ZINC CONTROL JOINT NO. 093.
 - INTERIOR WALL AND CEILING FINISHES SHALL HAVE A FLAME SPREAD RATING BETWEEN 26-75 AND A SMOKE DEVELOPED RATING BETWEEN 0-450 (CLASS B)
 - PROVIDE NECESSARY 2X FIRE TREATED BLOCKING IN WALLS AS NEEDED FOR CASEWORK, OWNER EQUIPMENT, ETC. COORD. W/ OWNERS REPRESENTATIVE FOR LOCATIONS PRIOR TO DRYWALL INSTALLATION.
 - ALL NEW HEADERS OVER NEW DOORS OR OTHER OPENINGS SHALL BE PROVIDED WITH A DOUBLE 6" 18 GA. STEEL STUD BOX BEAM HEADER, TYP. UNLESS NOTED OTHERWISE. SEE STRUCTURAL FRAMING PLANS ALSO.

FLOOR PLAN KEYNOTES

FLOOR PLAN KEYNOTES ARE SHEET SPECIFIC TYPICAL AND APPLY TO THIS SHEET ONLY. KEYNOTES ABOVE DO NOT APPLY TO ANY OTHER SHEET.



BUXTON KUBIK DODD
DESIGN COLLECTIVE

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PHONE: 417.890.5543 FAX: 417.890.5563
MISSOURI CERTIFICATE OF AUTHORITY NO. A-2006007284

PROJECT:
RENOVATION FOR:
**MEDICAL ARTS
BUILDING**



LOCATION:
430 SOUTH AVENUE
SPRINGFIELD, GREENE COUNTY, MISSOURI 65802

CONSULTANTS:
MECHANICAL/PLUMBING ENGINEER:
BUXTON KUBIK DODD
DESIGN COLLECTIVE
3100 SOUTH NATIONAL AVENUE,
SPRINGFIELD, MISSOURI 65807
MO CoA NO. 2016007397

STRUCTURAL ENGINEER:
J & M ENGINEERING
3045 S. KANSAS EXPRESSWAY,
SPRINGFIELD, MISSOURI 65807
MO CoA NO. 2011011004

CIVIL ENGINEER:
ANDERSON ENGINEERING
2045 W. WOODLAND STREET,
SPRINGFIELD, MISSOURI 65807
MO CoA NO. 2006002904

MODIFICATIONS:

CONSTRUCTION DOCUMENTS



BRIAN K. KUBIK, ARCHITECT
MO # A-2003019819

THIS SEAL IS FOR ARCHITECTURAL INFORMATION ONLY

Project No. BKD-1981 Drawn By RS, JL Date 08.20.2021

A1-5

FLOOR PLAN - FIFTH LEVEL

1. SEE REFLECTED CEILING PLANS, FINISH FLOOR PLANS, SCHEDULES & SPECIFICATIONS FOR OTHER FINISH INFORMATION.
2. ALL CEILING HEIGHTS ARE PER REF. CEILING PLAN, UNLESS NOTED OTHERWISE.
3. REFER TO SHEET G1-1 FOR ALL WALL PARTITION TYPES - TYPICAL FOR ALL FLOOR PLANS.
4. FLOOR PLAN NOTES APPLY TO ALL FLOOR PLANS. ENLARGED FLOOR PLANS AND DETAILS, TYPICAL NOT TO SCALE. NOTATION MAY BE USED ON EACH FLOOR - SEE FLOOR PLAN KEYNOTES EACH PLAN/DETAIL FOR USE LOCATIONS.
5. DRAWINGS ARE NOT TO BE SCALED. DIMENSIONAL DATA SHALL BE OBTAINED FROM WRITTEN INFORMATION ONLY. VERIFY ALL DIMENSIONS BEFORE PROCEEDING, ANY DIMENSIONAL VARIATION FROM THAT SHOWN ON THE DRAWINGS, WHICH MAY AFFECT INTENT OF DESIGN OR PROPER INCORPORATION OF ELEMENTS, SHALL BE BROUGHT TO THE ARCHITECT'S ATTENTION PROMPTLY AND RESOLUTION OBTAINED BEFORE PROCEEDING.
6. ALL DIMENSIONS INDICATED IN CONSTRUCTION DOCUMENTS ARE FROM FACE OF STUD TO FACE OF STUD FOR INTERIOR PARTITIONS, FACE OF EXISTING STRUCTURE OR FINISH FACE OF CONCRETE OR BLOCK, OR TO STRUCTURAL LINE, EXCEPT AS NOTED OTHERWISE. DIMENSIONED EXTENSIONS ARE TO FACE OF BLOCK OR FACE OF EIFS. DIMENSIONS OF EXISTING STRUCTURE, ETC. ARE = AND SHOULD BE FIELD VERIFIED PRIOR TO COMMENCEMENT OF WORK. DO NOT ADJUST NOTATION OF DIMENSIONS TO ACCOMMODATE DISCREPANCIES. PROVIDE SUD BLOCKING AS REQUIRED TO INSTALL EQUIPMENT, MILLWORK, ETC.
7. GENERAL CONTRACTOR SHALL COORDINATE ALL MECHANICAL, ELECT, & PLUMBING WORK AND PROVIDE ALL NECESSARY CONSTRUCTION TO FACILITATE SAID WORK INCLUDING, BUT NOT LIMITED TO ROUGH OPENINGS, EQUIPMENT SUPPORTS, BACKING AND COORDINATION OF CONSTRUCTION DOCUMENTS.
8. PROVIDE CPB, BOARD CONTROL JOINTS IN PER USE GOOD DESIGN PRACTICES FOR DRYWALL STUD FRAME SYSTEMS. JOINTS BE TO EQUAL TO USE ZINC CONTROL JOINT NO. 093.
9. INTERIOR WALL AND CEILING FINISHES SHALL HAVE A FLAME SPREAD RATING BETWEEN 25-75 AND A SMOKE DEVELOPED RATING BETWEEN 0.450 (CLASS B).
10. PROVIDE NECESSARY 2X FIR TREATED BLOCKING IN WALLS AS NEEDED FOR CASEWORK, OVERHEAD EQUIPMENT, ETC. COORD. W/ OWNERS REPRESENTATIVE FOR LOCATIONS PRIOR TO DRYWALL INSTALLATION.
11. ALL NEW HEADERS OVER DOOR, WOOD OR OTHER OPENINGS SHALL BE PROVIDED WITH A DOUBLE # 18 GA. STEEL STUD PLG BOY BEAM HEADER. TYP. UNLESS NOTED OTHERWISE. SEE STRUCTURAL FINISHING PLAN ALSO.

FLOOR PLAN KEYNOTES ARE SHEET SPECIFIC TYPICAL
AND APPLY TO THIS SHEET ONLY, KEYNOTES ABOVE
DO NOT APPLY TO ANY OTHER SHEET.



SCALE: 3/16" = 1'-0"

1	
A1-7	



3100 S. NATIONAL AVENUE, SUITE 300
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PHONE: 417.890.5543 FAX: 417.890.5563
MISSOURI CERTIFICATE OF AUTHORITY NO. A-200600728



LOCATION:
430 SOUTH AVENUE
SPRINGFIELD, GREENE COUNTY, MISSOURI 65802

CONSULTANTS:
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DESIGN COLLECTIVE
3100 SOUTH NATIONAL AVENUE,
SPRINGFIELD, MISSOURI 65807
MO CoPA NO. 2016007397

STRUCTURAL ENGINEER:
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MO CofA NO. 2011011004

CIVIL ENGINEER:
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2045 W. WOODLAND STREET,
SPRINGFIELD, MISSOURI 65807
MO CofA NO. 2006002904

MODIFICATIONS:

CONSTRUCTION DOCUMENTS



THIS SEAL IS FOR ARCHITECTURAL INFORMATION ONLY

Project No.	Drawn By	Date
BKD-1981	RS. II	08.20.2021

A1-7

FLOOR PLAN - SEVENTH LEVE

ROOM
NUMBER

101

1. SEE REFLECTED CEILING PLANS, FINISH FLOOR PLANS, SCHEDULES & SPECIFICATIONS FOR OTHER FINISH INFORMATION.
2. ALL CEILING HEIGHTS ARE PER REF. CEILING PLAN, UNLESS NOTED OTHERWISE.
3. REFER TO SHEET G1 - FOR ALL WALL PARTITION TYPES - TYPICAL FOR ALL FLOOR PLANS.
4. FLOOR PLAN NOTES APPLY TO ALL FLOOR PLANS. ENLARGED FLOOR PLANS AND DETAILS. TYPICAL. NOT ALL NOTATION MAY BE USED ON EACH FLOOR. SEE FLOOR PLAN KEYNOTES EACH PLAN/DRAWING FOR USE LOCATIONS.
5. DRAWINGS ARE NOT TO BE SCALED. DIMENSIONAL DATA SHALL BE OBTAINED FROM WRITTEN INFORMATION ONLY. VERIFY ALL DIMENSIONS BEFORE PROCEEDING, ANY DIMENSIONAL VARIATION FROM THAT SHOWN ON THE DRAWINGS, WHICH MAY AFFECT INTENT OF DESIGN OR PROPER INCORPORATION OF ELEMENTS, SHALL BE BROUGHT TO THE ARCHITECT'S ATTENTION PROMPTLY AND REGULATION OBTAINED BEFORE PROCEEDING.
6. ALL DIMENSIONS INDICATED IN CONSTRUCTION DOCUMENTS ARE FROM FACE OF STUDO TO FACE OF STUDO FOR INTERIOR PARTITIONS, FACE OF EXISTING STRUCTURE OR FINISH, FACE OF CONCRETE OR BLOCK, OR TO STRUCTURAL LINE, EXCEPT AS NOTED OTHERWISE. EXTERIOR DIMENSIONS ARE TO FACE OF BLOCK OR FACE OF EIFS. DIMENSIONS OF EXISTING STRUCTURE, ETC. ARE = AND SHOULD BE FIELD VERIFIED PRIOR TO COMMENCEMENT OF CONSTRUCTION. ALL WORK SHALL BE IN ACCORDANCE WITH ALL PREPARED NOTES. PROVIDE STUDO BLOCKING AS REQUIRED TO INSTALL EQUIPMENT, MILLWORK, ETC.
7. GENERAL CONTRACTOR SHALL COORDINATE ALL MECHANICAL, ELECT & PLUMBING WORK AND PROVIDE ALL NECESSARY CONSTRUCTION TO FACILITATE SAID WORK INCLUDING, BUT NOT LIMITED TO ROUGH OPENINGS, EQUIPMENT SUPPORTS, BACKING AND COORDINATION OF CONSTRUCTION DOCUMENTS.
8. PROVIDE GPB. BOARD CONTROL JOINTS IN USE GOOD DESIGN PRACTICES FOR DRYWALL STUD. FRAME SYSTEMS. JOINTS BE TO EQUAL TO USE ZINC CONTROL JOINT NO. 093.
9. INTERIOR WALLS AND CEILING FINISHES SHALL HAVE A FLAAME SPREAD RATING BETWEEN 25-75 AND A SMOKE DEVELOPED RATING BETWEEN 0.450 (CLASS B)
10. PROVIDE NECESSARY 2X FIR TREATED BLOCKING IN WALLS AS NEEDED FOR CASEWORK, EQUIPMENT ETC. ETC. COORD. W/ OWNERS REPRESENTATIVE FOR LOCATIONS PRIOR TO DRYWALL INSTALLATION.
11. ALL NEW HEADERS OVER DOORS OR OTHER OPENINGS SHALL BE PROVIDED WITH A DOUBLE 6" 18 GA. STEEL STUD JOINT BOY BEAM HEADER. TYP. UNLESS NOTED OTHERWISE. SEE STRUCTURAL DRAWING PLAN ALSO.



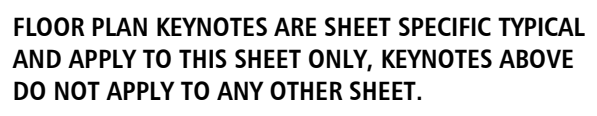
LOCATION:
430 SOUTH AVENUE
SPRINGFIELD, GREENE COUNTY, MISSOURI 65802

CONSULTANTS:
MECH/ELECTRICAL/PLUMBING ENGINEER:
BUXTON KUBIK DODD
DESIGN COLLECTIVE
3100 SOUTH NATIONAL AVENUE,
SPRINGFIELD, MISSOURI 65807
MO CofA NO. 2016007397

STRUCTURAL ENGINEER:
J & M ENGINEERING
3045 S. KANSAS EXPRESSWAY,
SPRINGFIELD, MISSOURI 65807
MO CofA NO. 2011011004

CIVIL ENGINEER:
ANDERSON ENGINEERING
2045 W. WOODLAND STREET,
SPRINGFIELD, MISSOURI 65807
MO CofA NO. 2006002904

MODIFICATIONS:



1	
A1-8	

SCALE: 3/16" = 1'-0"

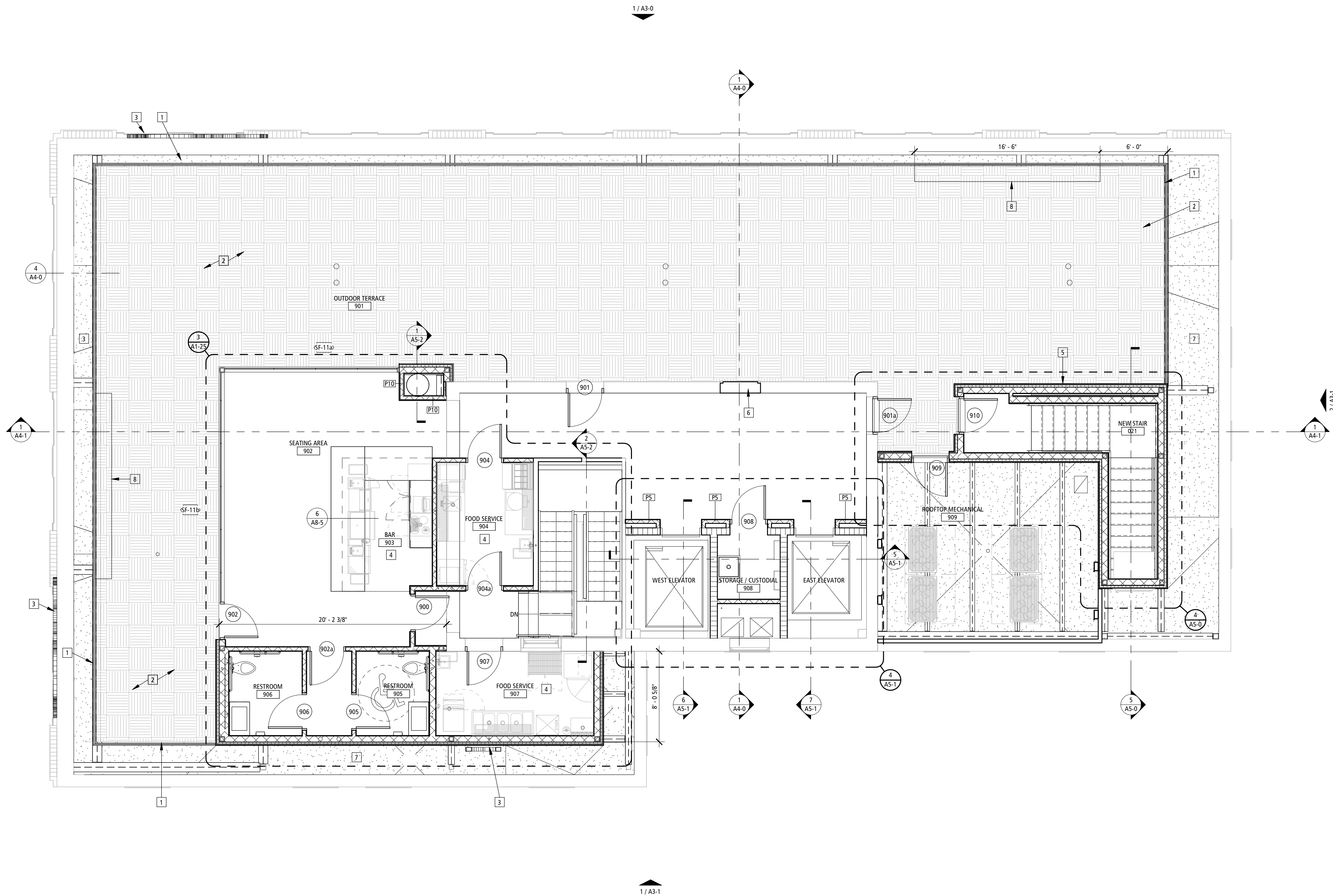


THIS SEAL IS FOR ARCHITECTURAL INFORMATION ONLY

Project No.	Drawn By	Date
BKD-1981	Author	08.20.202

A1-8

FLOOR PLAN - EIGHTH LEVEL



PENTHOUSE LEVEL - FLOOR PLAN

SCALE: 3/16" = 1'-0"



GENERAL FLOOR PLAN NOTES

- ROOM NAME
101
- ROOM NAME
ROOM NUMBER
- SEE REFLECTED CEILING PLANS, FINISH FLOOR PLANS, SCHEDULES & SPECIFICATIONS FOR OTHER FINISH INFORMATION.
 - ALL CEILING HEIGHTS ARE PER REF. CEILING PLAN, UNLESS NOTED OTHERWISE.
 - REFER TO SHEET G1-1 FOR ALL WALL PARTITION TYPES - TYPICAL FOR ALL FLOOR PLANS.
 - FLOOR PLAN NOTES APPLY TO ALL FLOOR PLANS ENLARGED FLOOR PLANS AND DETAILS, TYPICAL. NOT ALL NOTATION MAY BE USED ON EACH FLOOR - SEE FLOOR PLAN KEYNOTES EACH PLAN/DETAIL FOR USE LOCATIONS.
 - DRAWINGS ARE NOT TO BE SCALED. DIMENSIONAL DATA SHALL BE OBTAINED FROM WRITTEN INFORMATION ONLY. VERIFY ALL DIMENSIONS BEFORE PROCEEDING, ANY DIMENSIONAL DEVIATION FROM THAT SHOWN ON THE DRAWINGS, WHICH MAY AFFECT INTENT OF DESIGN OR PROPER INCORPORATION OF ELEMENTS, SHALL BE BROUGHT TO THE ARCHITECTS ATTENTION PROMPTLY AND RESOLUTION OBTAINED BEFORE PROCEEDING.
 - ALL DIMENSIONS INDICATED IN CONTRACT DOCUMENTS ARE FROM FACE OF STUD TO FACE OF STUD FOR INTERIOR PARTITIONS, FACE OF EXISTING STRUCTURE OR FINISH, FACE OF CONCRETE OR BLOCK, OR TO STRUCTURAL LINE, EXCEPT AS NOTED OTHERWISE. EXTERIOR DIMENSIONS ARE TO FACE OF BRICK OR FACE OF EIFS. DIMENSIONS OF EXISTING STRUCTURE, ETC. ARE - AND SHOULD BE FIELD VERIFIED PRIOR TO COMMENCEMENT OF WORK AND ARCHITECT NOTIFIED OF ANY DISCREPANCIES. PROVIDE SOLID BLOCKING AS REQUIRED TO INSTALL EQUIPMENT, MILLWORK, ETC.
 - GENERAL CONTRACTOR SHALL COORDINATE ALL MECHANICAL, ELECT. & PLUMBING WORK AND PROVIDE ALL NECESSARY CONSTRUCTION TO FACILITATE SAID WORK INCLUDING, BUT NOT LIMITED TO ROUGH OPENINGS, EQUIPMENT SUPPORTS, BACKING AND COORDINATION OF CONTRACT DOCUMENTS.
 - PROVIDE GYP. BOARD CONTROL JOINTS PER USG GOOD DESIGN PRACTICES FOR DRYWALL STEEL FRAMED SYSTEMS. JOINTS TO BE EQUAL TO USG ZINC CONTROL JOINT NO. 093.
 - INTERIOR WALL AND CEILING FINISHES SHALL HAVE A FLAME SPREAD RATING BETWEEN 26-75 AND A SMOKE DEVELOPED RATING BETWEEN 0-450 (CLASS B)
 - PROVIDE NECESSARY 2X FIRE TREATED BLOCKING IN WALLS AS NEEDED FOR CASEWORK, OWNER EQUIPMENT, ETC.. COORD. W/ OWNERS REPRESENTATIVE FOR LOCATIONS PRIOR TO DRYWALL INSTALLATION.
 - ALL NEW HEADERS OVER NEW DOORS OR OTHER OPENINGS SHALL BE PROVIDED WITH A DOUBLE 6" 18 GA. STEEL STUD BOX BEAM HEADER, TYP. UNLESS NOTED OTHERWISE. SEE STRUCTURAL FRAMING PLANS ALSO.

FLOOR PLAN KEYNOTES

- CONT. EXTERIOR GLASS GUARD RAIL SYSTEM, ANCHOR RAIL PER MANUF INSTALLATION REQUIREMENTS - SEE SPECIFICATIONS
- ROOF PAVER SYSTEMS SEE SPECIFICATIONS AND DETAILS
- OWNER PROVIDED SIGNAGE - COORDINATE ELECTRICAL PROVISIONS FOR SIGNAGE; SHOWN FOR COORDINATION PURPOSES ONLY
- FOOD SERVICE EQUIPMENT LAYOUT BY OWNERS VENDOR
- LINE WALL PLANTER SYSTEM WITH IRRIGATION INSTALLED ALONG THE FULL LENGTH OF THIS WALL; LIVE WALL HEIGHT TO BE 8'-4"; REFERENCE WWW.LIVEWALL.COM FOR MORE INFORMATION
- REMOVE EXISTING WINDOW AND INFILL WITH BRICK TO MATCH EXISTING ADJACENT
- 60 MIL TPO ROOF SYSTEM OVER 1/2" COVER BOARD OVER, MIN. 4" AT DRAINS, R-30 AVERAGE 10:12 TAPERED POLYISO INSULATION; SEE SPECIFICATION
- 18" DEEP DRINK RAIL ACCESSORY; TO ATTACH DIRECTLY TO GLASS PANELS UTILIZING RAILING MANUFACTURER'S RECOMMENDED INSTALLATION AND COMPONENTS

FLOOR PLAN KEYNOTES ARE SHEET SPECIFIC TYPICAL AND APPLY TO THIS SHEET ONLY. KEYNOTES ABOVE DO NOT APPLY TO ANY OTHER SHEET.



BUXTON KUBIK DODD
DESIGN COLLECTIVE

3100 S. NATIONAL AVENUE, SUITE 300
SPRINGFIELD, MO 65807
PHONE: 417.890.5543 FAX: 417.890.5563
MISSOURI CERTIFICATE OF AUTHORITY NO. A-2006007284

PROJECT:
RENOVATION FOR:
**MEDICAL ARTS
BUILDING**



LOCATION:
430 SOUTH AVENUE
SPRINGFIELD, GREENE COUNTY, MISSOURI 65802

CONSULTANTS:
MECHANICAL/PLUMBING ENGINEER:
**BUXTON KUBIK DODD
DESIGN COLLECTIVE**
3100 SOUTH NATIONAL AVENUE,
SPRINGFIELD, MISSOURI 65807
MO CoA NO. 2016007397

STRUCTURAL ENGINEER:
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3045 S. KANSAS EXPRESSWAY,
SPRINGFIELD, MISSOURI 65807
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CIVIL ENGINEER:
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2045 W. WOODLAND STREET,
SPRINGFIELD, MISSOURI 65807
MO CoA NO. 2006002904

MODIFICATIONS:

CONSTRUCTION DOCUMENTS



BRIAN K. KUBIK, ARCHITECT
MO # A-2003019819

THIS SEAL IS FOR ARCHITECTURAL INFORMATION ONLY

Project No. BKD-1981 Drawn By RS, JL Date 08.20.2021

A1-9

FLOOR PLAN - PENTHOUSE LEVEL



moxy
HOTELS
AT

THE MEDICAL ARTS BUILDING

HISTORIC REMODEL

O'Reilly
Hospitality Management, LLC


BUXTON KUBIK DODD
DESIGN COLLECTIVE

Abatement	Year 1 2024		Year 2 2025		Year 3 2026		Year 4 2027		Year 5 2028		Year 6 2029		Year 7 2030		Year 8 2031		Year 9 2032		Year 10 2033	
# Rooms	98		98		98		98		98		98		98		98		98		98	
Rooms Available	35,770		35,770		35,770		35,770		35,770		35,770		35,770		35,770		35,770		35,770	
Rooms Occupied	23,251		24,878		26,122		26,906		27,444		27,993		28,552		28,552		28,552		28,552	
REVPAR	\$87.75		\$98.59		\$106.62		\$111.47		\$115.40		\$119.48		\$123.69		\$125.55		\$127.43		\$129.34	
Occupancy	65.00%		69.55%		73.03%		75.22%		76.72%		78.26%		79.82%		79.82%		79.82%		79.82%	
Average Room Rate	\$135.00		\$141.75		\$146.00		\$148.19		\$150.42		\$152.67		\$154.96		\$157.29		\$159.65		\$162.04	
Gross Revenue	4,481,594		4,940,991		5,276,145		5,494,533		5,654,189		5,819,128		5,989,533		6,073,979		6,159,668		6,246,618	
Rooms Department																				
Rooms Revenue	3,138,818	100.0%	3,526,461	100.0%	3,813,868	100.0%	3,987,208	100.0%	4,127,957	100.0%	4,273,674	100.0%	4,424,534	100.0%	4,490,902	100.0%	4,558,266	100.0%	4,626,640	100.0%
Labor Cost	439,434	14.0%	476,072	13.5%	514,872	13.5%	538,273	13.5%	557,274	13.5%	576,946	13.5%	597,312	13.5%	606,272	13.5%	615,366	13.5%	624,596	13.5%
Other Cost	251,105	8.0%	282,117	8.0%	305,109	8.0%	318,977	8.0%	330,237	8.0%	341,894	8.0%	353,963	8.0%	359,272	8.0%	364,661	8.0%	370,131	8.0%
Rooms Other Income	62,776	2.0%	70,529	2.0%	76,277	2.0%	79,744	2.0%	82,559	2.0%	85,473	2.0%	88,491	2.0%	89,818	2.0%	91,165	2.0%	92,533	2.0%
Other Expense	22,088	0.7%	23,634	0.7%	24,816	0.7%	25,560	0.6%	26,072	0.6%	26,593	0.6%	27,125	0.6%	27,125	0.6%	27,125	0.6%	27,125	0.6%
Rooms Profit	2,488,966	79.3%	2,815,167	79.8%	3,045,348	79.8%	3,184,142	79.9%	3,296,934	79.9%	3,413,714	79.9%	3,534,625	79.9%	3,588,052	79.9%	3,642,279	79.9%	3,697,320	79.9%
Telephone Department																				
Revenue	0	0.0%	0	0.0%	0	0.0%	0	0.0%	0	0.0%	0	0.0%	0	0.0%	0	0.0%	0	0.0%	0	0.0%
Cost	22,000	0.7%	22,110	0.6%	22,221	0.6%	22,332	0.6%	22,443	0.5%	22,556	0.5%	22,668	0.5%	22,782	0.5%	22,896	0.5%	23,010	0.5%
Telephone Profit	(22,000)	-0.7%	(22,110)	-0.6%	(22,221)	-0.6%	(22,332)	-0.6%	(22,443)	-0.5%	(22,556)	-0.5%	(22,668)	-0.5%	(22,782)	-0.5%	(22,896)	-0.5%	(23,010)	-0.5%
Food Department																				
Food Revenue	800,000	100.0%	840,000	100.0%	865,200	100.0%	891,156	100.0%	900,068	100.0%	909,068	100.0%	918,159	100.0%	927,341	100.0%	936,614	100.0%	945,980	100.0%
Food Cost	240,000	30.0%	235,200	28.0%	233,604	27.0%	240,612	27.0%	243,018	27.0%	245,448	27.0%	247,903	27.0%	250,382	27.0%	252,886	27.0%	255,415	27.0%
Labor Cost	464,000	58.0%	470,400	56.0%	484,512	56.0%	499,047	56.0%	504,038	56.0%	509,078	56.0%	514,169	56.0%	519,311	56.0%	524,504	56.0%	529,749	56.0%
Other Cost	120,000	15.0%	92,400	11.0%	95,172	11.0%	98,027	11.0%	99,007	11.0%	99,998	11.0%	100,997	11.0%	102,007	11.0%	103,028	11.0%	104,058	11.0%
Other Income	80,000	10.0%	84,000	10.0%	88,200	10.2%	90,846	10.2%	93,571	10.4%	96,379	10.6%	99,270	10.8%	102,248	11.0%	105,315	11.2%	108,475	11.5%
Food Profit	56,000	7.0%	126,000	15.0%	140,112	16.2%	144,315	16.2%	147,575	16.4%	150,923	16.6%	154,359	16.8%	157,888	17.0%	161,512	17.2%	165,234	17.5%
Beverage Department																				
Beverage Revenue	400,000	100.0%	420,000	100.0%	432,600	100.0%	445,578	100.0%	450,034	100.0%	454,534	100.0%	459,079	100.0%	463,670	100.0%	468,307	100.0%	472,990	100.0%
Beverage Cost	104,000	26.0%	96,600	23.0%	99,498	23.0%	102,483	23.0%	103,508	23.0%	104,543	23.0%	105,588	23.0%	106,644	23.0%	107,711	23.0%	108,788	23.0%
Labor Cost	60,000	15.0%	54,600	13.0%	56,238	13.0%	57,925	13.0%	58,504	13.0%	59,089	13.0%	59,680	13.0%	60,277	13.0%	60,880	13.0%	61,489	13.0%
Other Cost	8,000	2.0%	8,400	2.0%	8,652	2.0%	8,912	2.0%	9,001	2.0%	9,091	2.0%	9,182	2.0%	9,273	2.0%	9,366	2.0%	9,460	2.0%
Beverage Profit	228,000	57.0%	260,400	62.0%	268,212	62.0%	276,258	62.0%	279,021	62.0%	281,811	62.0%	284,629	62.0%	287,476	62.0%	290,350	62.0%	293,254	62.0%
Gross Operating Profit	2,750,966	61.4%	3,179,457	64.3%	3,431,451	65.0%	3,582,384	65.2%	3,701,087	65.5%	3,823,893	65.7%	3,950,946	66.0%	4,010,634	66.0%	4,071,246	66.1%	4,132,798	66.2%
General & Undistributed																				
Admin & General	358,528	8.0%	395,279	8.0%	422,092	8.0%	439,563	8.0%	452,335	8.0%	465,530	8.0%	479,163	8.0%	485,918	8.0%	492,773	8.0%	499,729	8.0%
Franchise Fee	109,859	3.5%	123,426	3.5%	171,624	4.5%	219,296	5.5%	227,038	5.5%	235,052	5.5%	243,349	5.5%	247,000	5.5%	250,705	5.5%	254,465	5.5%
Management Fee	179,264	4.0%	197,640	4.0%	211,046	4.0%	219,781	4.0%	226,168	4.0%	232,765	4.0%	239,581	4.0%	242,959	4.0%	246,387	4.0%	249,865	4.0%
Marketing	212,918	4.8%	236,391	4.8%	253,631	4.8%	264,516	4.8%	272,825	4.8%	281,416	4.8%	290,299	4.8%	294,492	4.8%	298,747	4.9%	303,065	4.9%
Heat, Light & Power	179,264	4.0%	197,640	4.0%	211,046	4.0%	219,781	4.0%	225,276	4.0%	230,908	4.0%	236,680	4.0%	242,597	4.0%	248,662	4.0%	254,879	4.0%
Repairs & Maintenance	179,264	4.0%	197,640	4.0%	211,046	4.0%	219,781	4.0%	226,168	4.0%	232,765	4.0%	239,581	4.0%	242,959	4.0%	246,387	4.0%	249,865	4.0%
Total General & Undistributed	1,219,096	27.2%	1,348,016	27.3%	1,480,484	28.1%	1,582,719	28.8%	1,629,808	28.8%	1,678,436	28.8%	1,728,655	28.9%	1,755,926	28.9%	1,783,660	29.0%	1,811,867	29.0%
House Profit	1,531,870	34.2%	1,831,442	37.1%	1,950,967	37.0%	1,999,665	36.4%	2,071,279	36.6%	2,145,457	36.9%	2,222,291	37.1%	2,254,708	37.1%	2,287,586	37.1%	2,320,930	37.2%
Other Expenses																				
Property Taxes	464,020	10.4%	459,380	9.3%	454,786	8.6%	450,239	8.2%	445,736	7.9%	441,279	7.6%	436,866	7.3%	432,497	7.1%	428,172	7.0%	423,891	6.8%
FF&E Accrual	89,632	2.0%	98,820	2.0%	105,523	2.0%	109,891	2.0%	113,084	2.0%	116,383	2.0%	119,791	2.0%	121,480	2.0%	123,193	2.0%	124,932	2.0%
Insurance	75,000	1.7%	78,750	1.6%	82,688	1.6%	86,822	1.6%	91,163	1.6%	95,721	1.6%	100,507	1.7%	105,533	1.7%	110,809	1.8%	116,350	1.9%
Total Other	628,652	14.0%	636,950	12.9%	642,997	12.2%	646,951	11.8%	649,983	11.5%	653,383	11.2%	657,164	11.0%	659,510	10.9%	662,175	10.8%	665,173	10.6%
EBITDA	903,218	20.2%	1,194,492	24.2%	1,307,970	24.8%	1,352,714	24.6%	1,421,296	25.1%	1,492,074	25.6%	1,565,127	26.1%	1,595,199	26.3%	1,625,411	26.4%	1,655,758	26.5%
Interest & Depreciation																				
Interest	644,838	14.4%	631,097	12.8%	614,472	11.6%	740,545	13.5%	864,899	15.3%	838,424	14.4%	810,455	13.5%	780,909	12.9%	749,696	12.2%	716,723	11.5%
Depreciation/Amortization	1,067,954	23.8%	1,067,954	21.6%	1,067,954	20.2%	1,067,954	19.4%	1,067,954	18.9%	1,067,954	18.4%	877,209	14.6%	495,721	8.2%	495,721	8.0%	495,721	7.9%
Total Interest & Depreciation	1,712,792	38.2%	1,699,051	34.4%	1,682,426	31.9%	1,808,499	32.9%	1,932,853	34.2%	1,906,378	32.8%	1,687,664	28.2%	1,276,630	21.0%	1,245,417	20.2%	1,212,444	19.4%
Net Income (Loss)	(809,574)	-18.1%	(504,559)	-10.2%	(374,456)	-7.1%	(455,784)	-8.3%	(511,557)	-9.0%	(414,303)	-7.1%	(122,537)	-2.0%	318,569	5.2%	379,994	6.2%	443,314	7.1%
Add: Depreciation & Interest	1,712,792	38.2%	1,699,051	34.4%	1,682,426	31.9%	1,808,499	32.9%	1,932,853	34.2%	1,906,378	32.8%	1,687,664	28.2%	1,276,630	21.0%	1,245,417	20.2%	1,212,444	19.4%
Cash Available for Debt Service	903,218	20.2%	1,194,492	24.2%	1,307,970	24.8%	1,352,714	24.6%	1,421,296	25.1%	1,492,074	25.6%	1,565,127	26.1%	1,595,199	26.3%	1,625,411	26.4%	1,655,758	26.5%
Less: Debt Service	860,272	19.2%	1,074,056	21.7%	1,074,056	20.4%	1,204,152	21.9%	1,334,249	23.6%	1,334,249	22.9%	1,334,249	22.3%	1,334,249	22.0%	1,334,249	21.7%	1,334,249	21.4%
Cash Flow After Debt Svc	42,946	1.0%	120,436	2.4%	233,915	4.4%	148,562	2.7%	87,047	1.5%	157,825	2.7%	230,878	3.9%	260,950	4.3%	291,162	4.7%	321,509	5.1%
Debt Service Coverage Ratio	1.05		1.11		1.22		1.12		1.07		1.12		1.17		1.20		1.22		1.24	
ROI (Unleveraged)	3.3%		4.4%		4.8%		5.0%		5.2%		5.5%		5.8%		5.9%		6.0%		6.1%	
Cash on Cash Return	0.4%		1.2%		2.4%		1.5%		0.9%		1.6%		2.4%		2.7%		3.0%		3.3%	

Tax Abatement	Year 1 2024		Year 2 2025		Year 3 2026		Year 4 2027		Year 5 2028		Year 6 2029		Year 7 2030		Year 8 2031		Year 9 2032		Year 10 2033	
# Rooms	98		98		98		98		98		98		98		98		98		98	
Rooms Available	35,770		35,770		35,770		35,770		35,770		35,770		35,770		35,770		35,770		35,770	
Rooms Occupied	23,251		24,878		26,122		26,906		27,444		27,993		28,552		28,552		28,552		28,552	
REVPAR	\$87.75		\$98.59		\$106.62		\$111.47		\$115.40		\$119.48		\$123.69		\$125.55		\$127.43		\$129.34	
Occupancy	65.00%		69.55%		73.03%		75.22%		76.72%		78.26%		79.82%		79.82%		79.82%		79.82%	
Average Room Rate	\$135.00		\$141.75		\$146.00		\$148.19		\$150.42		\$152.67		\$154.96		\$157.29		\$159.65		\$162.04	
Gross Revenue	4,481,594		4,940,991		5,276,145		5,494,533		5,654,189		5,819,128		5,989,533		6,073,979		6,159,668		6,246,618	
Rooms Department																				
Rooms Revenue	3,138,818	100.0%	3,526,461	100.0%	3,813,868	100.0%	3,987,208	100.0%	4,127,957	100.0%	4,273,674	100.0%	4,424,534	100.0%	4,490,902	100.0%	4,558,266	100.0%	4,626,640	100.0%
Labor Cost	439,434	14.0%	476,072	13.5%	514,872	13.5%	538,273	13.5%	557,274	13.5%	576,946	13.5%	597,312	13.5%	606,272	13.5%	615,366	13.5%	624,596	13.5%
Other Cost	251,105	8.0%	282,117	8.0%	305,109	8.0%	318,977	8.0%	330,237	8.0%	341,894	8.0%	353,963	8.0%	359,272	8.0%	364,661	8.0%	370,131	8.0%
Rooms Other Income	62,776	2.0%	70,529	2.0%	76,277	2.0%	79,744	2.0%	82,559	2.0%	85,473	2.0%	88,491	2.0%	89,818	2.0%	91,165	2.0%	92,533	2.0%
Other Expense	22,088	0.7%	23,634	0.7%	24,816	0.7%	25,560	0.6%	26,072	0.6%	26,593	0.6%	27,125	0.6%	27,125	0.6%	27,125	0.6%	27,125	0.6%
Rooms Profit	2,488,966	79.3%	2,815,167	79.8%	3,045,348	79.8%	3,184,142	79.9%	3,296,934	79.9%	3,413,714	79.9%	3,534,625	79.9%	3,588,052	79.9%	3,642,279	79.9%	3,697,320	79.9%
Telephone Department																				
Revenue	0	0.0%	0	0.0%	0	0.0%	0	0.0%	0	0.0%	0	0.0%	0	0.0%	0	0.0%	0	0.0%	0	0.0%
Cost	22,000	0.7%	22,110	0.6%	22,221	0.6%	22,332	0.6%	22,443	0.5%	22,556	0.5%	22,668	0.5%	22,782	0.5%	22,896	0.5%	23,010	0.5%
Telephone Profit	(22,000)	-0.7%	(22,110)	-0.6%	(22,221)	-0.6%	(22,332)	-0.6%	(22,443)	-0.5%	(22,556)	-0.5%	(22,668)	-0.5%	(22,782)	-0.5%	(22,896)	-0.5%	(23,010)	-0.5%
Food Department																				
Food Revenue	800,000	100.0%	840,000	100.0%	865,200	100.0%	891,156	100.0%	900,068	100.0%	909,068	100.0%	918,159	100.0%	927,341	100.0%	936,614	100.0%	945,980	100.0%
Food Cost	240,000	30.0%	235,200	28.0%	233,604	27.0%	240,612	27.0%	243,018	27.0%	245,448	27.0%	247,903	27.0%	250,382	27.0%	252,886	27.0%	255,415	27.0%
Labor Cost	464,000	58.0%	470,400	56.0%	484,512	56.0%	499,047	56.0%	504,038	56.0%	509,078	56.0%	514,169	56.0%	519,311	56.0%	524,504	56.0%	529,749	56.0%
Other Cost	120,000	15.0%	92,400	11.0%	95,172	11.0%	98,027	11.0%	99,007	11.0%	99,998	11.0%	100,997	11.0%	102,007	11.0%	103,028	11.0%	104,058	11.0%
Other Income	80,000	10.0%	84,000	10.0%	88,200	10.2%	90,846	10.2%	93,571	10.4%	96,379	10.6%	99,270	10.8%	102,248	11.0%	105,315	11.2%	108,475	11.5%
Food Profit	56,000	7.0%	126,000	15.0%	140,112	16.2%	144,315	16.2%	147,575	16.4%	150,923	16.6%	154,359	16.8%	157,888	17.0%	161,512	17.2%	165,234	17.5%
Beverage Department																				
Beverage Revenue	400,000	100.0%	420,000	100.0%	432,600	100.0%	445,578	100.0%	450,034	100.0%	454,534	100.0%	459,079	100.0%	463,670	100.0%	468,307	100.0%	472,990	100.0%
Beverage Cost	104,000	26.0%	96,600	23.0%	99,498	23.0%	102,483	23.0%	103,508	23.0%	104,543	23.0%	105,588	23.0%	106,644	23.0%	107,711	23.0%	108,788	23.0%
Labor Cost	60,000	15.0%	54,600	13.0%	56,238	13.0%	57,925	13.0%	58,504	13.0%	59,089	13.0%	59,680	13.0%	60,277	13.0%	60,880	13.0%	61,489	13.0%
Other Cost	8,000	2.0%	8,400	2.0%	8,652	2.0%	8,912	2.0%	9,001	2.0%	9,091	2.0%	9,182	2.0%	9,273	2.0%	9,366	2.0%	9,460	2.0%
Beverage Profit	228,000	57.0%	260,400	62.0%	268,212	62.0%	276,258	62.0%	279,021	62.0%	281,811	62.0%	284,629	62.0%	287,476	62.0%	290,350	62.0%	293,254	62.0%
Gross Operating Profit	2,750,966	61.4%	3,179,457	64.3%	3,431,451	65.0%	3,582,384	65.2%	3,701,087	65.5%	3,823,893	65.7%	3,950,946	66.0%	4,010,634	66.0%	4,071,246	66.1%	4,132,798	66.2%
General & Undistributed																				
Admin & General	358,528	8.0%	395,279	8.0%	422,092	8.0%	439,563	8.0%	452,335	8.0%	465,530	8.0%	479,163	8.0%	485,918	8.0%	492,773	8.0%	499,729	8.0%
Franchise Fee	109,859	3.5%	123,426	3.5%	171,624	4.5%	219,296	5.5%	227,038	5.5%	235,052	5.5%	243,349	5.5%	247,000	5.5%	250,705	5.5%	254,465	5.5%
Management Fee	179,264	4.0%	197,640	4.0%	211,046	4.0%	219,781	4.0%	226,168	4.0%	232,765	4.0%	239,581	4.0%	242,959	4.0%	246,387	4.0%	249,865	4.0%
Marketing	212,918	4.8%	236,391	4.8%	253,631	4.8%	264,516	4.8%	272,825	4.8%	281,416	4.8%	290,299	4.8%	294,492	4.8%	298,747	4.9%	303,065	4.9%
Heat, Light & Power	179,264	4.0%	197,640	4.0%	211,046	4.0%	219,781	4.0%	225,276	4.0%	230,908	4.0%	236,680	4.0%	242,597	4.0%	248,662	4.0%	254,879	4.0%
Repairs & Maintenance	179,264	4.0%	197,640	4.0%	211,046	4.0%	219,781	4.0%	226,168	4.0%	232,765	4.0%	239,581	4.0%	242,959	4.0%	246,387	4.0%	249,865	4.0%
Total General & Undistributed	1,219,096	27.2%	1,348,016	27.3%	1,480,484	28.1%	1,582,719	28.8%	1,629,808	28.8%	1,678,436	28.8%	1,728,655	28.9%	1,755,926	28.9%	1,783,660	29.0%	1,811,867	29.0%
House Profit	1,531,870	34.2%	1,831,442	37.1%	1,950,967	37.0%	1,999,665	36.4%	2,071,279	36.6%	2,145,457	36.9%	2,222,291	37.1%	2,254,708	37.1%	2,287,586	37.1%	2,320,930	37.2%
Other Expenses																				
Property Taxes	75,000	1.7%	75,000	1.5%	75,000	1.4%	75,000	1.4%	75,000	1.3%	75,000	1.3%	75,000	1.3%	75,000	1.2%	75,000	1.2%	75,000	1.2%
FF&E Accrual	89,632	2.0%	98,820	2.0%	105,523	2.0%	109,891	2.0%	113,084	2.0%	116,383	2.0%	119,791	2.0%	121,480	2.0%	123,193	2.0%	124,932	2.0%
Insurance	75,000	1.7%	78,750	1.6%	82,688	1.6%	86,822	1.6%	91,163	1.6%	95,721	1.6%	100,507	1.7%	105,533	1.7%	110,809	1.8%	116,350	1.9%
Total Other	239,632	5.3%	252,570	5.1%	263,210	5.0%	271,713	4.9%	279,247	4.9%	287,104	4.9%	295,298	4.9%	302,012	5.0%	309,003	5.0%	316,282	5.1%
EBITDA	1,292,239	28.8%	1,578,872	32.0%	1,687,757	32.0%	1,727,953	31.4%	1,792,032	31.7%	1,858,353	31.9%	1,926,993	32.2%	1,952,696	32.1%	1,978,583	32.1%	2,004,648	32.1%
Interest & Depreciation																				
Interest	644,838	14.4%	631,097	12.8%	614,472	11.6%	740,545	13.5%	864,899	15.3%	838,424	14.4%	810,455	13.5%	780,909	12.9%	749,696	12.2%	716,723	11.5%
Depreciation/Amortization	1,067,954	23.8%	1,067,954	21.6%	1,067,954	20.2%	1,067,954	19.4%	1,067,954	18.9%	1,067,954	18.4%	877,209	14.6%	495,721	8.2%	495,721	8.0%	495,721	7.9%
Total Interest & Depreciation	1,712,792	38.2%	1,699,051	34.4%	1,682,426	31.9%	1,808,499	32.9%	1,932,853	34.2%	1,906,378	32.8%	1,687,664	28.2%	1,276,630	21.0%	1,245,417	20.2%	1,212,444	19.4%
Net Income (Loss)	(420,553)	-9.4%	(120,179)	-2.4%	5,330	0.1%	(80,546)	-1.5%	(140,821)	-2.5%	(48,025)	-0.8%	239,329	4.0%	676,066	11.1%	733,166	11.9%	792,204	12.7%
Add: Depreciation & Interest	1,712,792	38.2%	1,699,051	34.4%	1,682,426	31.9%	1,808,499	32.9%	1,932,853	34.2%	1,906,378	32.8%	1,687,664	28.2%	1,276,630	21.0%	1,245,417	20.2%	1,212,444	19.4%
Cash Available for Debt Service	1,292,239	28.8%	1,578,872	32.0%	1,687,757	32.0%	1,727,953	31.4%	1,792,032	31.7%	1,858,353	31.9%	1,926,993	32.2%	1,952,696	32.1%	1,978,583	32.1%	2,004,648	32.1%
Less: Debt Service	860,272	19.2%	1,074,056	21.7%	1,074,056	20.4%	1,204,152	21.9%	1,334,249	23.6%	1,334,249	22.9%	1,334,249	22.3%	1,334,249	22.0%	1,334,249	21.7%	1,334,249	21.4%
Cash Flow After Debt Svc	431,967	9.6%	504,816	10.2%	613,701	11.6%	523,801	9.5%	457,783	8.1%	524,104	9.0%	592,744	9.9%	618,447	10.2%	644,334	10.5%	670,399	10.7%
Debt Service Coverage Ratio	1.50		1.47		1.57		1.43		1.34		1.39		1.44		1.46		1.48		1.50	
ROI (Unleveraged)	4.8%		5.8%		6.2%		6.4%		6.6%		6.8%		7.1%		7.2%		7.3%		7.4%	
Cash on Cash Return	4.5%		5.2%		6.4%		5.4%		4.7%		5.4%		6.1%		6.4%		6.7%		6.9%	