



LANDMARKS BOARD

CITY OF SPRINGFIELD
P.O. BOX 8368
SPRINGFIELD, MISSOURI 65801
417-864-1031

City of Springfield

INTEROFFICE MEMORANDUM

DATE: November 25, 2014

RE: Landmarks Board Meeting

Please find attached the agenda for the Landmarks Board meeting on **December 3, 2014**.
No tour is being offered.

Daniel Neal
Senior Planner

Landmarks Board

City of Springfield - Historic City Hall - Council Chambers
830 Boonville Avenue

December 3, 2014

5:30 p.m.



Laurel Bryant
Real Estate Representative
Chair

David Eslick
Historian Representative

Ann Bayliff
At-Large Representative

Len Eagleburger
At-Large Representative

Gary Bishop
Walnut Street Representative
Vice-Chair

David Brown
Mid-Town Representative

Joel Thomas
Architect Representative

Nancy Crandall
At-Large Representative
Vice-Chair

- I Roll Call**
- II Minutes**
 - A. November 5, 2014**
- III Unfinished Business**
 - A. Certificate of Appropriateness**
 - B. Certified Local Government Review**
 - C. Pre-Application Review**
- IV New Business**
 - A. Certificates of Appropriateness**
 - 1. 614 South Avenue: Install a new monument sign**
 - B. Certified Local Government Review**
 - C. Pre-Application Review**
- V Communications**
- VI Reports**
 - A. Report on committees**
 - 1. Application**
 - 2. Demolition**
 - 3. Historic Sites and Districts**
 - a. Mid-Century Modern – Potential Historic Structures**
 - b. Ozarks Rock Structures Survey**
 - 4. Communications**
 - 5. Awards and Recognition**
 - 6. Design Guidelines**
 - B. Administrative approval of C of A's**
- VII Any other matters that fall under the jurisdiction of the Board**
 - 1. Timmons Temple Courtesy Review of Relocation and Rehabilitation**
- VIII Adjournment**

Note: In accordance with ADA guidelines, if you need special accommodations when attending any City meeting, please notify the City Clerk's office at 864-1443 at least 3 days prior to the scheduled meeting.

MINUTES OF THE LANDMARKS BOARD

DATE: November 5, 2014

TIME: 5:30 pm

The regular meeting and public hearing of the Landmarks Board was held on the above date and time in City Council Chambers, third floor of Historic City Hall with the following members and City of Springfield staff in attendance: Laurel Bryant (Chair), Gary Bishop (Vice-chair), David Eslick, Ann Bayliff, Len Eagleburger, David Brown, Joel Thomas, and Nancy Crandall; Daniel Neal, Senior Planner; Duke McDonald, Assistant City Attorney; Sandy Goddard, Administrative Assistant. Absent:

ROLL CALL:

APPROVAL OF MINUTES: The minutes of October 1, 2014 were approved unanimously.

NEW BUSINESS:

COMMUNICATIONS:

REPORTS:

Ms. Bryant remarked she has been in contact with Ms. Stegall regarding the nomination of Trinity Luthern adding the application is almost complete.

Mr. Eslick gave an update on the Timmons Temple project.

Mr. Neal discussed Section 106 reviews of the Telecommunications equipment shelters, asking the Board to what extent they wish to review the requests.

The Board said if the request for the shelters are in or near the historic district they would want to review the information.

B. Administrative approval of C of A's

1. 420 West Commercial: review a previously approved C of A and new sign.

Mr. Neal commented there is a new owner for the property; they will be putting in a new business adhering to the 2010 requirements and adding a new sign.

Any other matters that fall under the jurisdiction of the Board.

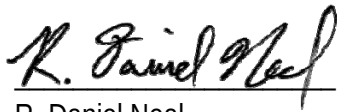
1. 2015 Vice-Chair Nominations.

Mr. Neal stated that Mr. Bishop and Ms. Crandall were nominated as Vice-chair and asked for a vote. The vote was four (4) votes cast for Mr. Bishop and four (4) votes cast for Ms. Crandall.

Mr. Eslick motioned for Mr. Bishop and Ms. Crandall to serve as Co-Vice-Chair together. Ms. Bayliff **seconded** the motion. The motion **carried** as follows: Ayes: Bryant, Eslick, Bayliff, Eagleburger, Bishop, Brown, Thomas, and Crandall. Nays: None. Abstain: None. Absent: None.

Mr. Neal stated that he is in the process of preparing the CLG report and asked Board members to submit their resumes to him.

There being no further business, the meeting was adjourned at approximately 6:15 pm.

A handwritten signature in black ink, reading "R. Daniel Neal", written over a horizontal line.

R. Daniel Neal



LANDMARKS BOARD

CITY OF SPRINGFIELD
P.O. BOX 8368
SPRINGFIELD, MISSOURI 65801
417-864-1031

STAFF REPORT

HISTORIC SITE

DATE: November 25, 2014

PROPOSAL:

1. Install a new monument sign along South Avenue for Ozarks Counseling Center.

BACKGROUND:

LOCATION: 614 South Avenue

HISTORIC DESIGNATION: Historic site – Day House

APPLICANT: Ozarks Counseling Center c/o Andrea Bishop

RECOMMENDATION:

Staff recommends **approval** of this request.

FINDINGS:

1. The National Park Services (NPS) Preservation Brief #25 states that new signs should respect the size, scale and design of the historic building.
2. NPS Preservation Brief #25 also states that sign materials should be compatible with those of the historic building. Materials characteristic of the building's period and style, used in contemporary designs, can form effective new signs.
3. The proposed sign is detached from the principal structure and is considered a

removable feature.

PROJECT COORDINATOR:

Daniel Neal
Senior Planner
864-1036

ATTACHMENT A
BACKGROUND REPORT
Historic Site
614 South Avenue

APPLICANT'S PROPOSAL:

The applicant is requesting to install a new monument sign along South Avenue for Ozarks Counseling Center. Sign is designed to complement the historical nature of the property and enhance the architectural design of the property using the stone/masonry base as similar to the foundation on the property and the red brick accents along the top of the sign to also match and compliment the brick of the home property. The face of the sign is not acrylic or polycarbonate, but is aluminum to provide a more historic impression. The cast aluminum plaque will identify the historic nature of the property while maintaining an "older" look to the sign

PRESERVATION BRIEF #25 (<http://www.nps.gov/history/hps/tps/briefs/brief25.htm>):

New Signs and Historic Buildings

Preserving old signs is one thing. Making new ones is another. Closely related to the preservation of historic signs on historic buildings is the subject of new signs for historic buildings. Determining what new signs are appropriate for historic buildings, however, involves a major paradox: Historic sign practices were not always "sympathetic" to buildings. They were often unsympathetic to the building, or frankly contemptuous of it. Repeating some historic practices, therefore, would definitely not be recommended.

Yet many efforts to control signage lead to bland sameness. For this reason the National Park Service discourages the adoption of local guidelines that are too restrictive, and that effectively dictate uniform signs within commercial districts. Instead, it encourages communities to promote diversity in signs--their sizes, types, colors, lighting, lettering and other qualities. It also encourages business owners to choose signs that reflect their own tastes, values, and personalities. At the same time, tenant sign practices can be stricter than sign ordinances. The National Park Service therefore encourages businesses to fit their sign programs to the building.

The following points should be considered when designing and constructing new signs for historic buildings:

- signs should be viewed as part of an overall graphics system for the building. They do not have to do all the "work" by themselves. The building's form, name and outstanding features, both decorative and functional, also support the advertising function of a sign. Signs should work with the building, rather than against it.
- new signs should respect the size, scale and design of the historic building. Often features or details of the building will suggest a motif for new signs.

- sign placement is important: new signs should not obscure significant features of the historic building. (Signs above a storefront should fit within the historic signboard, for example.)
- new signs should also respect neighboring buildings. They should not shadow or overpower adjacent structures.
- sign materials should be compatible with those of the historic building. Materials characteristic of the building's period and style, used in contemporary designs, can form effective new signs.
- new signs should be attached to the building carefully, both to prevent damage to historic fabric, and to ensure the safety of pedestrians. Fittings should penetrate mortar joints rather than brick, for example, and signloads should be properly calculated and distributed.

STAFF COMMENTS:

1. All proposed work is required to receive a building permit to be issued by Building Development Services. All other requirements of the Zoning Ordinance and Building Code shall apply.

ATTACHMENT B
PERTINENT DESIGN GUIDELINES
Historic Site
614 South Avenue

ZONING ORDINANCE

No design guidelines have been established by ordinance for historic sites. The Board has the authority to approve or disapprove the proposed application. A building permit will be issued to the applicant, even if the Board denies the application, sixty (60) days from the date of the application for the building permit.

SECRETARY OF THE INTERIOR'S STANDARDS

The following standards would apply to this proposed construction:

2. The historic character of a property shall be retained and preserved. The removal of historic materials or alterations of features and spaces that characterize a property shall be avoided.
4. Most properties change over time; those changes that have acquired historic significance in their own right shall be retained and preserved.
5. Distinctive features, finishes, and construction techniques or examples of craftsmanship that characterize a property shall be preserved.
2. New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.

ATTACHMENT C
ARCHITECTURAL SIGNIFICANCE
614 South Avenue

ARCHITECTURAL SIGNIFICANCE:

1. The Day House is one of the oldest remaining houses in Springfield and one of the few remaining examples of immediate post-Civil War residential construction. The house was the home of a prominent Springfield family. The Day House is also significant because it was constructed from locally manufactured and kilned bricks and is one of the few brick houses that were constructed in Springfield (more details can be found in the Day House Landmark Nomination).



Application for Certificate of Appropriateness

E-PLANS INSTRUCTIONS

PLEASE FOLLOW STEPS 1 & 2 BEFORE SUBMITTING THIS APPLICATION

1. Pre-apply and, if needed, pay your processing fees online at this [LINK](#)
2. Wait for a "pre-screen complete" e-mail from the City of Springfield with instructions for e-plans review process.
3. Complete this application and upload a digital (pdf) copy through e-plans.

Office Use Only

Date Filed:

Received By:

Review:

- ☐ Administrative
☐ Landmarks Board

The applicant seeks to show the following:

1. That the proposed work will be done in conformance with the Secretary of Interior Standards for Rehabilitation.
2. That the proposed work will be done in conformance with any applicable design guidelines or standards that the Landmarks Board has established and adopted. (Commercial Street and Walnut Street Districts and Mid-Town Neighborhood historic sites only)
3. That the proposed work will be done in conformance with all other relevant requirements of the Springfield Zoning Ordinance.

THEREFORE, applicant requests that the Certificate of Appropriateness be approved for the property as proposed in this submittal.

We, the signers of this application, do attest to the truth and correctness of all facts and information presented with this application and understand that, if approved, all work must be done under a building permit issued by the Department of Building Development Services. Approval of this application does not constitute approval of a building permit, nor does it certify that the zoning is appropriate for the proposed uses. These are separate processes that must be initiated by the applicants. We further understand that approval of this application does not constitute approval for tax certification under the Tax Reform Act of 1986 or amendments thereto.

Signature(s):

Tim Harris

Digitally signed by Tim Harris
DN: cn=Tim Harris, o=Pinnacle Sign Group, ou,
email=permitting@psgsign.com, c=US
Date: 2014.11.17 15:05:20 -0600

Andrea Bishop

Date:

11/17/2014

11/17/14

Please type or print name(s) clearly:

Tim Harris, Pinnacle Sign Group, Inc.

Andrea Bishop, Ozarks Counseling Center

Exhibit A: REQUEST FOR CERTIFICATE OF APPROPRIATENESS

Please use this form only. Form may be photocopied. Please type or print.

For instructions, see pages 5-8

1. Property address: _____

APPLICANT INFORMATION:

2. Name of current property owner: _____

If corporation: Corporate Official: _____

Mailing Address: _____

Zip Code: _____ Telephone: _____ Fax: _____

E-mail: _____

3. AUTHORIZED REPRESENTATIVE:

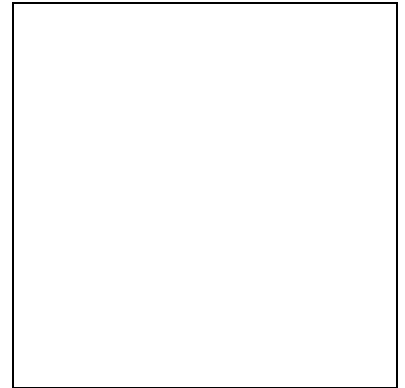
(The representative should have the authority to commit the applicant to changes that may be suggested by the Board):

Name: _____

Signature: _____

Mailing Address: _____ Zip Code: _____ Fax: _____

Telephone: _____ E-mail: _____



(Corporate Seal)

4. BUILDING DEVELOPMENT SERVICES DISCUSSION: *(Before submitting this application, the applicant should discuss the project with BDS. Their phone number is 417-864-1055.)*

Date of discussion: _____

NOTE: The property owner must either sign this application or give City staff a power of attorney showing that another person is authorized to sign.

Exhibit B: DESCRIPTION OF PROPOSED WORK & SUPPORTING INFORMATION

Please use this form only. Form may be photocopied. Please type or print.

1. **TYPE OF WORK PROPOSED:** (Check all that apply. All work items require a written description of the proposed work. Additional required supporting information is denoted after each item and **must** be attached. See Instructions, page 5. **Maximum size for drawings: 11 x 17 inches.** NOTE: Even though you check the "Other" or the "New Construction" box, you must still give information on individual features such as windows, doors, etc., included in a large project.)

- | | | |
|---|--|---|
| ☐ Addition (1,2, 3, 7) | ☐ Handicapped Ramp (1, 2, 3) | ☐ Sidewalk (1, 3) |
| ☐ Awnings (2, 3, 4 or 5, 6) | ☐ New Construction (1, 2, 3, 7) | ☐ Siding (3, 4 or 5) |
| ☐ Building Relocation (1, 2, 3, 7) | ☐ Parking (1, 3) | ☐ Sign (1, 2, 3, 6) |
| ☐ Demolition (1, 2, 3, 7) | ☐ Porch (1, 2, 3) | ☐ Window (2, 3, 4 or 5, 6) |
| ☐ Door (2, 3, 4 or 5, 6) | ☐ Retaining Wall (1, 2, 3) | ☐ Archeological Site (1, 3, 8) |
| ☐ Fence (1, 2, 3, 5) | ☐ Roof-New (3, 4 or 5, 7) | |
| ☐ Guttering (2, 3, 4 or 5, 6) | ☐ Re-roof (3, 4) | |

☐ Other (specify): _____

- | | |
|------------------------------------|--|
| 1 – Site Plans | 5 – Product literature |
| 2 – Elevations | 6 – Drawings |
| 3 – Photographs | 7 – Exhibit C – Why proposed work should be approved |
| 4 – Sample of materials to be used | 8 – State historic Preservation Officer Comments |

2. **DESCRIPTION OF PROPOSED WORK:** (attach additional pages if necessary)

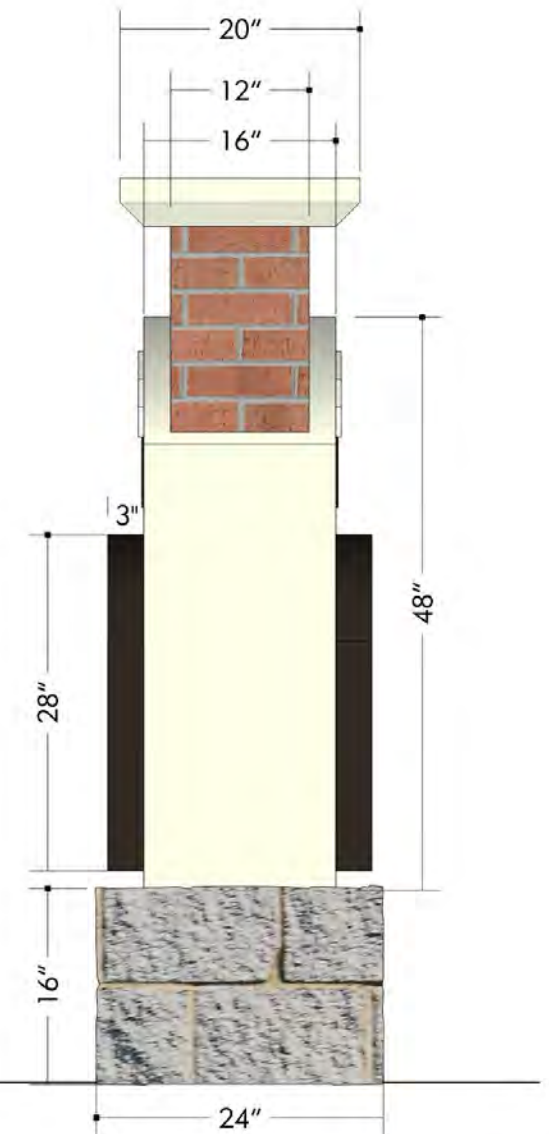
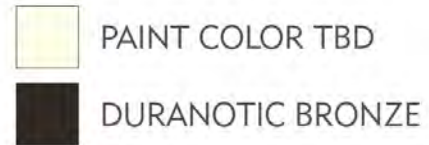
NOTE: An application is considered incomplete until **all** supporting materials, as specified in Item 1 above, are attached. Incomplete applications will **not** be processed or scheduled for a public hearing.

Exhibit C: WHY PROPOSED WORK SHOULD BE APPROVED

Please use this form only. Form may be photocopied. Please type or print.

When proposing a major project, please use this page to give information in support of your request. (See Exhibit B, item 1, above: "Type of Work Proposed," key # 7. Suggested items of discussion are included in the Instructions, page 7.)

- (A) BLOCK BASE TO MATCH BUILDING FOUNDATION
- (B) BRICK BACKER TO MATCH BUILDING ARCHITECTURE
- (C) 3" DEEP INTERNALLY ILLUMINATED CABINET - REVERSE CUT ALUMINUM BACKED w/ ACRYLIC
- (D) ALUMINUM CABINET TO HOUSE BRICK BASE - HALO ILLUMINATION ONTO BRICK
-1" THICK PUSH THROUGH ACRYLIC LETTERING w/ BRONZE OVERLAY
- (D) CAST ALUMINUM PLAQUE - PAINTED TO MATCH CABINET FEATURES



Night View





Sign Dimensions:
84" wide x 75"
height. 24" end
view width.

10' from south edge of
existing access walk

10.58 in

3.71 in

35' from center-line of
right-of-way of South Ave.

Proposed Sign
Location: 35.5 ft.
from centerline of
right-of way of
South Ave, and 10'
south of access
sidewalk to front of
property.

614 South Ave, Springfield, MO 65806, USA

Google earth









Ozark
Counseling
Center



Jeremiah W. (Jay) Nixon, Governor • Sara Parker Pauley, Director

DEPARTMENT OF NATURAL RESOURCES

www.dnr.mo.gov

August 24, 2014

City of Springfield Landmarks Board
840 Boonville Avenue
Springfield, MO 65801-8368

Dear Landmark Board Members:

This letter is a letter of support from the State of Missouri Historic Preservation Office (SHPO) to relocate Timmons Temple, a rare and important African-American church in Springfield, located at 934 E. Webster. We believe this structure to be culturally, historically and architecturally significant for Springfield and its surrounding communities.

In 1989, Timmons Temple was listed as part of the Missouri Historic Architectural inventory for Division of Parks and Historic Preservation Department of Natural Resources. At that time, it was cited as eligible for the national and local register listings. We urge the City of Springfield Landmarks Board to encourage your city leaders to lend support and help raise awareness for the relocation effort to save this structure. The church is currently in the face of pending demolition for apartment development, and the citizen volunteers are joining together to raise the private funds necessary to relocate the structure to nearby Silver Springs Park for a new life, with the help of the Community Foundation of the Ozarks. The Midtown Urban Conservation District and the Mid-Town National Historic District are currently adjacent to this structure.

We believe this structure is important to the Springfield community and the state of Missouri because of its African-American cultural history. The State of Missouri Historic Preservation Office, and we know that Missouri Preservation both support this citizen effort to relocate this structure. We encourage you to assist in all ways possible to make this effort a successful one.

Sincerely,

Mark A. Miles
Director and Deputy
State Historic Preservation Officer
State Historic Preservation Office
P.O. Box 176
Jefferson City, MO 65102



Application for Certificate of Appropriateness

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Signature(s):

Date:

11/18/14

Please type or print name(s) clearly:

Dusty Emmert

Greenway Studios, LLC

Exhibit A: REQUEST FOR CERTIFICATE OF APPROPRIATENESS

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For instructions, see pages 5-8

1. Property address: 934 East Webster Street (Timmons Temple)

APPLICANT INFORMATION:

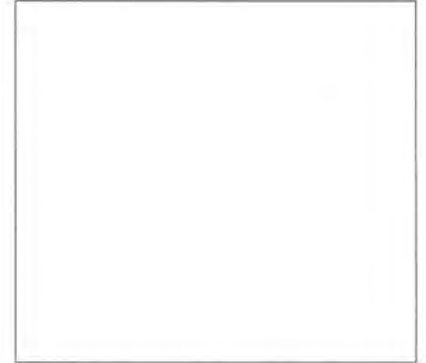
2. Name of current property owner: Greenway Studios, LLC

If corporation: Corporate Official: Dusty Emmert

Mailing Address: 4820 Towne Centre Drive; Ozark, MO

Zip Code: 65721 Telephone: 417-887-6897 Fax: _____

E-mail: dusty@lscinc.com



(Corporate Seal)

3. AUTHORIZED REPRESENTATIVE:

(The representative should have the authority to commit the applicant to changes that may be suggested by the Board):

Name: Richard Lee Burton

Signature: *Richard Lee Burton*

Mailing Address: 326 N Boonville, #301; Springfield, MO Zip Code: 65806 Fax: _____

Telephone: 417-380-4218 E-mail: rlbuva@yahoo.com

4. BUILDING DEVELOPMENT SERVICES DISCUSSION: *(Before submitting this application, the applicant should discuss the project with BDS. Their phone number is 417-864-1055.)*

Date of discussion: On-going

NOTE: The property owner must either sign this application or give City staff a power of attorney showing that another person is authorized to sign.



Application for Certificate of Appropriateness

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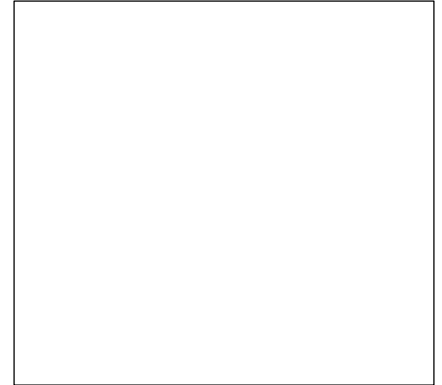
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- | | | |
|--|--|--|
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| ☐ Awnings (2, 3, 4 or 5, 6) | ☐ New Construction (1, 2, 3, 7) | ☐ Siding (3, 4 or 5) |
| ☒ Building Relocation (1, 2, 3, 7) | ☐ Parking (1, 3) | ☐ Sign (1, 2, 3, 6) |
| ☐ Demolition (1, 2, 3, 7) | ☒ Porch (1, 2, 3) | ☒ Window (2, 3, 4 or 5, 6) |
| ☒ Door (2, 3, 4 or 5, 6) | ☐ Retaining Wall (1, 2, 3) | ☐ Archeological Site (1, 3, 8) |
| ☐ Fence (1, 2, 3, 5) | ☐ Roof-New (3, 4 or 5, 7) | |
| ☐ Guttering (2, 3, 4 or 5, 6) | ☒ Re-roof (3, 4) | |

☒ Other (specify): Courtesy review of proposed relocation and historic rehabilitation

1 – Site Plans

5 – Product literature

2 – Elevations

6 – Drawings

3 – Photographs

7 – Exhibit C – Why proposed work should be approved

4 – Sample of materials to be used

8 – State historic Preservation Officer Comments

2. **DESCRIPTION OF PROPOSED WORK:** *(attach additional pages if necessary)*

BUILDING OVERVIEW

The Timmons Temple building, located at 934 East Webster Street in Springfield, Greene County, Missouri, is a one and one-half story Craftsman/Bungalow-style stone gable front church building with a rectangular plan. It was constructed in 1932 to house the African-American congregation of the Church of God in Christ. The building is representative of the vernacular Ozark Rock Masonry property type and is of load-bearing masonry construction. Its exterior walls are made of a unique combination of native limestone at its primary and side elevations and sandstone (with limestone edging) at the rear; and they have raked mortar joints. The rockwork features many

(Continued)

NOTE: An application is considered incomplete until **all** supporting materials, as specified in Item 1 above, are attached. Incomplete applications will **not** be processed or scheduled for a public hearing.

2. DESCRIPTION OF PROPOSED WORK *(Continued)*

elaborate figures and shapes, including several bands of curving “snake” rows and full and half-circle sunburst patterns of various sizes. It has a poured concrete, partially-finished raised full basement, a gently flared gable roof with exposed rafters and asphalt shingles, and a gable-roofed central bay front porch.

DISCUSSION

The subject property was sold by the Timmons Temple congregation in April 2014 to Greenway Studios, LLC for development of a multi-unit apartment building on the site. The City of Springfield has approved the zoning and permits for their apartment development project. In an effort to avoid the demolition and loss of this important historic property, a local citizens committee, Save Timmons Temple, is working with the property owners, the Springfield Landmarks Board, and the Springfield-Greene County Parks Board to relocate the building to the adjacent Silver Springs Park and to rehabilitate it for adaptive reuse as a possible public event facility. Silver Springs Park was historically Springfield’s segregated African-American public park founded in 1918. The property owners have agreed to donate the historic building to Springfield-Greene County Parks if the relocation can be successfully completed within agreed-upon timing. The Save the Timmons Temple committee is close to completing its effort to raise the estimated \$235,000 needed to fund the relocation and historic rehabilitation costs. In addition, the committee is working to establish a 501(c)3 organization, Friends of Timmons Temple, to serve as leadership for continued fundraising, maintenance, improvements, and marketing. The Springfield-Greene County Parks Board unanimously approved on November 14, 2014, the relocation of the building to Silver Springs Park.

As part of this preservation effort, Save Timmons Temple has sponsored a nomination of the historic property for an individual listing on the National Register of Historic Places. The nomination was submitted to the State Historic Preservation Office on November 14, 2014, for review by the Missouri Advisory Council on Historic Preservation during its quarterly meeting on February 20, 2014. If the subject property is relocated prior to its National Register listing, the nomination will have to be revised to address the building’s status as a moved building under Criteria Consideration B.

The preservation goal of the relocation and rehabilitation effort is to minimize the adverse effect on the building’s integrity, historic character, and architectural significance. The historic architectural and cultural importance of the Timmons Temple building to the Springfield community and the State of Missouri makes it worthy of a thoughtful rehabilitation consistent with the Secretary of the Interior’s Standards. This will certainly maximize the returns on the cost of the relocation and rehabilitation effort. An initial preservation brief has been submitted to the State Historic Preservation Office for technical assistance review.

SCOPE OF WORK

The purpose of the proposed scope of work is to relocate the building to Silver Springs Park and rehabilitate it for possible reuse as a public event facility. Specifically, it encompasses: 1) removal of the building from its original location to the park; 2).placement of the relocated building on a new foundation; 3) replication of original historic exterior features deconstructed to accommodate the relocation; 4) rehabilitation of historic exterior and interior features; and 4) construction of two new handicapped accessible bathrooms required under local building codes. The following provides a description of existing conditions and details the proposed work. All work is considered consistent with the Secretary of the Interior’s Standards for the Treatment of Historic Properties.

1. Relocation

Preservation guidelines indicate that a relocated historic building should be placed on a site consistent with its original setting and association. The planned relocation of Timmons Temple to the adjacent Silver Springs Park is

highly acceptable because of the park's open setting and its associations with the African-American community that resided in the surrounding neighborhood.

The extant building is oriented on its original site so that its primary elevation faces the north direction. The preservation guidelines indicate that the relocated building should also have a north-facing orientation. However, the current plan is to orient it to the south to facilitate utilities connections and access to an existing parking lot. This approach may be acceptable as the building depth will still be vertically placed in a north-south direction. The following work is proposed:

- a. Relocate historic building to new site at Silver Springs Park, orienting the building to face south.

2. Foundation

The building currently retains its original poured concrete partially-finished raised full basement. It has its original square wood windows at the south end of the side east and west elevations and at the rear south elevation. The original concrete walls have the impression of the wood planks used in the foundation form during construction. The following work is proposed:

- a. Construct a new raised, concrete block foundation on the site and place the building on it. Silver Springs Park is in a flood plain. Therefore, the original full basement cannot be replicated. The height of the new raised foundation will match that of the original basement, so that the distance of the building from ground level is unchanged. The new block foundation will not replicate the appearance of the original basement, but will be clearly distinguished as new construction.

3. Roof

The church and porch roofs have two layers of modern asphalt shingles. Although additional investigation is necessary, the original roof material was most likely wood shingles consistent with the date of construction and the Ozark Rock Masonry property type. The following work is proposed:

- a. Remove all layers of the extant roof materials.
- b. Repair and/or replace the extant roof decking.
- c. Re-roof building and front and side porches with asphalt architectural shingles. Upon further investigation of the original roof material, consideration may be given to the use of fire-retardant wood shingles. However, this is not required under the Secretary's Standards.
- d. If required, roof vents will be ridge vents.

4. Eaves

The original narrow wood eaves are covered with modern vinyl cladding. Architectural evidence at the front central bay porch indicates that the building has exposed rafters, consistent with its Craftsman/Bungalow style. The following work is proposed:

- a. Remove the extant cladding to expose the original eave treatment.
- b. Retain, repair, and paint the original wood eaves and exposed rafters. Any replacement materials will be in-kind.

5. Windows

The building retains its original wood frames and double-hung single-light wood windows. The sashes have textured rolled glass, although the glazing of the upper sash of the west window bay at the primary north elevation is no longer extant. The windows are covered with modern metal exterior storm windows.

- a. Remove extant modern metal exterior storm windows.
- b. Retain, repair, and paint the original wood window frames and sashes. Any replacement materials will be in-kind. The upper sash of west window bay at the primary north elevation will be re-glazed with textured rolled glass to match the original material (as close as possible).
- c. Interior storm windows may be considered. If used, they will not substantially intrude on the window opening depth and width.

6. Front Porch

The building has a central bay front porch with a gently flared gable roof supported by Tuscan columns on Ozark rock pier walls with concrete caps. The original exposed rafters have been removed. The porch gable is faced with wood lap-board siding.

Relocation of the building will require that the front central bay porch be deconstructed and replicated to its design, dimensions, materials, and craftsmanship. Every effort will be made to salvage and reuse the original materials, including the Ozark rock, wood Tuscan columns, gable wood siding, and wood eaves. The extant porch will be rigorously photo documented prior to and during deconstruction. The following work is proposed:

- a. Deconstruct extant central bay front porch, salvaging all original materials possible.
- b. Replicate the porch on the relocated building to match its original design, dimensions, materials, and craftsmanship. Use all salvage materials possible. The new mortar joints will match the color and raked profile of the original rock masonry. If the concrete column pedestal and pier wall caps cannot be salvaged, new concrete caps should be pigmented to match the extant color of the original materials. Any replacement materials required due to deterioration will be replaced in-kind.

7. Handicapped Accessible Ramp

The extant original concrete camelback porch steps are intact, although a later period concrete handicapped accessible ramp has been poured over the west (right) steps. Along with the central bay porch, relocation of the building will require that the camelback steps be deconstructed and replicated to their original design, dimensions, materials, and craftsmanship. However, local building codes require handicapped accessibility to the building. The following work is proposed:

- a. Deconstruct extant concrete front camelback steps and handicapped accessible ramp.
- b. Replicate original concrete front camelback steps at porch of relocated building. Concrete will be pigmented to match the color of the extant original steps.
- c. Construct a new concrete handicapped accessible ramp at some location of extant ramp relative to the front porch, within specifications required under local building codes. New ramp railings will be metal; of simple, functional design; and as light in dimensions as possible to be differentiated as a modern feature.

8. Side Porch

Relocation of the building will require that the small porch at the side west secondary entrance be deconstructed and replicated to its original design, dimensions, materials, and craftsmanship. Every effort will be made to salvage and reuse the original materials. The following work is proposed:

- a. Deconstruct extant side porch, salvaging all original materials possible.
- b. Replicate original side porch at side entrance of relocated building. Use all salvaged material possible. Any replacement materials required due to deterioration will be in-kind. The dimensions and level of the door opening will be retained to the greatest extent possible; and, any impact on the Ozark rock masonry walls will be avoided, as possible. A new concrete ground level platform will be pigmented to match new concrete front steps.

11. Doors

The extant modern metal doors at the front north main entrance and the west side secondary entrance are not original materials. The following work is proposed:

- a. Retain, repair, and paint extant wood door frames. Any replacement materials required due to deterioration will be replaced in-kind.
- b. Install and stain-finish new solid paneled wood doors consistent with the date of construction.

12. Chimney

The exposed stone chimney is a defining feature of the building's Craftsman/Bungalow style. It is important that it be retained. However, the relocation of the building will require that the lower portion at the basement level be removed. Like the front porch, this will be rigorously photo documented prior to and during deconstruction. The top of the chimney is deteriorated and has several missing stones. The following work is proposed:

- a. Deconstruct lower portion of extant chimney so that building can be removed from raised basement. Salvage original rock materials. Support chimney during building relocation to avoid collapse.
- b. Replicate lower portion of chimney once building is relocated and placed on new foundation. Use all salvaged rock as possible.
- c. Repair top of chimney with matching limestone rocks.
- d. The new mortar joints at the top and lower chimney will match the color and raked profile of the original rock masonry. Any replacement materials required due to deterioration will be in-kind.

13. Ceiling

The original plaster ceiling has been covered with modern acoustical tiles. The following work is proposed:

- a. Remove the modern acoustical tiles to expose the original ceiling treatment.
- b. Retain, repair, and paint the original plaster ceiling. The surface finish will be smooth, not textured.

14. Walls

The church sanctuary retains its original plaster walls; but, they have been covered with modern wood paneling. The extant baseboard trim is not original to the date of construction; and, the original materials are no longer in situ. While the profile of the original baseboards is unknown, its height can most likely be determined when the modern wood paneling is removed. The following work is proposed:

- a. Remove the modern wood paneling to expose the original wall treatment.
- b. Retain, repair, and paint the original plaster walls. The surface finish will be smooth, not textured.
- c. Install new wood baseboards to match the determined original height and trim with shoe molding. This new wood trim will be stain-finished.

15. Floor

The original wood floors are intact under modern carpeting. The following work is proposed:

- a. Remove the carpeting to expose the original floor treatment.
- b. Retain, repair, and refinish the wood floor. Any replacement materials required due to deterioration will be in-kind. The stain will match the extant color.

16. Pulpit Platform

A pulpit platform is located at the rear south perimeter wall. It is also covered with modern carpet. Additional investigation is required to determine its original design and materials. The platform railing is not original to the interior. It is of modern wood frame construction and is covered with wood paneling. It may be removed, but it is likely that the platform did originally have a railing. The following work is proposed:

- a. Additional investigation is required.

17. Staircase

The sanctuary has at its west perimeter wall a switchback staircase to the side secondary entrance and basement. Although it should be avoided, the staircase may need to be removed to accommodate the relocation of the building. The staircase railing was originally faced with beaded board; but, this has also been covered with modern wood paneling. The following work is proposed:

- a. Retain or salvage the upper flight of the staircase to the side secondary entrance. It will be repaired and refinished. If the original staircase cannot be retained or salvaged, a replacement staircase will replicate the original design and materials.
- b. Remove the modern wood paneling from the staircase railing. The original beaded board will be retained, repaired, and refinished. Any replacement materials required due to deterioration will be in-kind.

18. Bathroom In-fill

With the relocation of the building, new handicapped accessible bathrooms will need to be constructed within the extant original open floor plan. The design and construction of the bathroom in-fill will clearly represent it as modern and not original to the historic property. The preferred location of the in-fill is at the northeast and

northwest corners of the building interior. This helps retain the sense of scale and sightlines to the closed vaulted ceiling from a position looking from the main entrance to the pulpit platform at the south perimeter wall. The following work is proposed:

- a. Construct new handicapped accessible bathroom at the northeast and northwest (front) corners of the open sanctuary. New partition walls will not intersect with the original window openings at the perimeter walls and will only partially be constructed to the full height of the extant original closed vaulted ceiling. The bathroom ceilings will be capped at the minimum height requirement under local building codes.
- b. Trim the outside faces of the partition walls with wood baseboard and shoe molding. The baseboard profile will be differentiated from that used at the perimeter walls.
- c. Configure the bathroom interiors to follow local code requirements. The original plaster surface of the perimeter walls and the original wood floors will be retained.

Exhibit C: WHY PROPOSED WORK SHOULD BE APPROVED

Please use this form only. Form may be photocopied. Please type or print.

When proposing a major project, please use this page to give information in support of your request. (See Exhibit B, item 1, above: "Type of Work Proposed," key # 7. Suggested items of discussion are included in the Instructions, page 7.)

The State Historic Preservation Office has determined that the Timmons Temple building is eligible for potential listing on the National Register of Historic Places. It is locally significant under Criterion A in the area of ETHNIC HERITAGE-BLACK and under Criterion C in the area of ARCHITECTURE. Timmons Temple was constructed in 1932 under the leadership of Elder Carter Timmons to serve the African-American Pentecostal congregation of the Church of God in Christ. Timmons Temple is only one of four historic African-American church buildings remaining in Springfield, all located within proximity to Jordan Creek. It is representative of the property type "Ozark Rock Masonry: ca. 1910-1955 (Subtype D: Religious)" and meets the registration requirements established in the Multiple Property Submission cover document, "Historic and Architectural Resources of Springfield, Missouri" within the historic context of "Ozark Rock Masonry in Springfield, ca. 1910-1955."

The proposed scope of work ensures the sustainability of the property, by pre-empting its demolition. Its rehabilitation for adaptive reuse as a public event facility within Silver Springs Park will contribute significantly to the surrounding neighborhood. And, it is hoped that it will be a catalyst for preservation of extant historic Ozark rock masonry structures and features within the park, notably the original amphitheater. Importantly, this project will serve as a new model for collaborative historic preservation in Springfield. Overall, the work retains, to the greatest extent possible, the integrity of the building's historic design, materials and workmanship.

ADAPTIVE REUSE

The architectural and historic importance of Timmons Temple, its open floor plan, and proposed relocation to Silver Springs Parks presents a significant opportunity to rehabilitate the property for adaptive reuse as a public event facility. Silver Springs Park is centrally located within Springfield's Center City area and is easily accessible to the historic Mid-town neighborhood, the Downtown and Commercial Street commercial districts, as well as several public and private schools, colleges, and universities. It is adjacent to the Jordan Creek Greenway, an open bike and walking trail which will soon connect to Downtown and Southside Springfield. It is also on The Link, a new 8-mile biking and pedestrian corridor connecting neighborhoods, schools, and commercial interests from North Springfield at Doling Park to the Cox Medical Center south campus.

An open plan and excellent acoustics will allow for a broad range of on-going events. With a planned occupancy of 200 and close proximity to academic and government institutions and major employers, the event venue will serve as a meeting space for educational events, lectures, seminars, and meetings. The flexible, open space will make it particularly attractive as a venue for visual and performing arts events. And, it will have great potential to generate on-going maintenance resources through rental revenues for weddings and other private special events. The adjacent historic Ozark rock masonry amphitheater at Silver Springs Park will also support outdoor events through the facility. The park currently has adequate paved parking to support the facility's needs.

(Continued)

Exhibit C: (Continued)

A marquee event for the proposed public facility will be the community's Park Day celebration, an annual reunion held on the first weekend of August for Springfield's African-American families. This event now attracts close to 3,000 participants. In 2015, Silver Springs Park will host the 63rd annual Park Day reunion. The Timmons Temple event facility will be a significant part of this celebration.

Importantly, the new Timmons Temple event facility at Silver Springs Park will provide a center for outreach to the African-American community and the presentation and celebration of its ethnic heritage. The historic building will be a showcase for highlighting Springfield's diverse population through research, exhibits, performances, and education programs. It will provide expanded access to existing Springfield-Greene County Parks programs, including day camps.

Other opportunities have been discussed for use of the new facility. Significant efforts to promote Historic Route 66 in Springfield can be leveraged to promote heritage tourism. Potential exists for neighborhood interaction through community gardening programs in partnership with organizations such as Springfield Urban Agriculture Coalition (SUAC).

Photographs

The following information is the same for all photographs:

Name of Property:	Timmons Temple		
City or Vicinity:	Springfield		
County:	Greene County	State:	Missouri
Photographer:	Richard Lee Burton		
Date Photographed:	October 25, 2014, except where noted		

Photo Log:

- Photo 1: Streetscape. 900 block of East Webster Street. View to west. Subject property at left.
- Photo 2: Site view. 930 East Webster Street. View to southwest.
- Photo 3: Site view. 930 East Webster Street. View to southeast.
- Photo 4: Exterior. Primary north and side east elevations. View to southwest
- Photo 5: Exterior. Primary north elevation. View to south.
- Photo 6: Exterior. Primary north elevation. Detail of Tuscan column supporting hipped roof central bay porch.
- Photo 7: Exterior. Primary north elevation. Detail of central bay porch with concrete camelback steps and later period handicap ramp. View to east.
- Photo 8: Exterior. Primary north elevation. Detail of original arched double-hung, single-light wood window, with coarsed stone lintel and concrete sill, at far eastern bay.
- Photo 9: Exterior. Primary north elevation. Detail of stone sunburst ornamentation centered below gabled roof peak.
- Photo 10: Exterior. Primary north elevation. Detail of date stone at east corner. October 28, 2014.
- Photo 11: Exterior. Side east and rear south elevations. View to northwest.
- Photo 12: Exterior. Side east elevation. View to west. October 28, 2014.
- Photo 13: Exterior. Side east elevation. Detail of original rectangular double-hung, single-light wood window, with concrete lintel and sill, at far northern bay.
- Photo 14: Exterior. Side east elevation. Detail of stone sunburst ornamentation at upper south end wall.
- Photo 15: Exterior. Side east elevation. Detail of stone sunburst ornamentation above larger partial sunburst at lower north end wall

Photo Log: (Continued)

Photo 16: Exterior. Rear south elevation. View to north.

Photo 17: Exterior. Rear south elevation. Detail of partial sunburst ornamentation at center between window bays.

Photo 18: Exterior. Rear south and side west elevations. View to northeast.

Photo 19: Exterior. Side west elevation. View to east. October 28, 2014.

Photo 20: Exterior. Side west elevation. Detail of stone sunburst ornamentation at upper north end wall.

Photo 21: Exterior. Side west elevation. Detail of stone work at chimney at center of elevation.

Photo 22: Interior. First floor. View to southwest across sanctuary to chancel at rear south perimeter wall.

Photo 23: Interior. First floor. View of chancel at rear south perimeter wall.

Photo 24: Interior. First floor. View from chancel to front perimeter wall.

Photo 25: Interior. First floor. View to northwest across chancel.

Photo 26: Interior. First floor. Detail of switchback staircase to side west entrance and basement below.

Photographs:



Photo 1



Photo 2

Photographs: (Cont.)



Photo 3



Photo 4

Photographs: (Cont.)



Photo 5



Photo 6

Photographs: (Cont.)



Photo 7



Photo 8

Photographs: (Cont.)



Photo 9



Photo 10

Photographs: (Cont.)



Photo 11



Photo 12

Photographs: (Cont.)



Photo 13



Photo 14



Photo 15

Photographs: (Cont.)



Photo 16



Photo 17

Photographs: (Cont.)



Photo 18



Photo 19

Photographs: (Cont.)



Photo 20



Photo 21



Photo 22

Photographs: (Cont.)



Photo 23



Photo 24

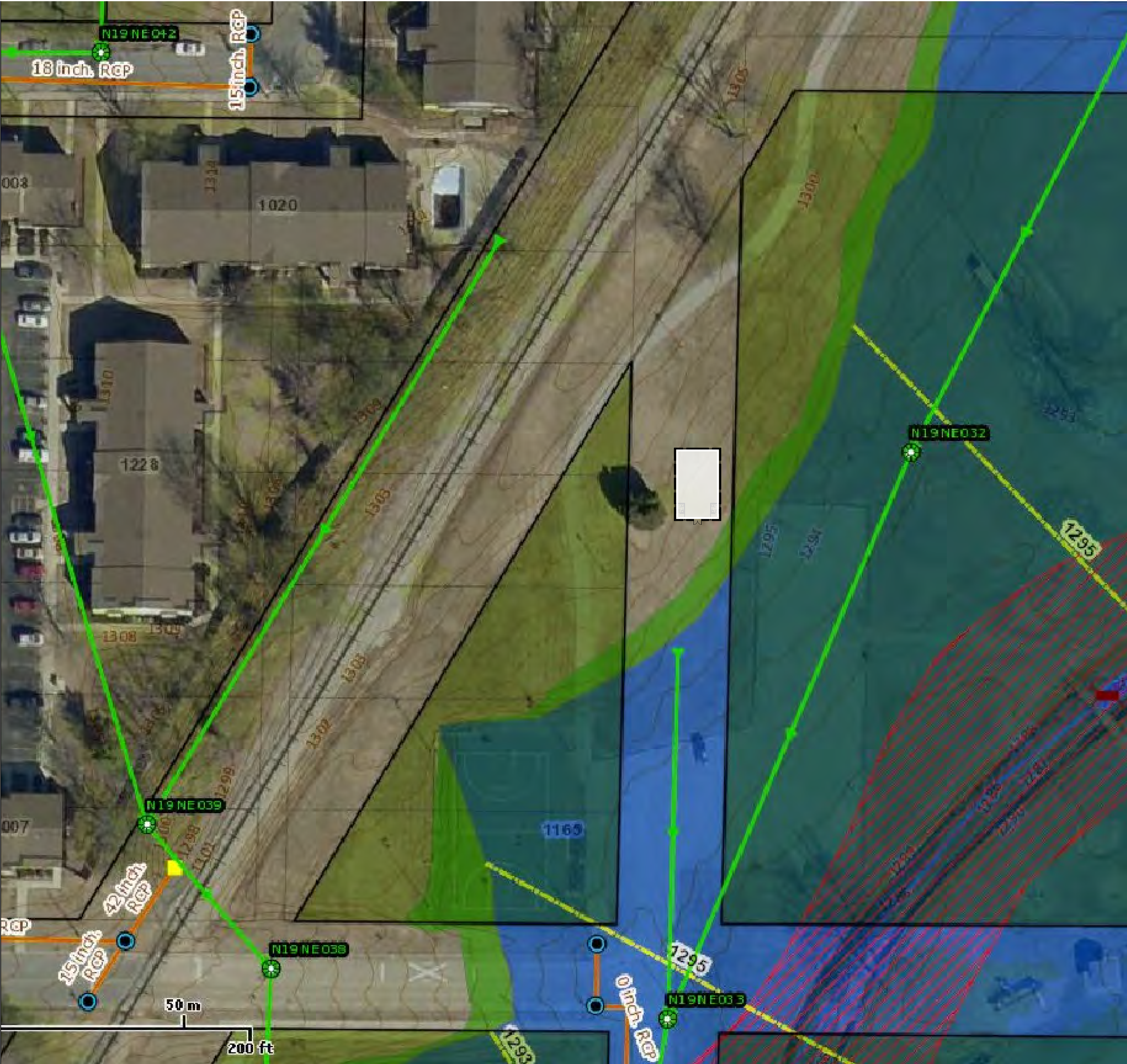
Photographs: (Cont.)



Photo 25



Photo 26



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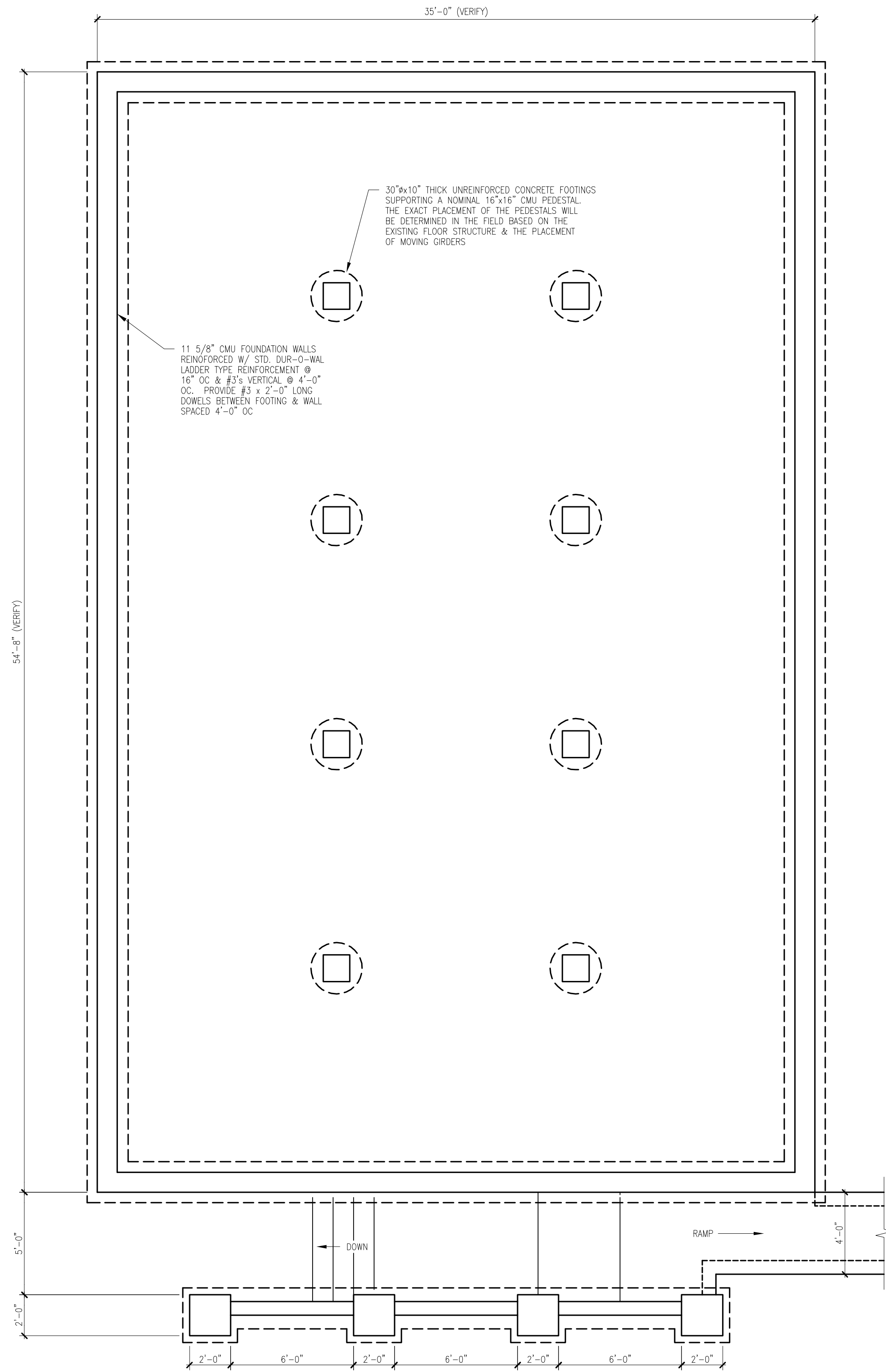
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**TIMMONS TEMPLE RELOCATION
SILVER SPRINGS PARK**

PLACE MAKERS

3050 E BATTLEFIELD, SUITE A SPRINGFIELD, MO 65804 T (417) 890-7711 F (417) 890-7611 CERT. OF AUTHORITY A-2008013312
JEFFREY DAVID WELLS, ARCHITECT A-2005022230, ENGINEER E-25673

REVISIONS:	PROJECT NUMBER:	-
	DATE:	-
	SHEET NUMBER:	-



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TIMMONS TEMPLE RELOCATION & RENOVATION

SILVER SPRINGS PARK
SPRINGFIELD, MO

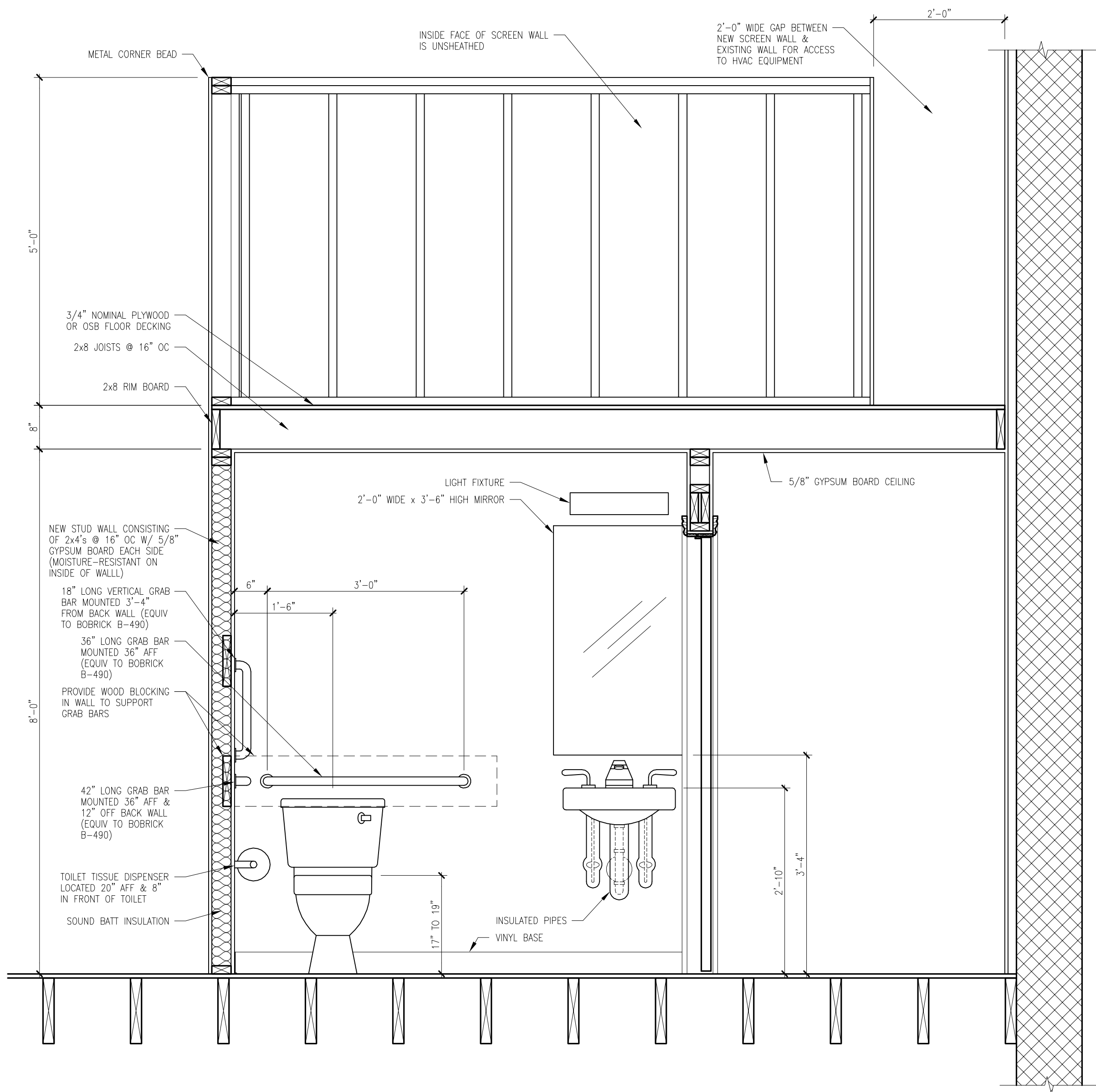
PLACE MAKERS

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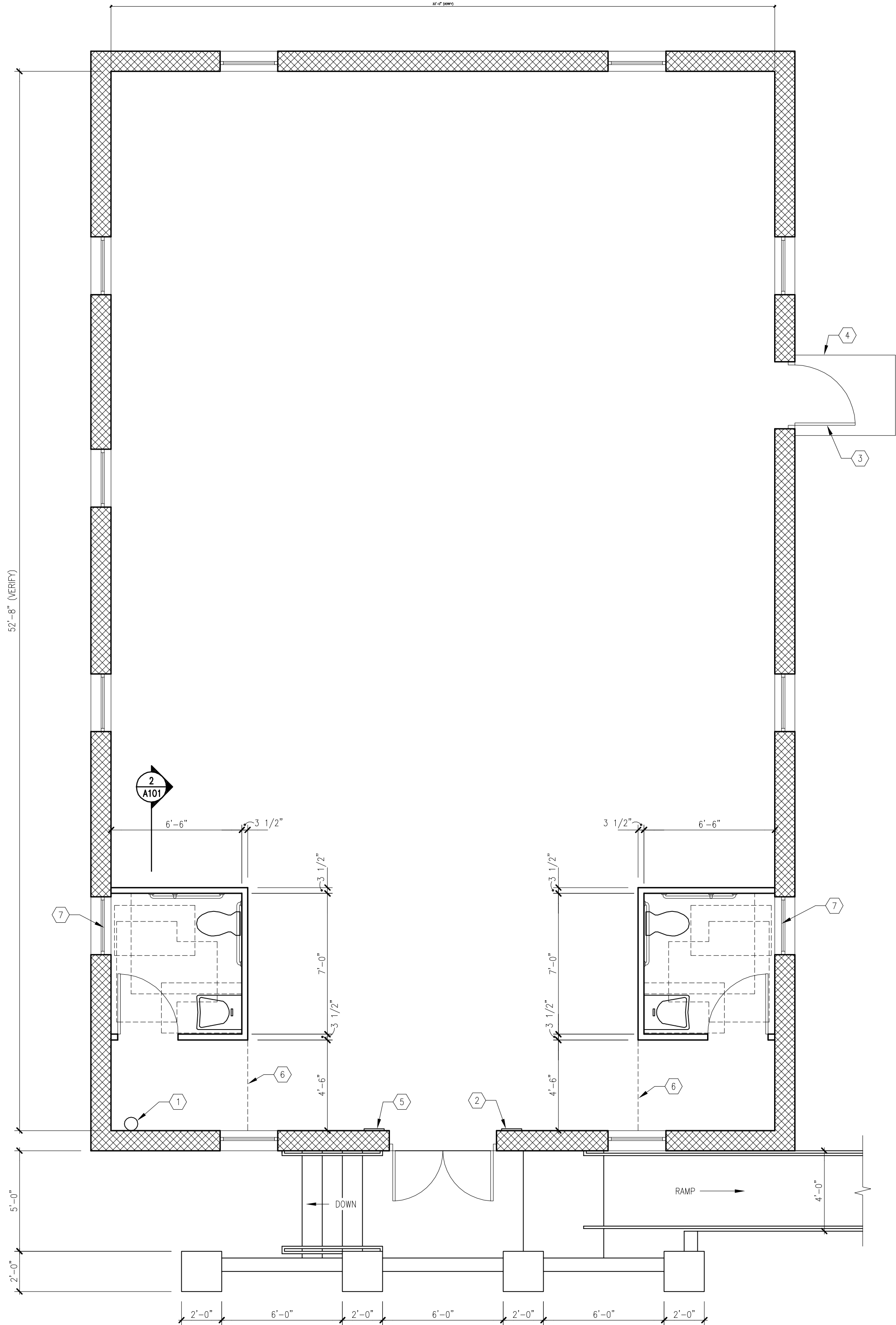
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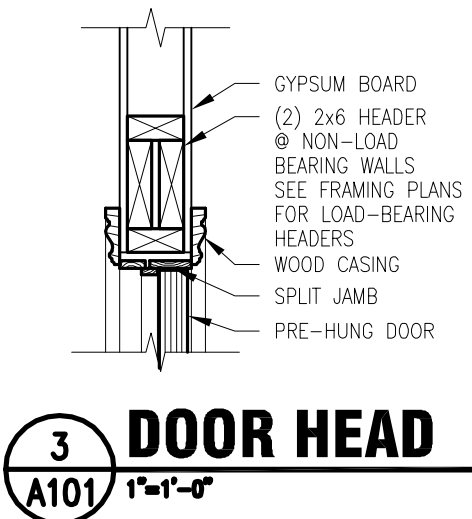
A102



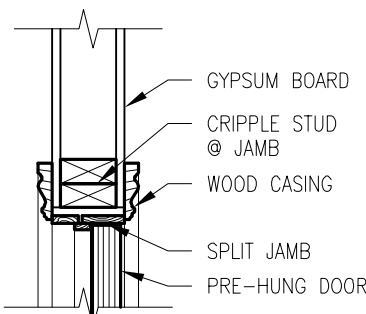
2 TOILET SECTION
A101 3/4"=1'-0"



1 FLOOR PLAN
A101 1/4"=1'-0"



3 DOOR HEAD
A101 1"=1'-0"



4 DOOR JAMB
A101 1"=1'-0"

SCOPE OF WORK:

THIS PROJECT IS FOR THE RELOCATION OF THE HISTORIC TIMMONS TEMPLE TO SILVER SPRINGS PARK. NEW FOUNDATION, SITE UTILITIES, & MINOR RENOVATIONS ARE INCLUDED

CODE DATA:

- 2012 INTERNATIONAL BUILDING CODE
- USE GROUP: A-3
- CONSTRUCTION TYPE: 5B
- MEANS OF EGRESS:
 $(1574 \text{ SF}) / (15 \text{ SF/PERSON}) = 105 \text{ OCCUPANTS}$
 $\text{REQ'D EXIT WIDTH} = (0.2')(105) = 21'$
TWO EXITS PROVIDED
- PLUMBING FIXTURES
TOILETS REQ'D = 2
TOILETS PROVIDED = 2
LAVATORIES REQ'D = 1
LAVATORIES PROVIDED = 2
- NOTE: AS THIS IS A LIMITED RENOVATION, A SERVICE SINK & DRINKING FOUNTAIN ARE NOT PROVIDED

GENERAL NOTES:

- TOILETS ON THIS FLOOR LEVEL ARE ACCESSIBLE. PROVIDE TACTILE & VISUAL SIGNAGE ON ALL TOILET ROOM DOORS CONFORMING TO ANSI 117.1 & BEARING THE INTERNATIONAL SYMBOL FOR ACCESSIBILITY
- TYPICAL INTERIOR WALLS SHALL BE 2x4 WOOD STUDS @ 16" OC W/ 5/8" GYPSUM BOARD EACH SIDE. NO FIRE-RATING REQUIRED

KEYNOTES:

- WALL-MOUNTED FIRE EXTINGUISHER
- WALL-MOUNTED EXIT SIGN THAT IS BOTH TACTILE & VISUAL CONFORMING TO ICC A117.1. MOUNT SIGN ON LATCH SIDE OF DOOR OR AS SHOWN, 54" AFF TO CENTERLINE OF CHARACTERS & 3" FROM JAMB TO EDGE OF SIGN
- NEW 3'-0"x6'-8" HOLLOW METAL DOOR W/ HOLLOW METAL FRAME INSTALLED IN EXISTING DOOR OPENING. NOTE THE NEW DOOR HEAD ELEVATION WILL NEED TO BE RAISED TO ACCOMMODATE THE NEW DOOR
- NEW 4'-0"x5'-0" CONCRETE STOOP, 4" THICK, UNREINFORCED
- MAXIMUM OCCUPANCY SIGNAGE (105) ATTACHED TO WALL NEXT TO DOOR
- LINE REPRESENTS EDGE OF MECHANICAL PLATFORM ABOVE. VERIFY CEILING ELEVATION IS ABOVE THE EXISTING WINDOW HEAD ELEVATION
- OPAQUE BLINDS REQ'D ON EXISTING WINDOWS

SITE LOCATION MAP:



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TIMMONS TEMPLE
RELOCATION & RENOVATION

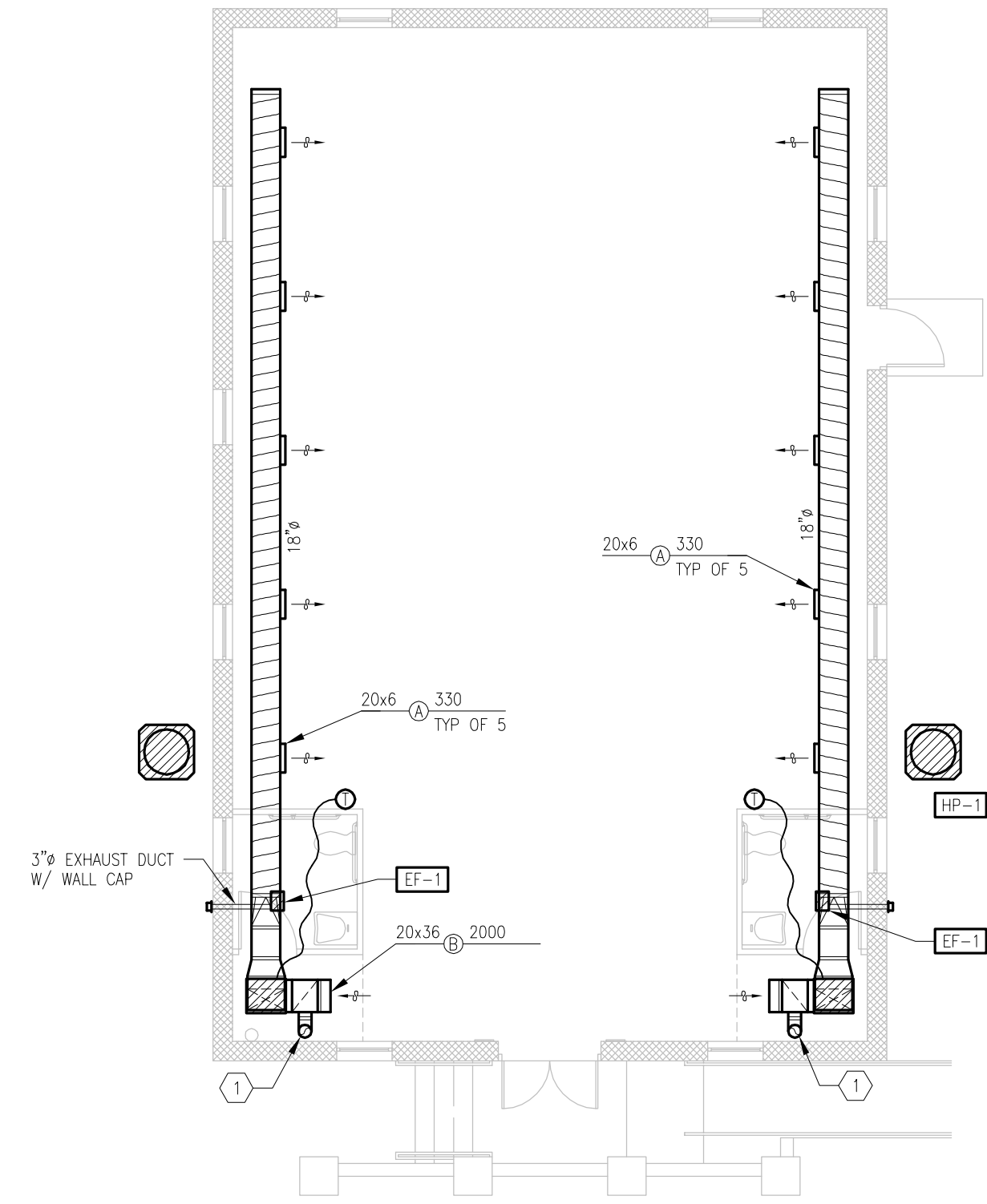
SILVER SPRINGS PARK
SPRINGFIELD, MO

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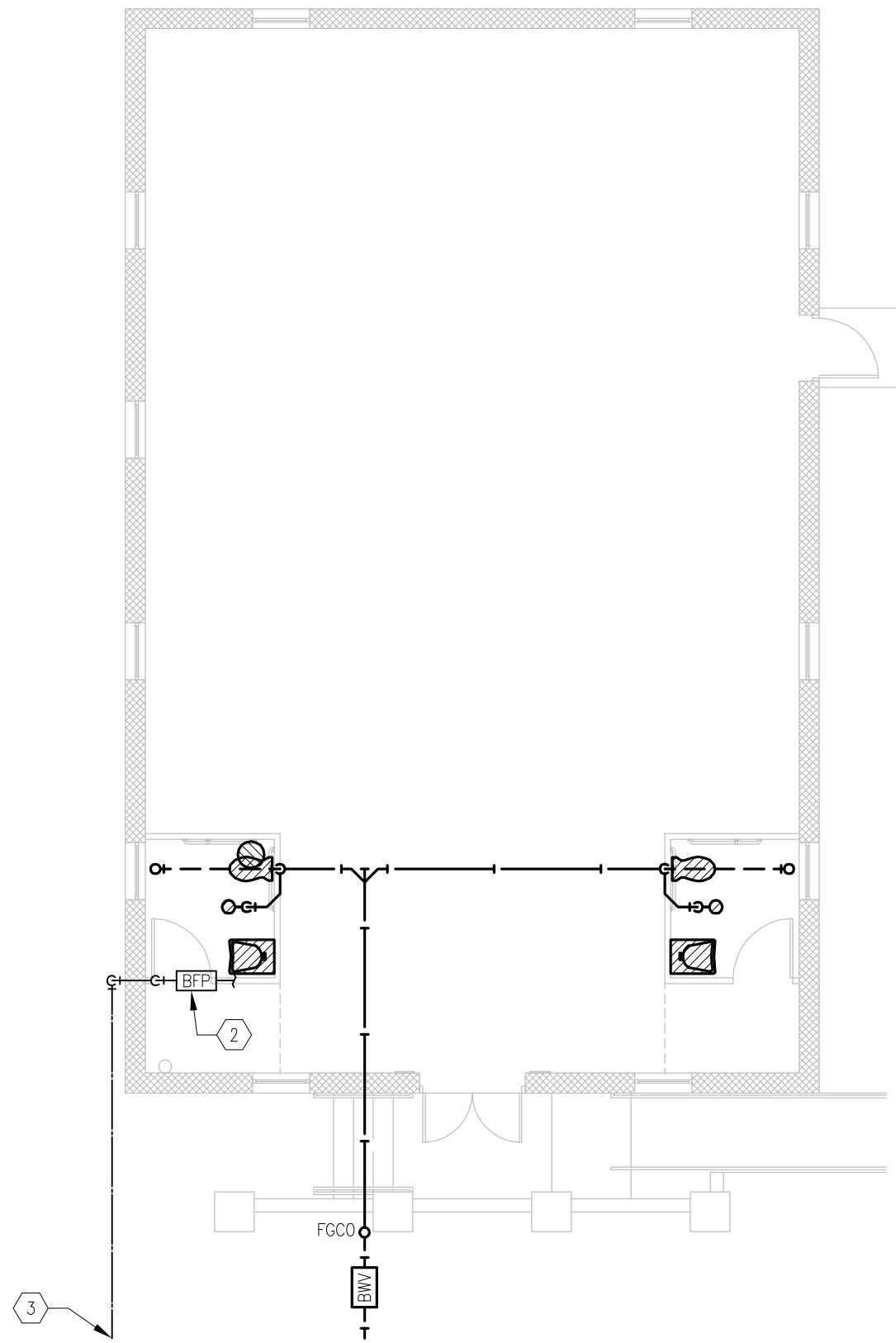
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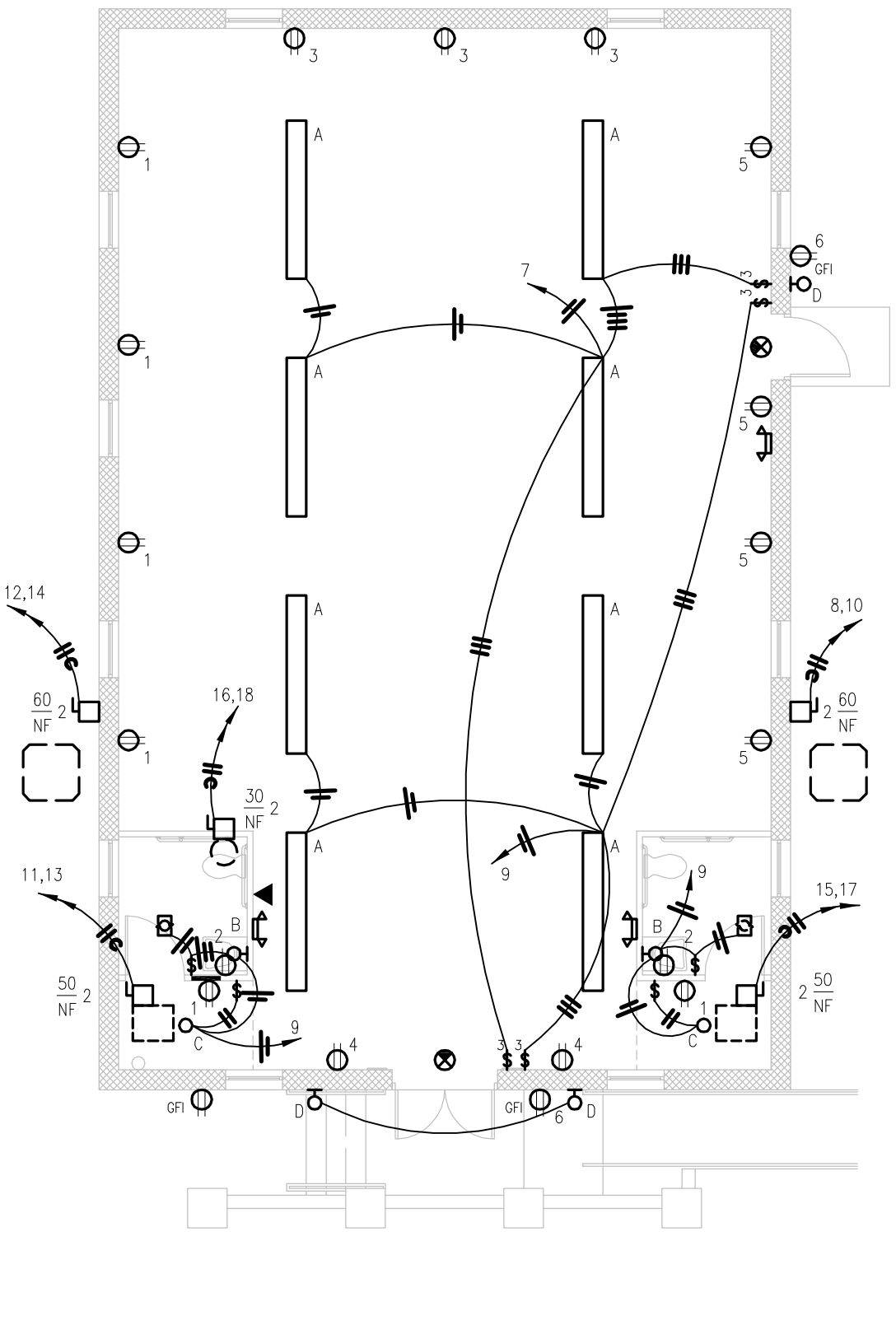
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3 HVAC PLAN
PME 1/8"=1'-0"



2 PLUMBING PLAN
PME 1/8"=1'-0"



1 ELECTRICAL PLAN
PME 1/8"=1'-0"

ELECTRICAL NOTES:

- ALL ELECTRICAL WORK SHALL BE IN CONFORMANCE W/ THE LATEST EDITION OF THE NATIONAL ELECTRIC CODE AS ADOPTED BY THE CITY OF SPRINGFIELD
- COORDINATE WORK W/ OTHER TRADES & GENERAL CONTRACTOR. CONFIRM FIXTURE MOUNTING LOCATIONS W/ OWNER BEFORE BEGINNING INSTALLATION
- NW (RONEY) CABLE MAY BE USED WHERE PERMITTED BY CODE. POWER CIRCUITS SHALL HAVE A GROUNDING CONDUCTOR
- MOUNT RECEPTACLES @ 18" AFF TYPICAL. MOUNT ABOVE-COUNTER RECEPTACLES @ 48" AFF
- PLANS ARE SCHEMATIC. DO NOT SCALE
- PROVIDE (1) CAT 5 DATA CABLE & (1) CAT 3 TELEPHONE CABLE TO EACH DATA PORT. TERMINATE @ TELECOM BOARD OR AS DIRECTED BY OWNER
- DATA/TELECOM RECEPTACLES SHALL BE 4S BOXES W/ SINGLE-GANG PLASTER RING. PROVIDE 3/4" CONDUIT FROM BOX TO AN ACCESSIBLE LOCATION ABOVE THE CEILING

ELECTRICAL SYMBOLS:

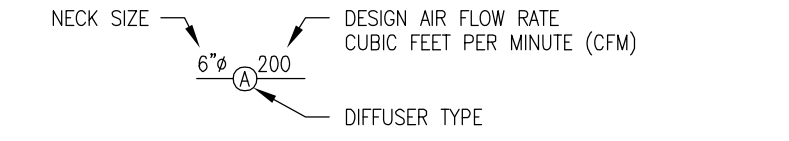
- 15A DUPLEX, 125V, 2P, 3W GROUNDING TYPE RECEPTACLE
- INDICATES CIRCUIT NUMBER & OPTIONALLY PANELBOARD SEE PANELBOARD SCHEDULE
- VOICE/DATA OUTLET. PROVIDE 4/S - 3/4 BOX W/ SINGLE GANG PLASTER RING & 3/4" CONDUIT TO CEILING OR OTHERWISE ACCESSIBLE SPACE W/ DE-BURRED END OF CONDUIT
- 15A DUPLEX, GROUND FAULT INTERRUPTOR RECEPTACLE
- WALL MOUNTED LIGHT FIXTURE. REFER TO FIXTURE SCHEDULE FOR TYPE
- RECESSED LIGHT FIXTURE. REFER TO FIXTURE SCHEDULE FOR TYPE
- LIGHT FIXTURE OF TYPE INDICATED IN THE FIXTURE SCHEDULE. MOUNTING AS APPROPRIATE BASED ON THE FIXTURE TYPE
- FUSED DISCONNECT SWITCH: FRAME SIZE NEMA CONFIGURATION IF NOT "1"
- FUSE(S) SIZE NUMBER OF POLES
- JUNCTION BOX
- 20A SINGLE POLE 120V/277/ SWITCH MOUNTED 48" AFF
- 20A THREE-WAY 120V/277/ SWITCH MOUNTED 48" AFF
- DIMMER SWITCH EQUIV. TO LUTRON NOVA T SERIES
- CIRCUIT DESIGNATION: NUMBER OF HOMERUNS CIRCUIT NUMBERS DESTINATION PANELBOARD HOT OR SWITCH LEGS NEUTRAL CONDUCTOR GROUND CONDUCTOR

PLUMBING NOTES:

- ALL WORK SHALL BE IN CONFORMANCE W/ THE LATEST EDITION OF THE INTERNATIONAL BUILDING CODE FAMILY AS ADOPTED BY THE CITY OF SPRINGFIELD
- COORDINATE WORK W/ OTHER TRADES & GENERAL CONTRACTOR
- PLANS ARE SCHEMATIC. DO NOT SCALE
- PROVIDE ALL MATERIALS & EQUIPMENT & PERFORM ALL LABOR REQUIRED TO INSTALL COMPLETE & OPERABLE PLUMBING SYSTEMS AS INDICATED ON THE DRAWINGS, & AS SPECIFIED & REQUIRED BY CODE
- RUN ALL WASTE LINES & VENT PIPING W/ 2% SLOPE. HORIZONTAL VENT PIPING SHALL BE GRADED TO DRAIN BACK TO THE WASTE PIPE BY GRAVITY
- INSTALL PIPING SO ALL VALVES, STRAINERS, UNIONS, & OTHER APPURTENANCES REQUIRING ACCESS ARE ACCESSIBLE
- PROVIDE CHROME-PLATED BRASS VALVES (COMPRESSION STOPS) @ ALL FIXTURE CONNECTIONS W/ BRAIDED STEEL RISERS
- INSULATE COPPER DOMESTIC WATER SUPPLY LINES W/ 1/2" ARMAFLEX INSULATION SHALL HAVE A FLAME SPREAD RATING NOT GREATER THAN 25 NOR A SMOKE DEVELOPED RATING GREATER THAN 50
- HOT & COLD WATER SUPPLY PIPING SHALL BE WIRSBO AQUAPEX W/ CROSS-LINKED POLYETHYLENE TUBING EXCEPT WHERE INDICATED
- INSTALL AQUAPEX PIPING PER MANUFACTURER'S INSTRUCTIONS W/ ALL FITTINGS, VALVES, & ACCESSORIES REQUIRED FOR A COMPLETE & FUNCTIONAL SYSTEM. PIPING IS CONFIGURED IN A MANIFOLD-TYPE DISTRIBUTION SYSTEM
- ALL INDIVIDUAL FIXTURE BRANCHES SHALL BE 1/2" UNLESS NOTED OTHERWISE

HVAC NOTES:

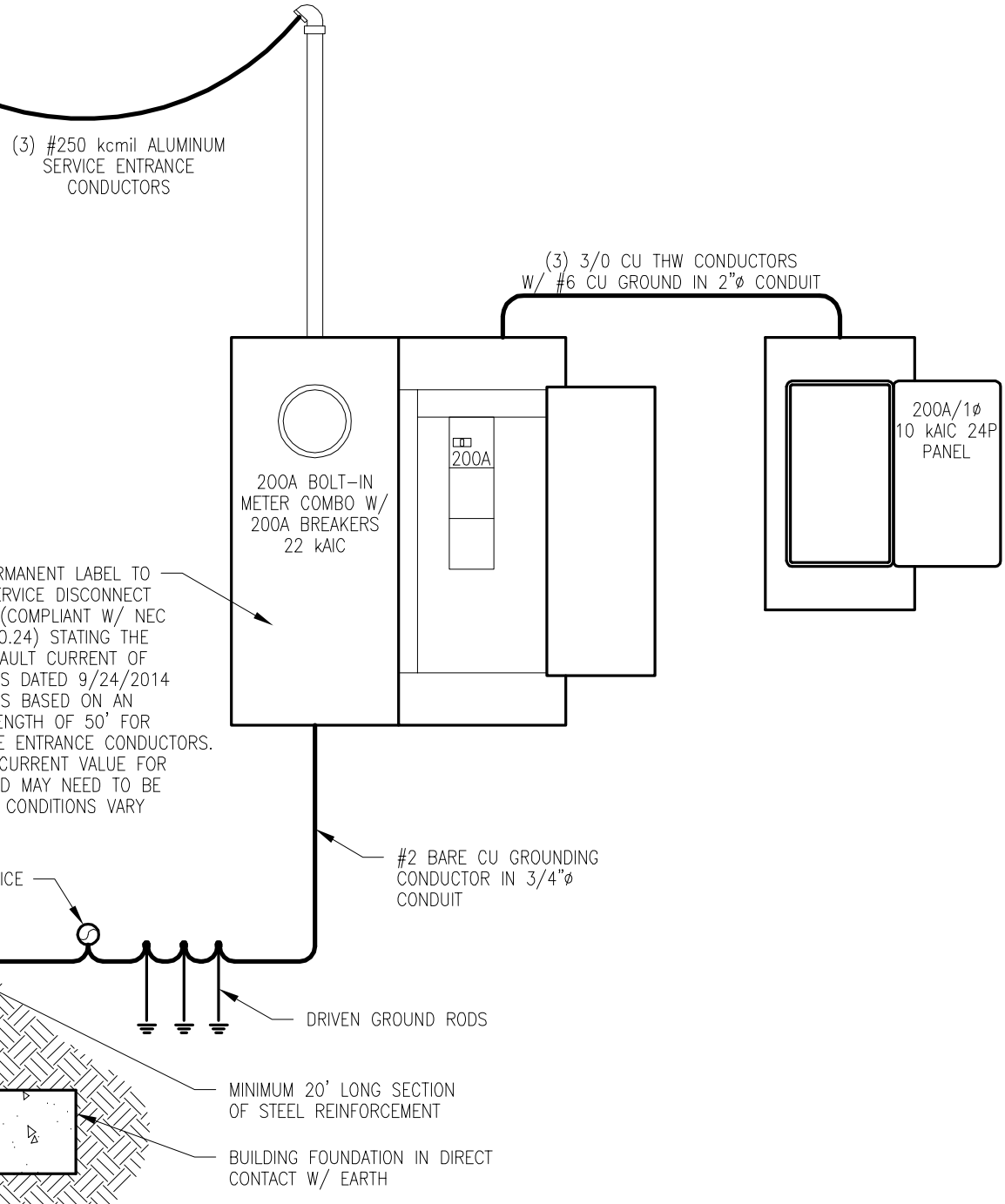
- ALL MECHANICAL WORK SHALL BE IN CONFORMANCE W/ THE 2012 INTERNATIONAL MECHANICAL CODE AS ADOPTED BY THE CITY OF SPRINGFIELD, MISSOURI
- PLUMBING WORK SHALL BE IN CONFORMANCE W/ THE 2012 INTERNATIONAL PLUMBING CODE
- COORDINATE WORK W/ OTHER TRADES & GENERAL CONTRACTOR
- PLANS ARE SCHEMATIC & DO NOT DEPICT EXACT DUCT ROUTING. DO NOT SCALE PLANS
- DUCT MATERIALS SHALL BE AS FOLLOWS: RECTANGULAR SUPPLY & RETURN DUCT GALVANIZED SHEET METAL W/ 1/2" THICK, 2 PCF DUCT LINER EXPOSED ROUND SUPPLY DUCT SINGLE-WALL GALVANIZED SPIRAL PIPE ROUND EXHAUST DUCT GALVANIZED SNAP-LOCK PIPE W/ TAPED JOINTS ROUND FLEXIBLE DUCT UL CLASS 1 INSULATED FLEX DUCT
- ALL DUCTWORK SHALL BE FABRICATED & INSTALLED PER THE SMACNA STANDARDS
- THERMOSTATS & CONTROL WIRING ARE TO BE PROVIDED BY THE MECHANICAL CONTRACTOR. INSTALLATION & PROGRAMMING SHALL BE THE RESPONSIBILITY OF THE MECHANICAL CONTRACTOR. ELECTRICAL CONNECTION OF HVAC EQUIPMENT SHALL BE BY THE ELECTRICAL CONTRACTOR
- DUCT SIZES SHOWN ON THE PLAN ARE THE CLEAR, INSIDE DIMENSIONS. ADD THE NECESSARY THICKNESS TO ACCOUNT FOR INSULATION
- GRILLES & DIFFUSERS ARE IDENTIFIED ON THE PLANS W/ THE FOLLOWING SYMBOL:



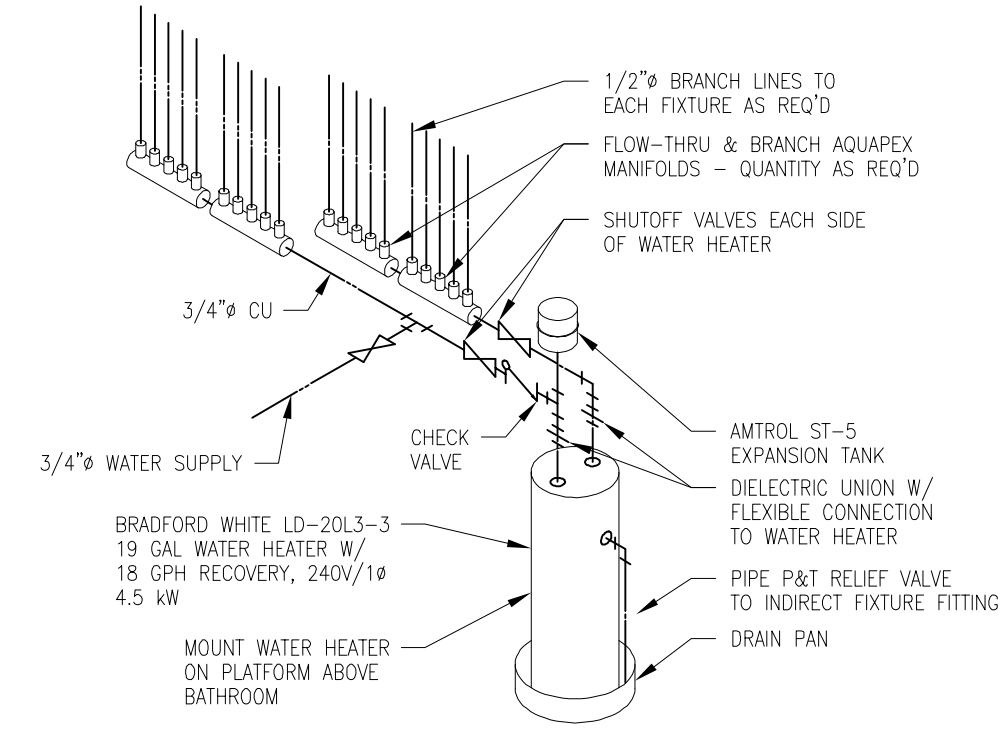
- KEEP FLEX DUCT RUNS REASONABLY STRAIGHT & AS SHORT AS POSSIBLE. MAXIMUM LENGTH OF FLEX DUCT SHOULD NOT EXCEED 6' TOTAL
- TESTING & BALANCING OF THE SYSTEM(S) IS THE RESPONSIBILITY OF THE MECHANICAL CONTRACTOR. TEST, ADJUST, & BALANCE SYSTEM(S) SO THAT EACH ROOM, PIECE OF EQUIPMENT, OR TERMINAL DEVICE IS USING THE QUANTITIES INDICATED ON THE DRAWINGS
- GAS PIPING DISTRIBUTION IS TYPICALLY LOCATED ON THE ROOF. SUPPORT PIPING ON TREATED WOOD BLOCKS & ROLLERS/CHAIRS DESIGNED FOR THAT PURPOSE (EQUIVALENT TO GRINNELL #175)

KEYNOTES:

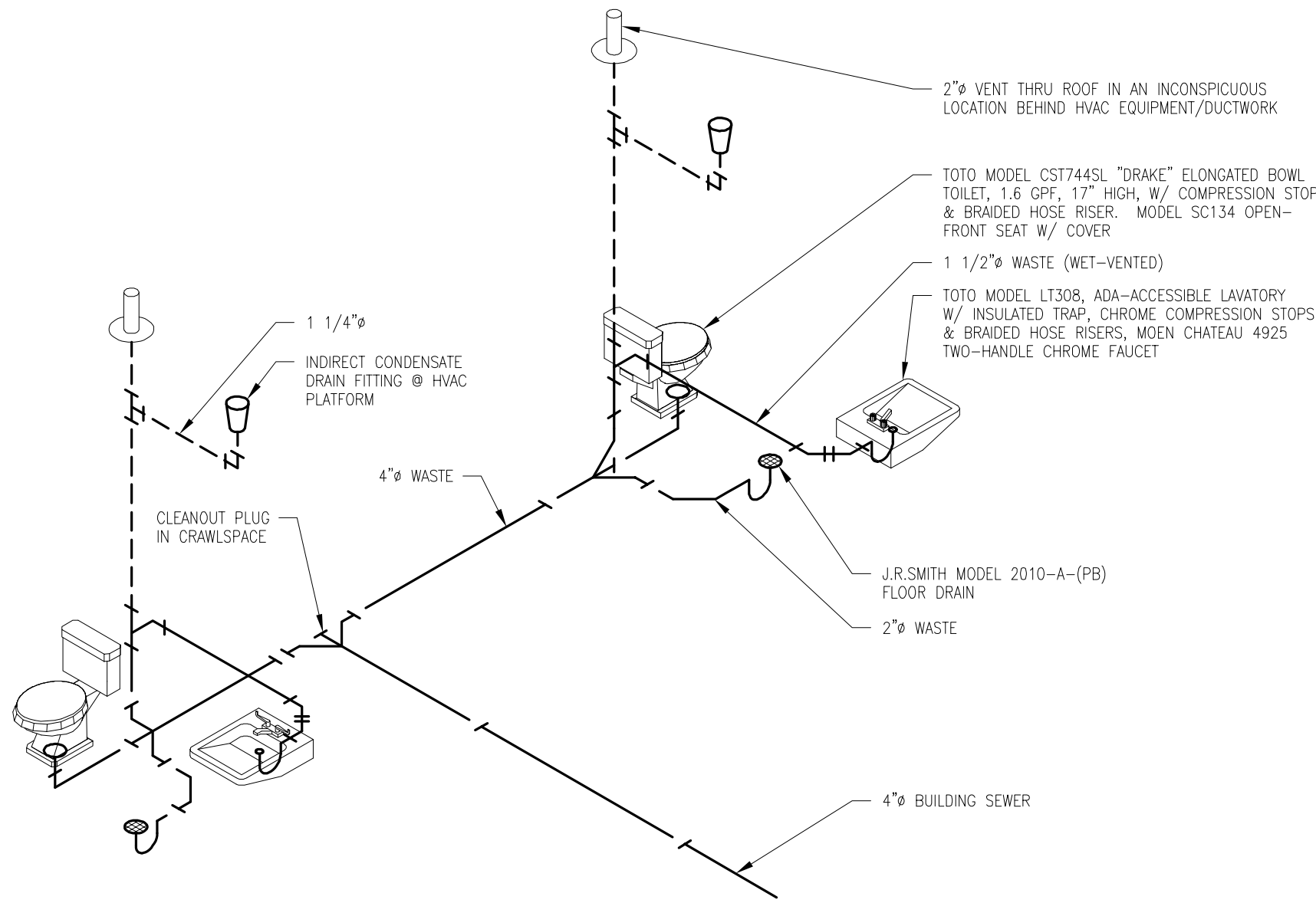
- 8" FRESH AIR DUCT THRU ROOF W/ FLASHING & CAP
- 3/4" BACKFLOW PREVENTER @ MECHANICAL PLATFORM. PIPE DRAINS TO THE INDIRECT CONDENSATE CONNECTION
- 3/4" UNDERGROUND WATER SERVICE. 12.8 GPM MAXIMUM DEMAND



6 ELECTRICAL RISER DIAGRAM
PME 3/4"=1'-0"



5 WATER SUPPLY RISER
PME NOT TO SCALE



4 WASTE/VENT RISER DIAGRAM
PME 1/4"=1'-0"

LIGHT FIXTURE SCHEDULE						
MK.	DESCRIPTION	MANUFACTURER	MODEL NUMBER	LAMPS		
				LAMP CODE	NO.	
A	SUSPENDED FIXTURE	WILLIAMS	AB2-8-8-32-S-PS-EB4/4-120	F3278	8	250 120V
B	TOILET ROOM FIXTURE	KICHLER	450B7PM	60 KRYPTON T3	2	120 120V
C	CAN LIGHT	HALO	H272ICAT	CFQ26W CFL	1	26 120V
D	EXTERIOR EMERGENCY LIGHT	DUAL-LITE	PGZ	LED - SUPPLIED W/ FIXTURE	N/A	N/A 120V
EXIT LIGHT		SURE-LITES	LPX7SD2090	LED - SUPPLIED W/ FIXTURE	N/A	N/A 120V
EMERGENCY LIGHT		SURE-LITES	CC4-WH	SUPPLIED W/ FIXTURE	N/A	N/A 120V

CIRCUIT BREAKER PANELBOARD SCHEDULE

DESIGNATION: P1		TYPE: 00		MAINS: MLO		AMP: 200	
LOCATION: HALLWAY		MOUNTING: RECESSED		VOLTAGE: 120/240V/1ø		KAC: 10	
CIRC NO	LOAD DESCRIPTION	BRKR AMP	PHASE A	PHASE B	BRKR AMP	LOAD DESCRIPTION	CIRC NO
1	RECEPTACLES	20	•	•	20	TOILET ROOM RECEPTACLES	2
3	RECEPTACLES	20	•	•	20	RECEPTACLES	4
5	RECEPTACLES	20	•	•	20	OUTDOOR RECEPTACLES	6
7	LIGHTING			•	2-60	HEAT PUMP	8
9	LIGHTING			•			10
11	AHU	2-50		•	2-60	HEAT PUMP	12
13				•			14
15	AHU	2-50		•	2-30	WATER HEATER	16
17				•			18
19	SPARE	20		•	20	SPARE	20
21				•			22
23				•			24
MAXIMUM PANEL LOAD: 31,765 VA		MAXIMUM PHASE LOAD: 16,965 VA		MAX PHASE AMP: 141.4 A			

EXHAUST FAN SCHEDULE

MARK	MANUFACTURER	MODEL NUMBER	MOUNTING	CFM	EXTERNAL STATIC PRESSURE INL. WC	SERVICE VOLTS/Ø	MOTOR HP	ELECTRICAL			REMARKS
								ELEC. DISC.	CONDUIT BACKLASH DAMPER	WALL CAP	
EF-1	LOREN COOK	GEMINI GC-124	CEILING	75	0.35	120/1Ø	65W		•		STEEL GRILLE, W/ ROOF CAP

GRILLES, REGISTERS, & DIFFUSERS

MARK	MANUFACTURER	MODEL NUMBER	NECK SIZE	DAMPER	SUPPLY	RETURN	TYPE	EXHAUST	CYC. BD.	T-BAR	OTHER	COLOR	PRIMED	OTHER	REMARKS
A	TITUS	S300FS	20"x6"	ASD	•							•			DUCT-MOUNTED
B	TITUS	350RLF1	20"x36"		•							•			

HEAT PUMP SCHEDULE

MARK	MFG.	AIR HANDLER/COIL	AIR FLOW			SEER	HEAT PUMP MODEL	TOTAL CAPACITY MBH	SUPP. ELECTRIC HEAT	ELECTRICAL			REMARKS
			NOMINAL CFM	O.A. CFM	E.S.P.					SERVICE VOLTS/Ø	MCA	MOCP	
HP-1	YORK	AHV60D	1635	250	0.5"	15	YHV60	57	9.6 kW	240V/1Ø	35.3	60A	5-TON, 1" FILTER & RACK, LOW TEMPERATURE CONTROL

SILVER SPRINGS PARK
SPRINGFIELD, MO

PLACE MAKERS

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REVISIONS: PROJECT NUMBER: -
DATE: 9/4/24
SHEET NUMBER:

PME101