



LANDMARKS BOARD

CITY OF SPRINGFIELD
P.O. BOX 8368
SPRINGFIELD, MISSOURI 65801
417-864-1031

City of Springfield

INTEROFFICE MEMORANDUM

DATE: August 28, 2014
RE: Landmarks Board meeting

Please, find attached the agenda for the Landmarks Board meeting on **September 3, 2014**. A tour will be held on Wednesday afternoon at 4:30 p.m. We will meet in front of the Busch Municipal Building.

A handwritten signature in cursive script that reads "Daniel Neal". The signature is written in dark ink and is positioned above the printed name and title.

Daniel Neal
Senior Planner

Landmarks Board

City of Springfield - Historic City Hall - Council Chambers
830 Boonville Avenue

September 3, 2014

5:30 p.m.



Laurel Bryant
Real Estate Representative
Chair

David Eslick
Historian Representative

Ann Bayliff
At-Large Representative

Len Eagleburger
At-Large Representative

Gary Bishop
Walnut Street Representative

David Brown
Mid-Town Representative

Joel Thomas
Architect Representative

Nancy Crandall
At-Large Representative

- I Roll Call**
- II Minutes**
 - A. July 30, 2014**
- III Unfinished Business**
 - A. Certificate of Appropriateness**
 - B. Certified Local Government Review**
 - C. Pre-Application Review**
 - 1. 1701 S. Fort: Proposed rezoning, subdivision and new construction**
- IV New Business**
 - A. Certificates of Appropriateness**
 - 1. 300 E. Commercial: On the north storefront, install a new cornice**
 - 2. 224 E. Commercial: Reduce the scope of previously approved garage**
 - 3. 406 W. Commercial: Construct a new wood deck on north side**
 - 4. 500 E. Walnut: Construct a new garage and crematorium**
 - B. Certified Local Government Review**
 - C. Pre-Application Review**
- V Communications**
- VI Reports**
 - A. Report on committees**
 - 1. Application**
 - 2. Demolition**
 - 3. Historic Sites and Districts**
 - a. Mid-Century Modern – Potential Historic Structures**
 - b. Ozarks Rock Structures Survey**
 - 4. Communications**
 - 5. Awards and Recognition**
 - 6. Design Guidelines**
 - B. Administrative approval of C of A's**
- VII Any other matters that fall under the jurisdiction of the Board**
 - 1. Vice-Chair Elections**
- VIII Adjournment**

Note: In accordance with ADA guidelines, if you need special accommodations when attending any City meeting, please notify the City Clerk's office at 864-1443 at least 3 days prior to the scheduled meeting.

MINUTES OF THE LANDMARKS BOARD

DATE: July 30, 2014

TIME: 5:30 pm

The regular meeting and public hearing of the Landmarks Board was held on the above date and time in City Council Chambers, third floor of Historic City Hall with the following members and City of Springfield staff in attendance: Laurel Bryant (Chair), Ann Bayliff, David Eslick, Len Eagleburger, David Brown, and Nancy Crandall; Daniel Neal, Senior Planner; Duke McDonald, Assistant City Attorney; Sandy Goddard Administrative Assistant. Absent: Gary Bishop & Monica Stegall

ROLL CALL:

Mr. Neal noted that he has received the resignation of Monica Stegall.

APPROVAL OF MINUTES: The minutes of July 2, 2014 and July 16, 2014 were approved unanimously.

UNFINISHED BUSINESS: None.

Mr. Joel Thomas, Landmark's member arrived to the meeting.

NEW BUSINESS:

A. Certificates of Appropriateness:

1. 300 E. Commercial: Rehabilitate the building exterior for mixed uses.

Ms. Bryant opened the public hearing.

Mr. Richard Burton, 326 N. Boonville, commented he is the Historic Preservation Consultant on the two projects the Board is reviewing this evening at 200 and 334 E. Commercial Street and presenting those on behalf of the property owners. Mr. Burton commented that he would outline the eight (8) areas of proposed work. The property is a brick late Victorian two story commercial building constructed in 1885. Items one (1), two (2), five (5), and eight (8), the brick work, re-pointing the masonry, repairing the metal ornamentation, repairing the second story entrance on the Robberson Street side, the side west elevation and the roof are all matters of routine maintenance restoration intended to sustain the historic fabric and to support the adaptive reuse of the property. Item three (3) is a window replacement for the first story and second story windows and they are proposing a repair or replacement in kind of the original wood frames and wood detail; the original limestone and cast iron window sills and then using a Kolbe clad wood window replacement sash, a single light replicating the detail of the existing windows. Mr. Burton stated the two projects are being supported through participation of the Federal and State Historic Preservation Tax Credit Programs and in advance of submitting the Certificate of Appropriateness, they submitted a technical assistance review with the National Park Service their proposal for the window replacements and they are

in agreement that this is an appropriate approach and within the Secretary of Interior Standards for window replacement. Mr. Burton stated he was told they are frequently approving clad window sashes in part because of the advances in that technology and the improvement in products that are currently available. Item four (4) is reconstruction of the store fronts. There is a great deal of inconsistency between the storefronts and they are proposing putting within the original dimensions of the store fronts aluminum frame and glass windows and glass transoms, retaining the recess entrance on the front, reestablishing the transoms, and in the north and center storefronts they will retain the existing concrete bulkhead. There is some tile overlay on the front they will remove and then smooth surface that bulkhead. They will replace the tile on the floor of the recessed entrance in the front. The tile on the side entrance storefront will be retained and on the south storefront they will rebuild a wood frame and wood bulkheads into those locations. Item six (6) is to put code compliance stairs at the secondary entrance and to south storefront on the west elevation necessary to comply with means of egress into the building. It will be a single concrete platform that runs parallel to both the second story entrance and the storefront entrance with an open metal rail. Item seven (7) is at the rear elevation there is a door on the first floor and a window on the second story on the east side of the elevation and they are proposing infilling partially the bottom portion of those openings with brick; the brick will be recessed so it will retain the original dimensions of those openings. Mr. Burton stated they will put wood frame windows in there. The cast door plate there and there is a cast iron window sill on the up store window and those will be retained in place and they will build infill on top. It is honoring those original dimensions. Things like clad windows are reversible. Mr. Burton asked for approval and questions.

Ms. Crandall clarified they want to take the door out because they can put an apartment on that floor and you want it out for safety reasons and the tenants would not park in the alley, they would have to park elsewhere so they will not be entering or exiting through the alleyway.

Mr. Burton said yes.

Mr. Eslick asked about the aluminum on the storefront, when it was replaced.

Mr. Burton stated it was prior to 1980 adding there are numerous properties on the street with the aluminum storefronts

Ms. Bryant questioned if the aluminum windows could be painted or fade.

Ms. Joan Hand, PO Box 103, Turners, MO. 65765 commented she is the architect for the project. The aluminum cladding has a kinear coating which is resistant to fading. They are hoping to use a lighter color to blend in with the strip balancing that is the side of the replacement sashes and also to look appropriate with the red orange brick.

Ms. Bayliff asked why the tile at the storefront is being replaced asking what they will do about the tile that goes up the wall

Mr. Burton stated it is tile cracked and slightly uneven but will be replaced in kind and tile on the wall will be removed off the bulkhead and smooth face the bulkhead. Mr. Burton stated their objective is to get consistency between the multiple storefronts.

Ms. Bryant questioned the south storefront above the transom the long piece would look similar on the front elevation.

Mr. Burton commented that above the primary north elevation there is a plastered area where something originally existed which has been removed and they will need to do some forensic demolition to determine what is behind the plaster. Mr. Burton stated it is part of the application to do that demolition. There is an exposed structural beam behind that they could expose if they didn't put cornice on top of it which would be consistent with several buildings on the street. If they did put a metal cornice they would use the one on the side as a means of interpreting the replacement. Mr. Burton said they will come back with a separate Certificate of Appropriateness on that one feature.

Ms. Bayliff asked about the back door that they are proposing to build up as it is original to the building; why does that have to be done.

Mr. Burton commented for security reasons. They will be building an apartment on that level. They will be keeping the impression of the original opening. There will be a full detail of that opening size by recessing the brick behind the wall face. They will be infilling a portion of the wall up to the height of a window and putting a window there. That window opening will be consistent with the window opening immediately to the left.

Mr. Eslick asked the plans for the building.

Mr. Burton stated the north storefront and center storefront will be retail space. The south storefront will be a loft apartment and then they will put three (3) one bedroom studio lofts on the third floor. There is free city parking further down south.

Ms. Bryant closed the public hearing.

Ms. Bayliff expressed concern about the door being closed off; it is original to the building. Ms. Bayliff also commented that the aluminum clad windows have been denied in the past to applicants, but the Commercial Street Guidelines which the Landmarks Board follow say no. Ms. Bayliff said she has issue with doing that unless the guidelines that they follow say it is allowed.

Ms. Crandall asked how the tenants would enter the apartment on the rear of the building citing a concern with doors and windows for fire exits.

Mr. Neal stated yes they would enter by the west door and the windows would be sized for ingress and egress in an emergency.

Ms. Bryant stated she would like to see wood windows used on the main storefront and the main structure. Ms. Bryant asked Mr. Neal if he had any communications with the State to share with the Board.

Mr. Neal said that as part of this application he contacted the State Historic Preservation Office and they did say that they do see that aluminum clad are appropriate in certain applications as long as the profiles dimensions are similar to the original sashes. The applicant's proposal to retain the wood framing and come back with the aluminum sashes, from the State's perspective, would be something they would consider and indicated they may even approve as part of an application for historic tax credits and they are one step in that process in getting the approval from the National Parks Service. Mr. Neal said the State has been approving those in applications for several years.

Mr. Eslick asked the color of the clad windows.

Ms. Hand commented they would not match the brick but they would be a light color, not white, but compatible.

Ms. Crandall noted for clarification on the south side the window on the right, second floor will be bricked up also.

Ms. Hand said there will be a kitchen behind the wall and the counter height is at three (3) feet so the sill needs to be brought up to forty-two (42) inches so they will put a window above the forty-two (42) inch sill and then infill the brick below it but recess it from the face of the exterior brick so you can still see the original opening. The cast iron sill that is there will remain.

Mr. Eslick asked if it would look like the window profile.

Ms. Hand said yes. There will no trim detail; it will be set in the brick so you see the original opening and that will be true for the window on the first floor also.

There was discussion on bricking the door.

Mr. Eslick clarified with Ms. Bayliff that bricking the door is acceptable but not the window.

Ms. Bayliff said yes.

Mr. Burton stated you would be able to tell a door was there. This is a technique used in a lot of projects and it's not uncommon in a building when you have openings on a rear elevation, non-primary to the building for adaptive reuse purposes. The idea is to respect the original dimensions of the door in its location.

Ms. Bryant noted that the guidelines they have to go by in Commercial Street may be somewhat dated, asking Mr. Burton if it is an option to do a wood window.

Mr. Burton stated that what he has been asked to do is if there is a concern with the clad windows, to remove that item from the Certificate of Appropriateness so he can talk more with the owner.

Ms. Bayliff asked if the door is going to be bricked up for security, aren't there security doors they could use.

Mr. Burton stated for security and wall space. That particular location will be a bedroom in the loft.

Ms. Crandall noted her concern is bricking up the kitchen window, more than the door. To remove that window for a kitchen counter; it seems they could find a different way to design the kitchen.

Mr. Eslick stated there was another case where an applicant raised a window sill to accommodate a cabinet. Mr. Eslick stated it is becoming more frequent when the buildings are reviewed to put the lofts in and to make the space livable they have to reconfigure some of the spaces. The certificate should not be denied because it's explained why they are doing it and if you leave the profile of the door and it is something that is removable.

Mr. Burton commented the intent is to retain the finished appearance of the original fenestration, the symmetry of the openings and the approach they are taking will allow that to be retained. The rear elevation will have its balance in place.

Ms. Bryant asked for discussion on the windows.

Mr. Eslick said that if SHPO and the National Parks are approving in the benefit of using aluminum clad windows; the materials have improved adding he does not see that as a problem.

Ms. Bayliff stated she does see that as an issue, saying she would like it to all be wood because that is what the guidelines state.

Ms. Ellen McLean, 224 East Commercial commented that she is one of the owners of the Savoy Building. Ms. McLean asked about the aluminum clad windows; they recently went through the process of historically renovating the Savoy Building and received their tax credits last year. The Parks Service and State were adamant about having all wood. They had to replace all their windows in similar shape to the Commercial Street building here. Ms. McLean stated they do not want to hold back progress if the aluminum clad really look the same as what the wood is, adding she was unclear with the earlier statement that for years the stated didn't have issues with the wood.

Mr. Neal stated he is aware of other projects that have been approved over the years commenting they look at each particular case and he is not certain how they looked at Ms. McLean's case differently than some of the other buildings. Mr. Neal stated in this particular case he had the State look at this application and they said that it would be an option they would at and consider approving.

Mr. Eslick asked Mr. Burton if they could take this out of the application and Certificate and consult with the owner on the possibility of using wood windows.

Mr. Burton stated that if there is a Board consensus to not approve clad windows then he would request they remove that one item from the application and approve the other seven items so they can proceed. Mr. Burton said if they forward an application to SHPO and the National Parks Service recommending clad windows and they don't approve it, they will not give up the forty-five (45) percent tax credits and say no. That's why he approached them before coming to the Landmarks Board for consideration to make sure that

is something they would agree to and they gave him the input that that would be an acceptable approach to do it. Mr. Neal verified that somewhat in the conversation independently with the State Historic Preservation Office.

Mr. Eslick noted he is would ask that Mr. Burton remove the windows from the Certificate and communicate with the owner about using wood windows; the guidelines say wood windows.

Mr. Burton said the Board could conditionally approve that item substituting wood and then he could come back to Mr. Neal and say whether the owner has agreed to do that.

The question was asked who supersedes what with the guidelines if there is a conflict, Commercial Street Guidelines, Federal or State Guidelines.

Mr. McDonald stated that whatever decision the Board makes rules the day. The State or Federal Government will not come in and overrule your decision. The Board makes a decision on what they determine is appropriate and vote accordingly.

Mr. Burton said to remove the item from the Certificate and he will talk with the owner.

Ms. Bryant noted it is an interesting position they have being in conflict with SHPO and National Parks and Secretary of State Standards and the Commercial Street Guidelines and it brings to light that there may need to be some updating of the Commercial Street Guidelines.

Mr. Eslick motioned to **accept** the Certificate of Appropriateness for 300 E. Commercial with item number three (3) removed from the Certificate. Ms. Bayliff **seconded** the motion. The motion **carried** as follows: Ayes: Bryant, Eslick, Bayliff, Eagleburger, Brown, Thomas, and Crandall. Nays: None. Abstain: None. Absent: Bishop.

2. 334 E. Commercial: Rehabilitate the building exterior for mixed uses.

Mr. Richard Burton, 326 N. Boonville, commented he will speak briefly. The scope of this project is in line with the project the Board reviewed for 300 E. Commercial. Mr. Burton stated that he would go ahead and remove item two (2) which calls for remediation of the first and second story windows and again they are recommending the clad wood sashes. The one item that is different in this application from the other building is item number five (5) at the rear of the building there is an existing wood partial staircase to the second floor and there is a code requirement to have a means of egress from that original back door opening. They are recommending a new exterior steel switchback platform stairs to the second story with an open rail. It is consistent with other work that has been done on rear elevations on Commercial Street.

Ms. Bryant closed the public hearing.

Ms. Bayliff motioned to accept the Certificate of Appropriateness for 3334 E. Commercial with item two (2), being removed from the application. Mr. Brown seconded the motion. The motion carried as follows: Ayes: Bryant, Eslick, Bayliff, Eagleburger, Brown, Thomas, and Crandall. Nays: None. Abstain: None. Absent: Bishop.

C. Pre-Application Review

1. 1701 S. Fort: proposed subdivision and new construction.

Mr. Rick Wilson, Wilson Surveying, commented they have a survey but they do not have any proposed construction or demolition planned. What has been suggested is Better Health Care who owns the manor at Elfindale and Southcreek and a number of the health facilities at Elfindale, desire to acquire 4 ½ acres on the east of side of Lot 4, which is the lot that contains the mansion and the nunnery or the school. Mr. Wilson showed the approximate dividing line on the site display, so what they are discussing this evening is that area. It has a parking lot and a lot of open ground and it also has the Hermitage House which they would propose to retain and use as an office. Mr. Wilson stated they would be back in front of the Board with some rehab ideas on what they might be able to do with that. Before the Vetter's move forward with acquiring this property, they want to know if they will be able to use it the way they want. They want to do a care facility, supervised living facility, similar to Southcreek and that is as far as they have got.

Mr. Eslick asked if the new structure would be similar.

Mr. Wilson stated they anticipate it will be similar to Southcreek.

Mr. Eslick said a concern is the property is an historic site and the Mansion is visible through the gate and down the road. To change the landscape, the streetscape there, if it were similar to the one that's to the north of the entrance, that would not be too bad.

The Board questioned if the view would be obstructed by construction and expressed concern regarding the care facility overpowering or detracting from the historic aspect of Elfindale.

Mr. Wilson commented they will retain the historic entrance and widen the drive for access. There will be a separate access for the care facility. They will retain the existing parking lot. The Hermitage House will receive some restoration and they propose to acquire four (4) acres to the east which is bare ground today. Mr. Wilson stated they will retain all features significant to the property. There might be elements added to the new construction to help blend with the preserved architecture which is diverse.

Mr. Neal stated this property wasn't a district but it had binding review from the Landmarks Board. The Planned Development that was approved for this by City Council in 1984 gave the Board the ability to review this and review any new construction that would take place here. The zoning is what gives the Board the authority in this matter because the land use of this property says that the Board is to review any exterior changes to it. With this proposal, the applicant will have to rezone the property and staff wants similar language from the PD in this new zoning district they created through an overlay district or by amending the PD. Those were a couple of ideas that were proposed. As part of this process the Board will

need to identify what elements in this new tract, Tract B, are going to be important for preservation to the Board and giving new ideas to Mr. Wilson and staff on what the new construction expectations are from this Board.

Ms. Bryant said this is difficult to review and state what the Board would consider.

Mr. Wilson stated they are bringing to the Board the concept of what they want to do while working with the Landmarks Board. The two main features they see is the entry with its lane and the Hermitage House. The property will need to be rezoned as it is not zoned for a care facility and more than likely they will ask for office zoning which is the lowest zoning possible for a care facility with an historic overlay which they would need the Landmarks Board help them craft.

Mr. Neal clarified that they have two options; they can do a Conditional Overlay District that has the same language that is in the current Planned Development or a Landmarks Overlay could be adopted and it needs to be determined if they are one and the same or this current PD has more restrictive language in it. Mr. Neal stated he would like to make certain the Board has the same protections and authority you currently have when they rezone it.

Mr. Wilson stated they are more than willing to work with the Board and don't want to leave the impression they are giving them an open checkbook, however, this is unique in his experience and he needs assistance. This is an area that is sensitive to him and wants to see it develop in a more compatible manner than the commercial property along Sunshine.

Mr. Brown believes this will improve the neighborhood.

Mr. Wilson discussed the elevations and a water channel running through the property. The bridge is not on the register and there are concerns about the bridge and have it evaluated how well it will stand up to heavier delivery trucks.

Mr. Neal noted the bridge may be something the Board wants to take a look at. Mr. Neal suggested taking a tour of the property and meeting Mr. Wilson or Mitch Elliott for a more visual overview of the site. Mr. Neal also noted that the Board doesn't get involved with subdivision of property but the zoning is what will control the land use of it which will include the exterior.

A tour will be scheduled for Tuesday, August 19, 2014 at 5:30 pm meeting at the parking lot on site.

It was determined that the Mid-Century Modern – Potential Historic Structures would stay on the agenda.

Mr. Neal commented that Ms. Stegall would like to continue working on the project and Trinity Lutheran Church would still be the target nomination for the Board.

Ms. Crandall volunteered to help with the Mid-Century Modern Structures.

COMMUNICATIONS:

Ms. Bryant reviewed the Route 66 Mural information she sent to Mr. Neal noting the Chair of the Landmarks Board in Joplin is doing some Route 66 murals in Galena and Joplin. They are not painted, but are tile and graphics applied to the tile.

Mr. Eslick noted the Route 66 Festival is on the 9th of August, which is a car show, expecting 300 cars and four thousand (4000) people. Friday evening will be the second annual Best Western Route 66 Rail Haven Motel cruise, from Rail Haven at Glenstone and St. Louis to the future location of the College Street Park to unveil a Red's Giant Hamburg sign. The cruise will then come back to the parking lot between the Expo Center and the Visitors and Convention Center and unveil a Route 66 visitors sign. There will be a movie on the side of the Expo Building, and the classic cars can park in the parking area there. The movie is "Back to the Future". The Ozark Mountain Daredevils will be at the Giloz on Saturday. Mother Road Antiques Unique Flea Market on College is open and has a great collection of Springfield historic paraphernalia.

REPORTS:

Any other matters that fall under the jurisdiction of the Board.

Ms. Bryant asked for nominations for the Landmarks Board Interim Vice-Chair person.

Ms. Bayliff asked if the Vice-chair elected would serve only till November till a new Chair and Vice-chair would be chosen. It would be an interim vice-chair.

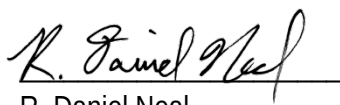
Mr. Neal said yes.

Mr. Eagleburger nominated Ann Bayliff as vice-chair.

Mr. Eslick nominated Gary Bishop as vice-chair.

Ms. Bryant noted they would vote September 3, 2014.

There being no further business, the meeting was adjourned at approximately 6:50 pm.


R. Daniel Neal



LANDMARKS BOARD

CITY OF SPRINGFIELD
P.O. BOX 8368
SPRINGFIELD, MISSOURI 65801
417-864-1031

STAFF REPORT

COMMERCIAL STREET HISTORIC DISTRICT

DATE: August 28, 2014

BACKGROUND:

LOCATION: 300 E. Commercial Street

APPLICANT: Northbridge, LLC

PROPOSAL:

1. On the area above the north storefront, remove the existing plaster surface, install a segmented metal cornice and re-point/repair masonry exterior wall surfaces as described and shown on attached description of proposed work and elevations.

RECOMMENDATION:

The request be **approved**.

FINDINGS:

1. This structure is considered a contributing structure in the Commercial Street National Historic District and Commercial Street Local Historic District.
2. The Commercial Street Design Guidelines state that where restoration of cornices is not feasible, reconstruct to match original details and materials.

PROJECT COORDINATOR:

Daniel Neal

Senior Planner

ATTACHMENT A
BACKGROUND REPORT
300 E. Commercial

APPLICANT'S PROPOSAL:

On the area above the north storefront, remove the existing plaster surface, install a segmented metal cornice and re-point/repair masonry exterior wall surfaces as described and shown on attached description of proposed work and elevations (see applicant's description of proposed work for more details).

STAFF COMMENTS:

1. The Secretary of the Interior's Standards for Rehabilitation state the historic character of a property will be retained and preserved. The removal of distinctive materials or alteration of features, spaces and spatial relationships that characterize a property will be avoided. The Landmarks Board will need to determine whether the new replacement fabricated cornice is appropriate for this building (read the applicants description of proposed work for more detail).
2. The Secretary of the Interior's Standards for Rehabilitation state deteriorated historic features will be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature will match the old in design, color, texture and, where possible, materials. The Commercial Street Design Guidelines state that where restoration of cornices is not feasible, reconstruct to match original details and materials. Staff believes that the fabricated cornice will suffice if the original details are kept.
3. All proposed work is required to receive a building permit to be issued by Building Development Services. All other requirements of the COM-1 District, Zoning Ordinance and Building Code shall apply.

ATTACHMENT B
PERTINENT DESIGN GUIDELINES
300 E. Commercial

SECRETARY OF THE INTERIOR'S STANDARDS

1. A property will be used as it was historically or be given a new use that requires minimal change to its distinctive materials, features, spaces, and spatial relationships.
2. The historic character of a property will be retained and preserved. The removal of distinctive materials or alteration of features, spaces and spatial relationships that characterize a property will be avoided.
4. Changes to a property that have acquired historic significance in their own right will be retained and preserved.
5. Distinctive materials, features, finishes and construction techniques or examples of craftsmanship that characterize a property will be preserved.
6. Deteriorated historic features will be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature will match the old in design, color, texture and, where possible, materials.

COMMERCIAL STREET DESIGN GUIDELINES

Storefronts:

Maintain the storefront within its original opening. The storefront should not dominate the facade, but respect it.

Maintain the traditional recessed entry.

Maintain the traditional degree of glass in the storefront.

Minimize the amount of and type of decoration on the facade.

Building materials:

If new and old materials must be brought together, try to link them.

Where linking is not possible, achieve a controlled appearance, at junction of materials.

ORDINANCE REVIEW

In addition, the *Springfield Zoning Ordinance* states:

In the event the Landmarks Board concludes that the request, if granted, will have a detrimental effect upon the Historic Landmarks or Historic District or any adverse effect on an historical or architectural resource, then the Landmarks Board shall deny the request for a certificate.

ATTACHMENT C
ARCHITECTURAL SIGNIFICANCE
300 E. Commercial

ARCHITECTURAL SIGNIFICANCE:

1. The Commercial Street Historical Site District Architectural Survey that was prepared for this building in 1979 stated the following:

This building is a two story wood frame and masonry load bearing structure. It has a basement with stone foundation walls.

The exterior is typical of most others in the area except the frieze detail is much more intricate. The front entrance is ceramic tile and the storefront windows are copper trimmed. Below the windows are ceramic tile. All windows on the second floor are wood framed.



Application for Certificate of Appropriateness

E-PLANS INSTRUCTIONS

PLEASE FOLLOW STEPS 1 & 2 BEFORE SUBMITTING THIS APPLICATION

1. Pre-apply online at:
<https://www.springfieldmo.gov/payments/PLNPermitInfo.aspx?ptype=8005>
2. Wait for a "pre-screen complete" e-mail from the City of Springfield with instructions for e-plans review process.
3. Complete this application and upload a digital (pdf) copy through e-plans.

Office Use Only

Date Filed:

Received By:

Review:

- ☐ Administrative
- ☐ Landmarks Board

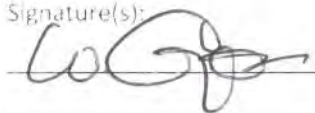
The applicant seeks to show the following:

1. That the proposed work will be done in conformance with the Secretary of Interior Standards for Rehabilitation
2. That the proposed work will be done in conformance with any applicable design guidelines or standards that the Landmarks Board has established and adopted. (Commercial Street and Walnut Street Districts and Mid-Town Neighborhood historic sites only)
3. That the proposed work will be done in conformance with all other relevant requirements of the Springfield Zoning Ordinance.

THEREFORE, applicant requests that the Certificate of Appropriateness be approved for the property as proposed in this submittal.

We, the signers of this application, do attest to the truth and correctness of all facts and information presented with this application and understand that, if approved, all work must be done under a building permit issued by the Department of Building Development Services. Approval of this application does not constitute approval of a building permit, nor does it certify that the zoning is appropriate for the proposed uses. These are separate processes that must be initiated by the applicants. We further understand that approval of this application does not constitute approval for tax certification under the Tax Reform Act of 1986 or amendments thereto.

Signature(s):

 Northbridge LLC

Date:

8/19/2014

Please type or print name(s) clearly:

W. Craig Hosmer

Northbridge, LLC

Exhibit A: REQUEST FOR CERTIFICATE OF APPROPRIATENESS

Please use this form only. Form may be photocopied. Please type or print.

For instructions, see pages 5-8

1. Property address: 300 East Commercial

APPLICANT INFORMATION:

2. Name of current property owner: Northbridge, LLC

If corporation: Corporate Official: W. Craig Hosmer

Mailing Address: 313 South Glenstone: Springfield, MO

Zip Code: 65801 Telephone: 417-869-9999 Fax: 417-869-2099

E-mail: Craig.Hosmer@hkrlawoffice.com

3. AUTHORIZED REPRESENTATIVE:

(The representative should have the authority to commit the applicant to changes that may be suggested by the Board):

Name: Richard Lee Burton, Wahoo Consulting Solutions

Signature: *Richard Lee Burton*

Mailing Address: 326 North Boonville; Springfield, MO

Telephone: 417-380-4218 E-mail: rlbuva@yahoo.com

Zip Code: 65806 Fax: _____

(Corporate Seal)

4. BUILDING DEVELOPMENT SERVICES DISCUSSION: (Before submitting this application, the applicant should discuss the project with BDS. Their phone number is 417-864-1055.)

Date of discussion: 3/26/14 (Review Team)

NOTE: The property owner must either sign this application or give City staff a power of attorney showing that another person is authorized to sign.

Exhibit B: DESCRIPTION OF PROPOSED WORK & SUPPORTING INFORMATION

Please use this form only. Form may be photocopied. Please type or print.

1. **TYPE OF WORK PROPOSED:** (Check all that apply. All work items require a written description of the proposed work. Additional required supporting information is denoted after each item and **must** be attached. See Instructions, page 5. **Maximum size for drawings: 11 x 17 inches.** NOTE: Even though you check the "Other" or the "New Construction" box, you must still give information on individual features such as windows, doors, etc., included in a large project.)

- | | | |
|---|--|---|
| ☐ Addition (1, 2, 3, 7) | ☐ Handicapped Ramp (1, 2, 3) | ☐ Sidewalk (1, 3) |
| ☐ Awnings (2, 3, 4 or 5, 6) | ☐ New Construction (1, 2, 3, 7) | ☐ Siding (3, 4 or 5) |
| ☐ Building Relocation (1, 2, 3, 7) | ☐ Parking (1, 3) | ☐ Sign (1, 2, 3, 6) |
| ☐ Demolition (1, 2, 3, 7) | ☐ Porch (1, 2, 3) | ☐ Window (2, 3, 4 or 5, 6) |
| ☐ Door (2, 3, 4 or 5, 6) | ☐ Retaining Wall (1, 2, 3) | ☐ Archeological Site (1, 3, 8) |
| ☐ Fence (1, 2, 3, 5) | ☐ Roof-New (3, 4 or 5, 7) | |
| ☐ Guttering (2, 3, 4 or 5, 6) | ☐ Re-roof (3, 4) | |

- ☒ Other (specify): North Storefront: Plaster removal, masonry remediation, metal cornice installation

1 – Site Plans

2 – Elevations

3 – Photographs

4 – Sample of materials to be used

5 – Product literature

6 – Drawings

7 – Exhibit C – Why proposed work should be approved

8 – State historic Preservation Officer Comments

2. **DESCRIPTION OF PROPOSED WORK:** (attach additional pages if necessary)

The purpose of the proposed work is to remediate conditions above the transoms of the north storefront of the subject property at the primary north and side west elevations. Specifically, it results in the installation of a metal cornice, consistent with the building's original design.

The following provides a description of existing conditions and details proposed work (See attached drawings and sketch plan). All work is consistent with the Secretary of the Interior Standards for Historic Rehabilitation and the Commercial Street Historic District Design Guidelines.

(Continued)

NOTE: An application is considered incomplete until **all** supporting materials, as specified in Item 1 above, are attached. Incomplete applications will **not** be processed or scheduled for a public hearing.

2. DESCRIPTION OF PROPOSED WORK: *(Continued)*

1. Remove Existing Plaster Surface

The area above the north storefront at the primary north and side west elevations has a later-period plaster surface that significantly impacts the historic character and integrity of the building (*See Photos 1-3*). The following is proposed to address this condition:

- a. Remove existing plaster and metal mesh surface above the transoms of the north storefront at the primary north and side west elevations.

2. Re-point/Repair Masonry Exterior Wall Surfaces

Exploratory investigation indicates that the area beneath the existing plaster surface above the transoms of the north storefront at the primary north and side west elevations has various support structures and coarsed brick "layers" of varying materials and craftsmanship. The brick materials and mortar are in significant deteriorated condition, creating structural issues with the sustainability of the building (*See Exhibition C for discussion and Photos 4-7*). The following is proposed to address these conditions:

- a. Re-point all exterior brick wall surfaces, pending full plaster removal. Mortar joint color and profile to match existing. Any required replacement brick will be in-kind.

3. Install Segmented Metal Cornice

Exploratory investigation indicates that an original metal cornice was located above the transoms of the north storefront at the primary north and side west elevations (*See Exhibit C for discussion*). Metal storefront cornices were a common feature found on Late Victorian commercial buildings constructed on Commercial Street during the Late 19th Century. The building's cornice was removed at a later date. The following is proposed to address this condition:

- a. Install a custom-fabricated metal cornice above the transoms of the north storefront at the primary north and side west elevations. The proposed cornice will be segmented (3 segments at the primary north elevation and 2 at the side west). Cornice segments will be placed between the brick inverted pilasters extending down from the roofline. It will have a simple projecting profile reminiscent of the extant historic cornice located at the south storefront at the side west elevation and will be consistent with the design and scale of other similar historic features found within the Commercial Street Historic District (*See Photos 8-11*).

The proposed work currently indicates a cornice at a height of 20', rising to the top of a metal support beam. However, the final height will be determined on-site following full plaster removal. The cornice will cover the coarser brick found at the wall surface. It may rise to above a wood support beam, but will not rise to below the extant limestone windowsills.

An alternative to installing a custom-fabricated cornice would be to source a salvaged historic cornice that could be retro-fitted to the proposed profile. Local and regional architectural salvage businesses are currently being contacted.

Exhibit C: WHY PROPOSED WORK SHOULD BE APPROVED

The subject property is a contributing building of the Commercial Street Historic District (*NR listed 5/24/83, Building 47*). It is currently vacant and has been unused for an extended period of time. The long-term viability of the building is in question due to minimal maintenance and uncompleted previous rehabilitation efforts.

A Certificate of Appropriateness was presented to and approved by the Springfield Landmarks Board on 7/30/14 for work on the building's masonry, storefront, metal ornamentation, roof, and other features, exclusive of remediation of extant first- and second-story windows. In addition, the approved work included retaining and painting the plaster surface above the north storefront transoms at the primary north and side west elevations, pending an exploratory investigation via selective demolition agreed-to by the Landmarks Board.

An exploratory investigation was conducted on 8/06/14 by the project architect, contractor, and preservation consultant in collaboration with Springfield Building Development and Traffic Services. The following outlines key findings of the exploratory investigation (*See Sketch Plan and Photos 4-7*):

- The steel I-beam above the transoms, as evident from an interior view of the area, was not exposed from the exterior view.
- Several structural horizontal features span the area at varying heights, including a steel sill plate, a steel support beam, and a wood support beam.
- Exposed coarsed brick wall surfaces are located between the structural horizontal features and the original second-story limestone window sills above. The lower coarsed are of a more common brick and workmanship than the darker red, polished brick found exposed at the second-story above.
- The area above the transoms did originally have a metal cornice. A remnant of this historic cornice was found at the top of the steel support beam.
- Several courses (3-5 coarsed) of brick below the limestone sills have the same darker red, polished brick found exposed at the second-story above. These courses would not have been covered by the original metal cornice.
- The original height of the historic cornice cannot be determined without full removal of the existing plaster surface.
- The extant brick materials and mortar joints beneath the plaster surface are in a condition of significant deterioration. Removal of the plaster and remediation of the masonry surfaces are necessary to address structural support issues

The proposed work ensures the sustainability of the property, while supporting its historic rehabilitation for adaptive reuse. At the same time, it enhances its contribution to the historic character of the building and the Commercial Street district. Overall, the work retains the integrity of the property's historic design, materials, and workmanship.

The proposed work will be submitted, with the work comprehended in the Certificate of Appropriateness approved on 7/30/14, for review and approval by the State Historic Preservation Office and National Park Service under the state and federal historic rehabilitation tax credit programs. Proposed work for remediation of extant first- and second-story windows will be submitted to the Landmarks Board in a subsequent Certificate of Appropriateness application upon further consideration.

Attachments:

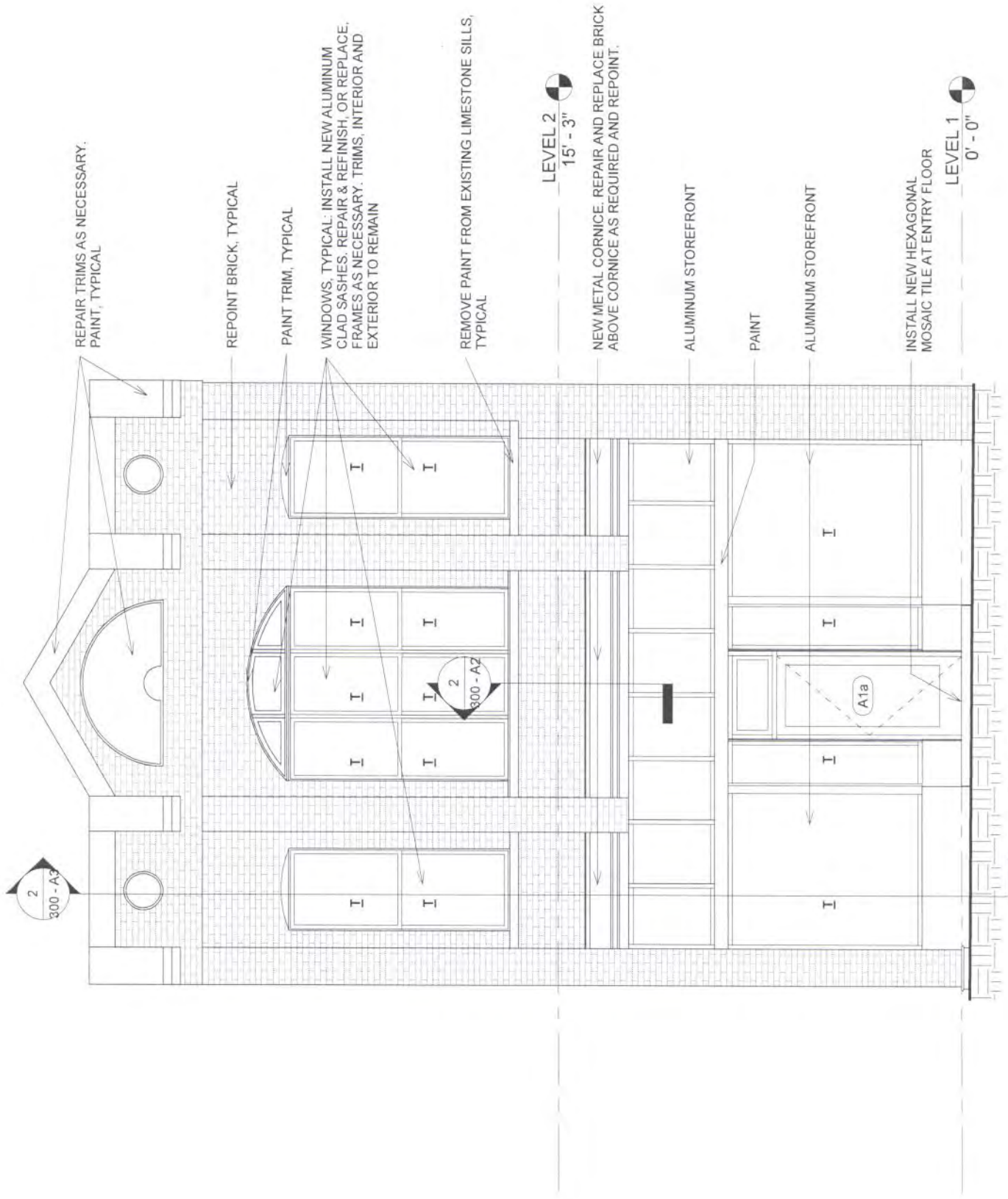
Drawing 1: Primary north elevation. Hand Architecture. Joan Hand, Architect.

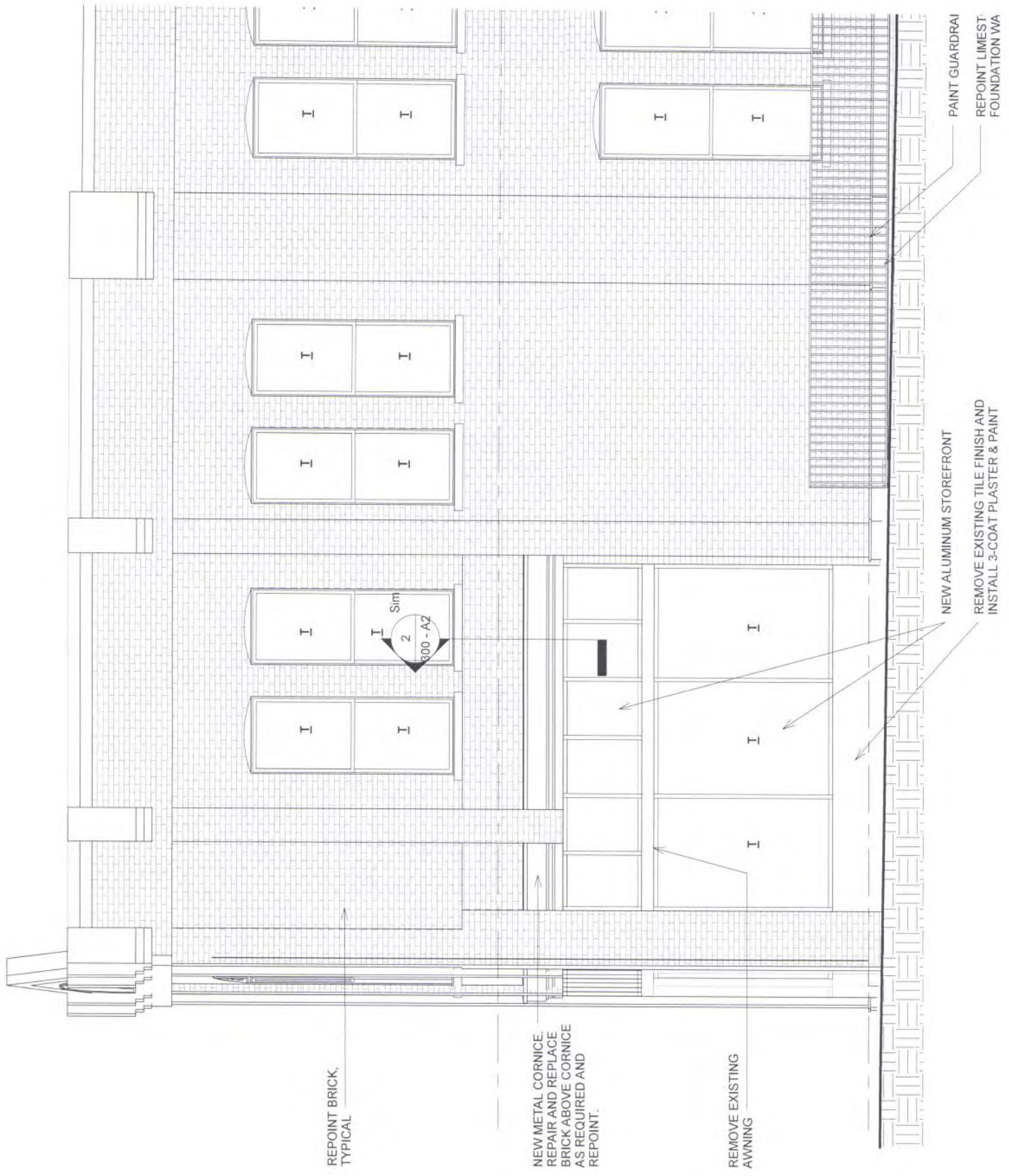
Drawing 2: Side west elevation (Partial view). Hand Architecture. Joan Hand, Architect.

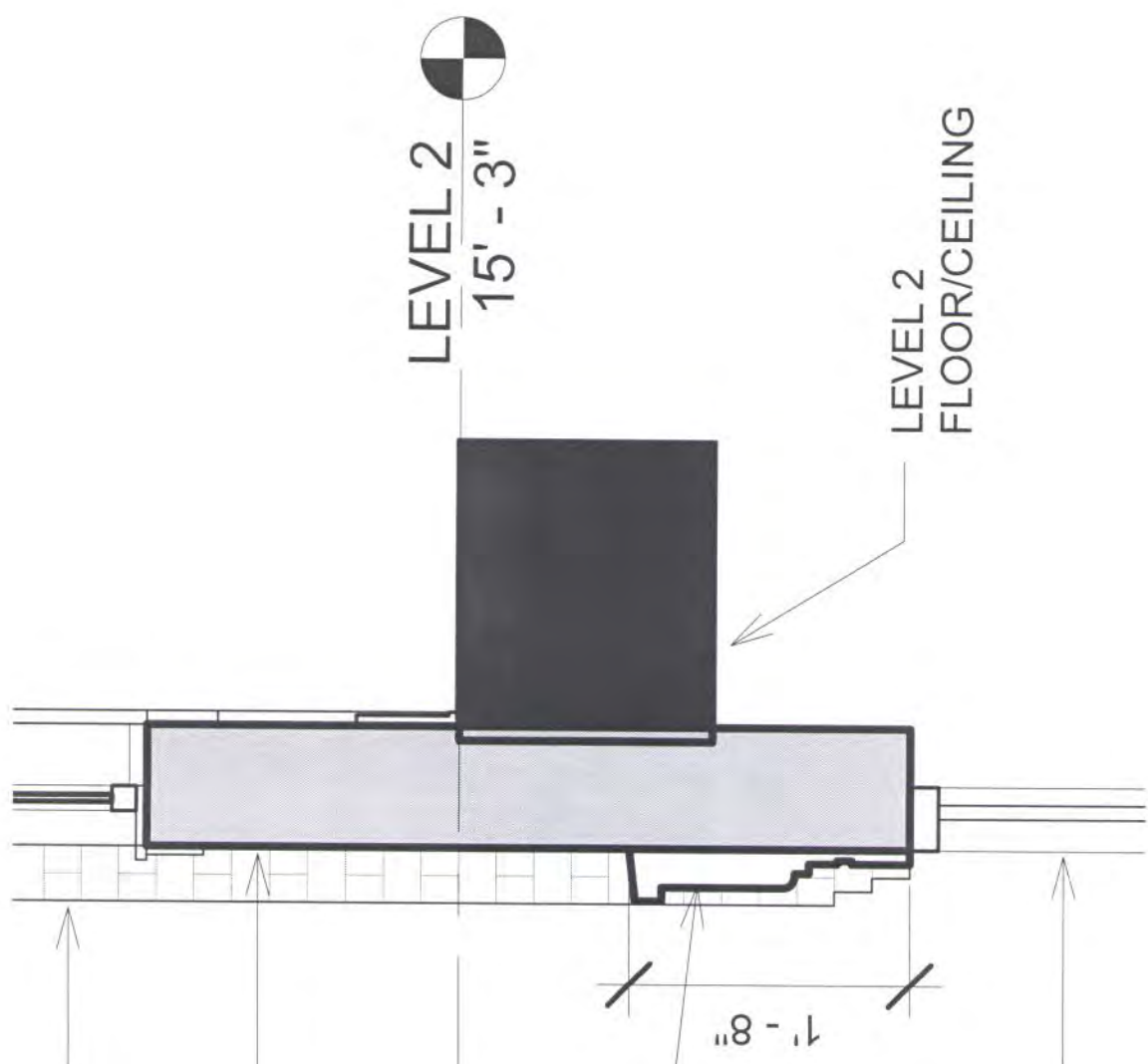
Drawing 3: Cross-section of profile and placement of proposed metal cornice. Hand Architecture. Joan Hand, Architect.

Sketch Plan: Wall surfaces and supports behind plaster area above transoms, based on exploratory demolition on August 6, 2014. Wahoo Consulting Solutions.

(Note: Drawings 1 and 2 have notes indicating use of clad wood wind sashes at the building elevations. This work is not being proposed at this time and, therefore, should not be considered within the scope of this Certificate of Appropriateness application.)







HOLD OUTSIDE FACE OF
METAL CORNICE BACK FROM
FACE OF BRICK PILASTERS

FACE OF BRICK

NEW 20" HIGH METAL CORNICE.
FINAL HEIGHT TO BE DETERMINED
ON-SITE AFTER REMOVAL OF
PLASTER. REPAIR AND REPLACE
BRICK ABOVE CORNICE AS
REQUIRED AND REPOINT. PROFILE
TO MATCH UPPER PORTION OF
EXISTING METAL CORNICE ON
ROBBERTSON ELEVATION, SOUTH
END. DRAWING IS SCHEMATIC
ONLY, FIELD VERIFY.

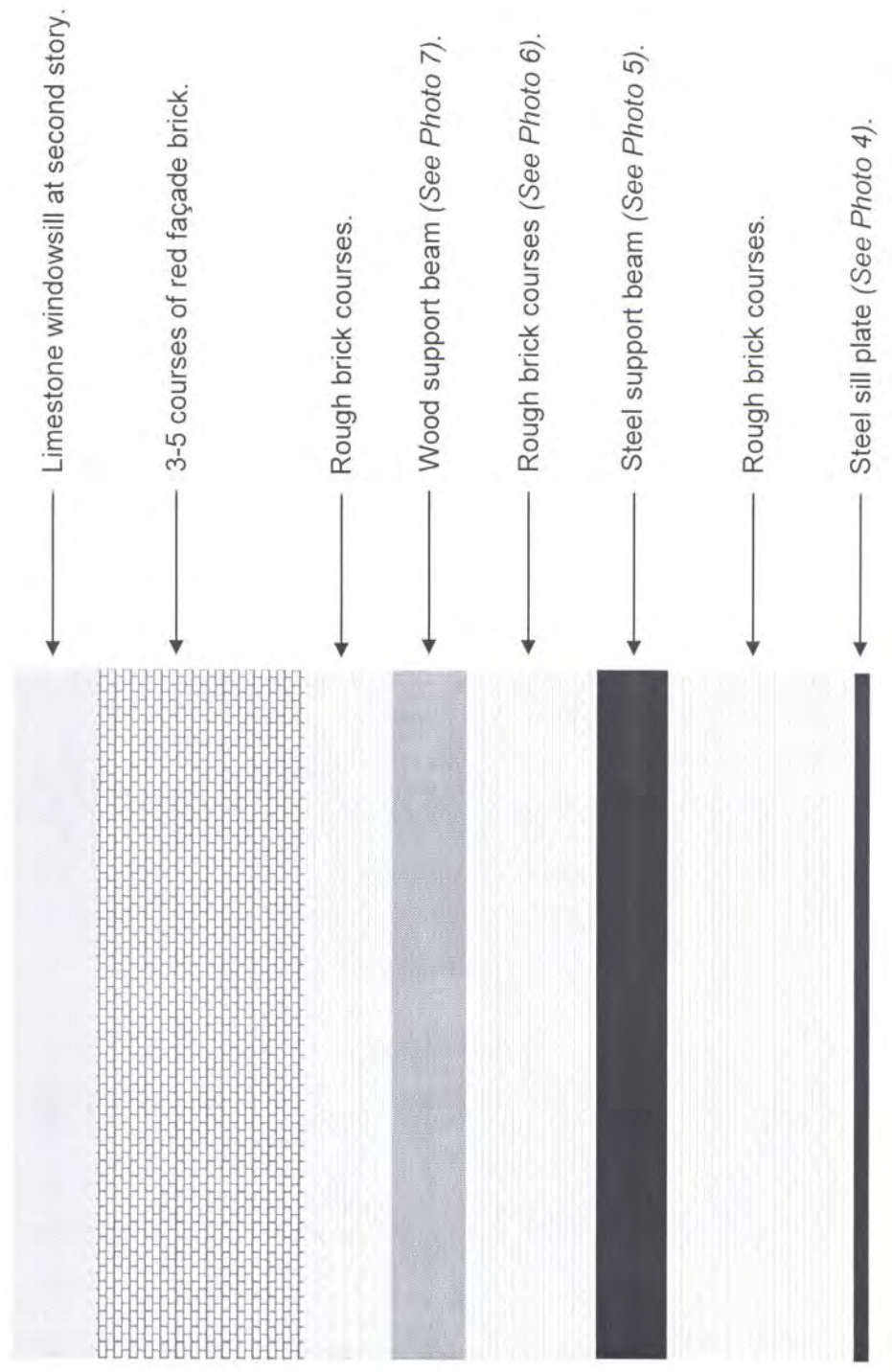
NEW ALUMINUM CLERESTORY
WINDOWS ABOVE STOREFRONT

LEVEL 2
15' - 3"

LEVEL 2
FLOOR/CEILING

1' - 8"

Sketch Plan: 300 East Commercial Street. Wall surfaces and supports behind plastered area above transoms of north storefront. Location of original metal cornice. Based on exploratory demolition on August 6, 2014. Not to scale.



Photographs:



Photo 1: Primary north elevation and side west elevation. View to southeast. March 14, 2014.



Photo 2: Detail of plastered area above transoms of north storefront at primary north elevation, segmented by brick pilasters. March 14, 2014.

Photographs: (Cont.)



Photo 3: Detail of plastered area above transoms of north storefront at side west elevation, segmented by brick pilasters. March 14, 2014.



Photo 4: Detail of steel sill plate above transom area of north storefront at primary north elevation. Exposed, with brick above, following exploratory demolition.

Photographs: (Cont.)



Photo 5: Detail of steel support beam above transom area of north storefront at primary north elevation. Exposed following exploratory demolition.



Photo 6: Detail of remnant of original metal cornice attached to steel support beam above transom area of north storefront at primary north elevation. Exposed following exploratory demolition.

Photographs: (Cont.)



Photo 7: Detail of wood support beam above transom area of north storefront at primary north elevation. Exposed following exploratory demolition.



Photo 8: Detail of original metal cornice above transom area of south storefront at side west elevation.

Photographs: (Cont.)



Photo 9: 312 East Commercial Street. Detail of original metal cornice above transom area of storefront at primary north elevation.



Photo 10: 308 East Commercial Street. Detail of original metal cornice above transom area of storefront at primary north elevation.

Photographs: (Cont.)



Photo 11: 234 East Commercial Street. Detail of original metal cornice above transom area of storefront at primary north elevation.

All Photographs:

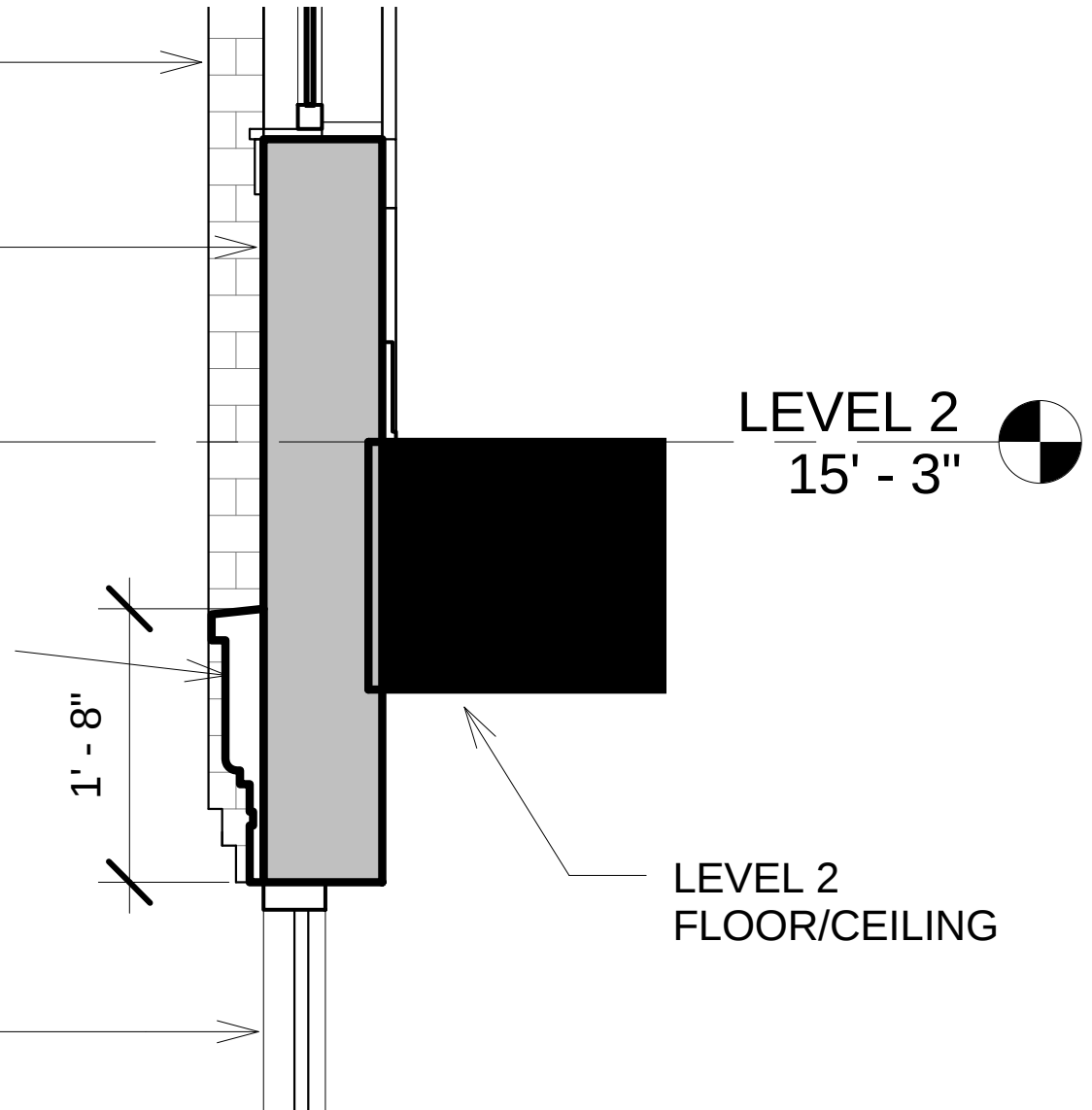
300 East Commercial Street
Commercial Street Historic District
Springfield, Greene County, Missouri
Richard Lee Burton
August 6, 2014 (except where noted)

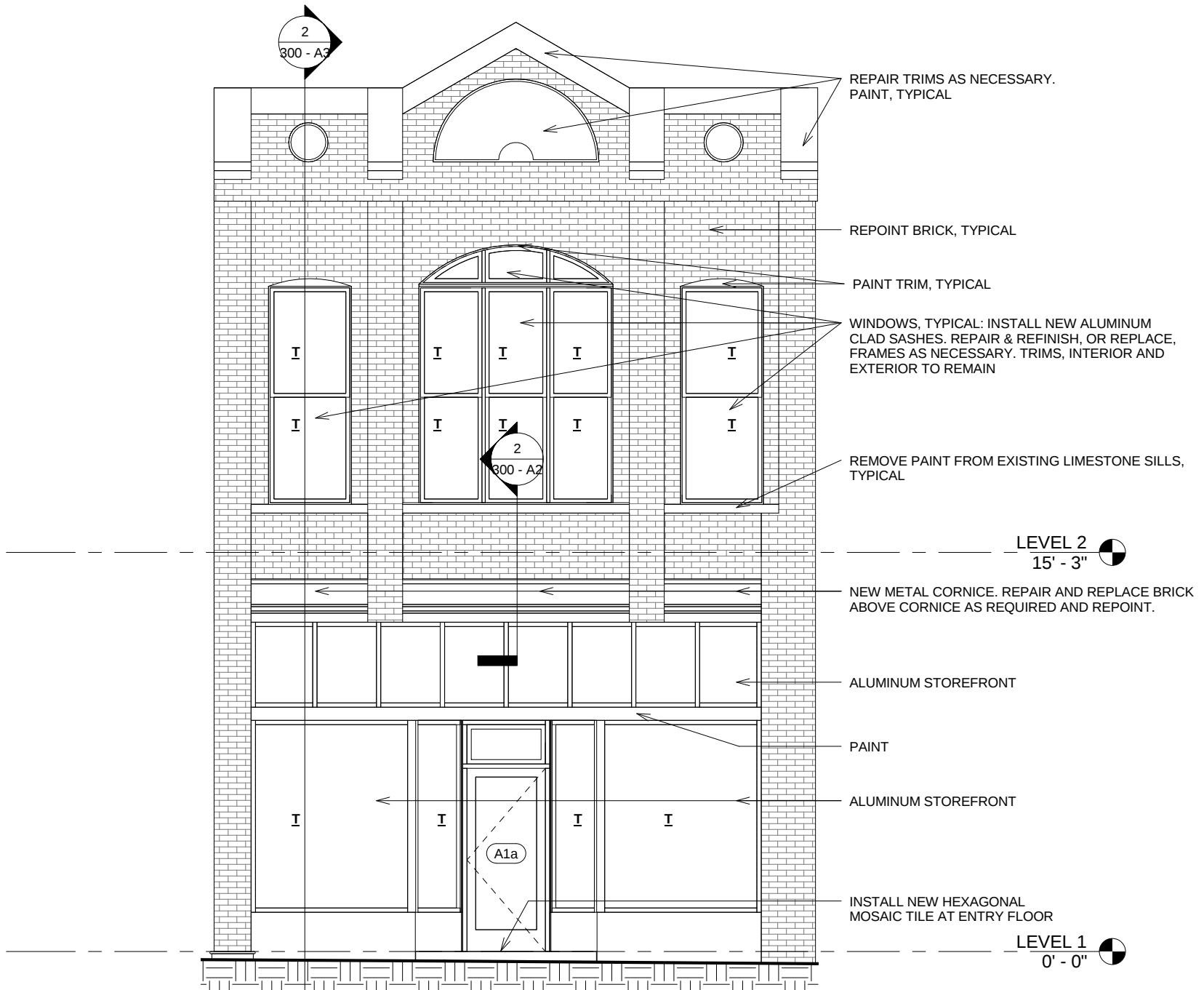
HOLD OUTSIDE FACE OF
METAL CORNICE BACK FROM
FACE OF BRICK PILASTERS

FACE OF BRICK

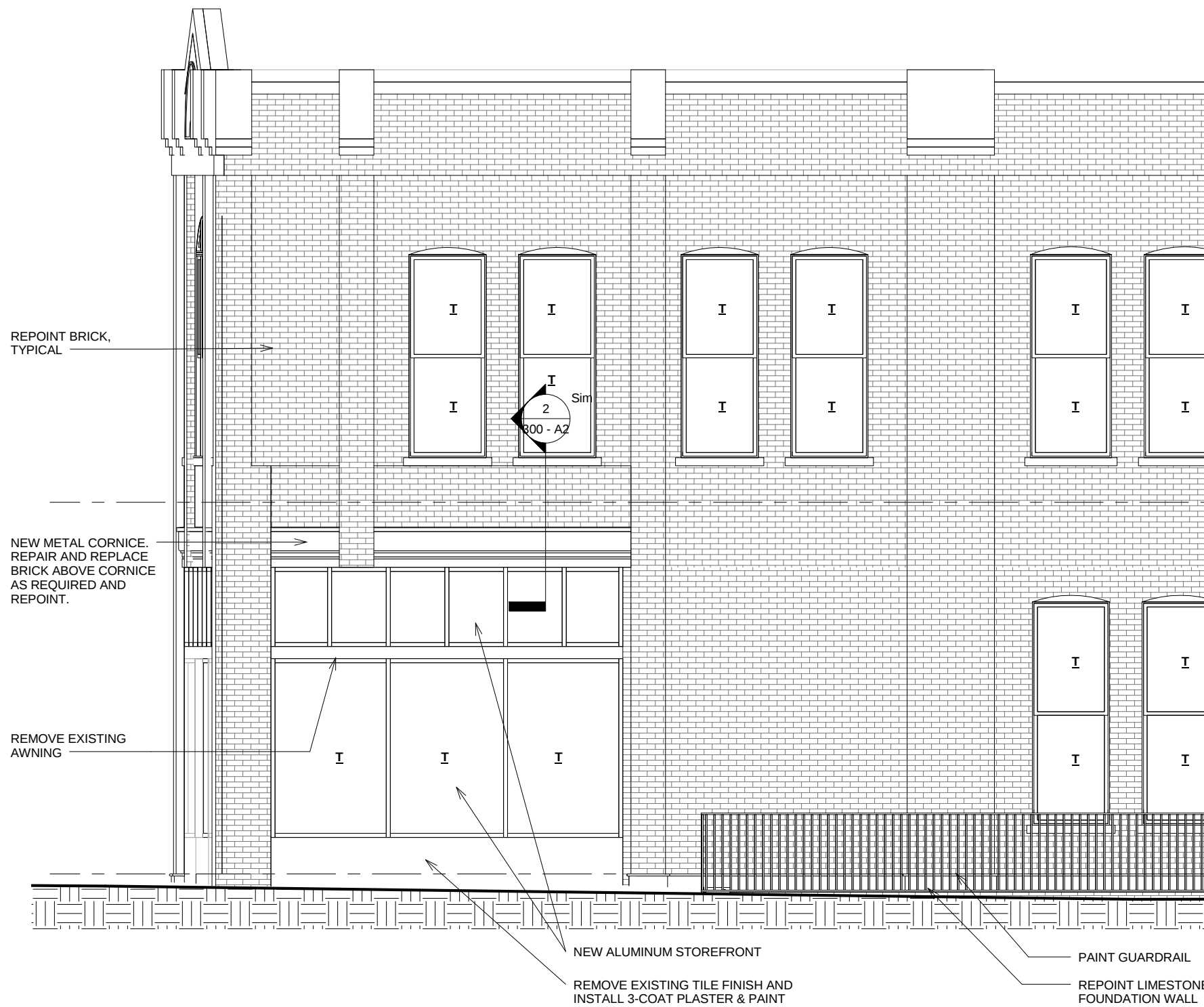
NEW 20" HIGH METAL CORNICE.
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ROBBERSON ELEVATION, SOUTH
END. DRAWING IS SCHEMATIC
ONLY, FIELD VERIFY.

NEW ALUMINUM CLERESTORY
WINDOWS ABOVE STOREFRONT





NOTE: **I** = TEMPERED GLASS
FOR GLAZING IN DOORS AND TRANSOMS, SEE DOOR ELEVATIONS





LANDMARKS BOARD

CITY OF SPRINGFIELD
P.O. BOX 8368
SPRINGFIELD, MISSOURI 65801
417-864-1031

STAFF REPORT

COMMERCIAL STREET HISTORIC DISTRICT

DATE: August 28, 2014

BACKGROUND:

LOCATION: 224 E. Commercial Street

APPLICANT: DWM Properties, LLC

PROPOSAL:

1. Construct a new conditioned storage utility structure with exterior metal siding.
2. Add a new wood gate between the south walls.

RECOMMENDATION:

The Landmarks Board will need to determine whether metal siding is considered a compatible material within the Commercial Street Historic District.

FINDINGS:

1. This structure is considered a contributing structure in the Commercial Street National Historic District and Commercial Street Local Historic District.
2. The applicant states that the proposed utility structure will not be viewable from Walnut Street or Blaine Street.
3. Metal siding is not a common material used on Commercial Street or during any significant era and the Commercial Street guidelines recommend selecting

materials which are compatible with existing.

PROJECT COORDINATOR:

Daniel Neal

Senior Planner

ATTACHMENT A
BACKGROUND REPORT
224 E. Commercial

APPLICANT'S PROPOSAL:

The applicant is proposing to add a new wood gate between the south brick walls and construct a conditioned storage utility structure addition with exterior metal siding at the south end of the courtyard.

HISTORY:

The Landmarks Board recently approved a Certificate of Appropriateness for a new brick four-car garage addition on February 19, 2014. The previously approved garage addition had a brick veneer exterior.

STAFF COMMENTS:

1. The attached National Parks Service Preservation Brief #14 (Page 14) states that a new addition should be simple and unobtrusive in design, and should be distinguished from the historic building. It also states that the construction materials and colors of the new addition should be harmonious with the historic building materials. The Commercial Street Design Guidelines do not specifically mention metal applications on new additions. The guidelines state that materials used in additions should be similar to those used on the original building. They also indicate that the use of metal is typically applied to new construction in the district.
2. Preservation Brief #14 also states that a new addition should not be highly visible from the public right-of-way and that the new addition should be smaller than the historic building. Staff believes that these guidelines have been met.
3. All proposed work is required to receive a building permit to be issued by Building Development Services. All other requirements of the COM-1 District, Zoning Ordinance and Building Code shall apply.

ATTACHMENT B
PERTINENT DESIGN GUIDELINES
224 E. Commercial

SECRETARY OF THE INTERIOR'S STANDARDS

1. A property will be used as it was historically or be given a new use that requires minimal change to its distinctive materials, features, spaces, and spatial relationships.
2. The historic character of a property will be retained and preserved. The removal of distinctive materials or alteration of features, spaces and spatial relationships that characterize a property will be avoided.
4. Changes to a property that have acquired historic significance in their own right will be retained and preserved.
5. Distinctive materials, features, finishes and construction techniques or examples of craftsmanship that characterize a property will be preserved.
6. Deteriorated historic features will be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature will match the old in design, color, texture and, where possible, materials.

COMMERCIAL STREET DESIGN GUIDELINES

Building materials:

In additions or renovations, select materials which are compatible with existing.

If new and old materials must be brought together, try to link them.

Where linking is not possible, achieve a controlled appearance, at junction of materials.

ORDINANCE REVIEW

In addition, the *Springfield Zoning Ordinance* states:

In the event the Landmarks Board concludes that the request, if granted, will have a detrimental effect upon the Historic Landmarks or Historic District or any adverse effect on an historical or architectural resource, then the Landmarks Board shall deny the request for a certificate.

ATTACHMENT C
ARCHITECTURAL SIGNIFICANCE
224 E. Commercial

ARCHITECTURAL SIGNIFICANCE:

1. The Architectural Survey that was prepared for this building stated the following:

This building is a two story wood frame and masonry load bearing structure. The exterior is typical of many others on Commercial Street except the storefront was constructed of marble and framed glass. The glass frame is covered with sheet copper and above the storefront is a frieze which appears to be copper.

2. The narrative accompanying the Commercial Street district's National Register nomination stated the following about this property:

Constructed between 1902 and 1910. Although modified at street level, 224 East Commercial was not altered above ground level; the corbelled second story is evenly fenestrated with segmental arched windows capped by brick hood moldings.

14 PRESERVATION BRIEFS

New Exterior Additions to Historic Buildings: Preservation Concerns

Anne E. Grimmer and Kay D. Weeks



National Park Service
U.S. Department of the Interior
Technical Preservation Services



A new exterior addition to a historic building should be considered in a rehabilitation project only after determining that requirements for the new or adaptive use cannot be successfully met by altering non-significant interior spaces. If the new use cannot be accommodated in this way, then an exterior addition may be an acceptable alternative. Rehabilitation as a treatment “is defined as the act or process of making possible a compatible use for a property through repair, alterations, and *additions* while preserving those portions or features which convey its historical, cultural, or architectural values.”

The topic of new additions, including rooftop additions, to historic buildings comes up frequently, especially as it

relates to rehabilitation projects. It is often discussed and it is the subject of concern, consternation, considerable disagreement and confusion. Can, in certain instances, a historic building be enlarged for a new use without destroying its historic character? And, just what is significant about each particular historic building that should be preserved? Finally, what kind of new construction is appropriate to the historic building?

The vast amount of literature on the subject of additions to historic buildings reflects widespread interest as well as divergence of opinion. New additions have been discussed by historians within a social and political framework; by architects and architectural historians in terms of construction technology and style; and

by urban planners as successful or unsuccessful contextual design. However, within the historic preservation and rehabilitation programs of the National Park Service, the focus on new additions is to ensure that they preserve the character of historic buildings.

Most historic districts or neighborhoods are listed in the National Register of Historic Places for their significance within a particular time frame. This period of significance of historic districts as well as individually-listed properties may sometimes lead to a misunderstanding that inclusion in the National Register may prohibit any physical change outside of a certain historical period—particularly in the form of exterior additions. National Register listing does not mean that a building or district is frozen in time and that no change can be made without compromising the historical significance. It does mean, however, that a new addition to a historic building should preserve its historic character.



Figure 1. The addition to the right with its connecting hyphen is compatible with the Collegiate Gothic-style library. The addition is set back from the front of the library and uses the same materials and a simplified design that references, but does not copy, the historic building. Photo: David Wakely Photography.



Figure 2. The new section on the right is appropriately scaled and reflects the design of the historic Art Deco-style hotel. The apparent separation created by the recessed connector also enables the addition to be viewed as an individual building.

Guidance on New Additions

To meet Standard 1 of the *Secretary of the Interior's Standards for Rehabilitation*, which states that "a property shall be used for its historic purpose or be placed in a new use that requires minimal change to the defining characteristics of the building and its site and environment," it must be determined whether a historic building can accommodate a new addition. Before expanding the building's footprint, consideration should first be given to incorporating changes—such as code upgrades or spatial needs for a new use—within secondary areas of the historic building. However, this is not always possible and, after such an evaluation, the conclusion may be that an addition is required, particularly if it is needed to avoid modifications to character-defining interior spaces. An addition should be designed to be compatible with the historic character of the building and, thus, meet the *Standards for Rehabilitation*. Standards 9 and 10 apply specifically to new additions:

(9) "New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment."

(10) "New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired."

The subject of new additions is important because a new addition to a historic building has the potential to change its historic character as well as to damage and destroy significant historic materials and features. A new addition also has the potential to confuse the public and to make it difficult or impossible to differentiate the old from the new or to recognize what part of the historic building is genuinely historic.

The intent of this Preservation Brief is to provide guidance to owners, architects and developers on how to design a compatible new addition, including a rooftop addition, to a historic building. A new addition to a historic building should preserve the building's *historic character*. To accomplish this and meet the *Secretary of the Interior's Standards for Rehabilitation*, a new addition should:

- Preserve significant historic materials, features and form;
- Be compatible; and
- Be differentiated from the historic building.

Every historic building is different and each rehabilitation project is unique. Therefore, the guidance offered here is not specific, but general, so that it can be applied to a wide variety of building types and situations. To assist in interpreting this guidance, illustrations of a variety of new additions are provided. Good examples, as well as some that do not meet the Standards, are included to further help explain and clarify what is a compatible new addition that preserves the character of the historic building.



Figure 3. The red and buff-colored parking addition with a rooftop playground is compatible with the early-20th century school as well as with the neighborhood in which it also serves as infill in the urban setting.

Preserve Significant Historic Materials, Features and Form

Attaching a new exterior addition usually involves some degree of material loss to an external wall of a historic building, but it should be minimized. Damaging or destroying significant materials and craftsmanship should be avoided, as much as possible.

Generally speaking, preservation of historic buildings inherently implies minimal change to primary or “public” elevations and, of course, interior features as well. Exterior features that distinguish one historic building or a row of buildings and which can be seen from a public right of way, such as a street or sidewalk, are most likely to be the most significant. These can include many different elements, such as: window patterns, window hoods or shutters; porticoes, entrances and doorways; roof shapes, cornices and decorative moldings; or commercial storefronts with their special detailing, signs and glazing patterns. Beyond a single building, entire blocks of urban or residential structures are often closely related architecturally by their materials, detailing, form and alignment. Because significant materials and features should be preserved, not damaged or hidden, the first place to consider placing a new addition is in a location where the least amount of historic material and character-defining features will be lost. In most cases, this will be on a secondary side or rear elevation.

One way to reduce overall material loss when constructing a new addition is simply to keep the addition smaller in proportion to the size of the historic building. Limiting the size and number of openings between old and new by utilizing existing doors or enlarging windows also helps to minimize loss. An often successful way to accomplish this is to link the addition to the historic building by means of a hyphen or connector. A connector provides a physical link while visually separating the old and new, and the connecting passageway penetrates and removes only a small portion of the historic wall. A new addition that will abut the historic building along an entire elevation or wrap around a side and rear elevation, will likely integrate the historic and the new interiors, and thus result in a high degree of loss of form and exterior walls, as well as significant alteration of interior spaces and features, and will not meet the Standards.



Figure 4. This glass and brick structure is a harmonious addition set back and connected to the rear of the Colonial Revival-style brick house. Cunningham/Quill Architects. Photos: © Maxwell MacKenzie.

Compatible but Differentiated Design

In accordance with the Standards, a new addition must preserve the building's historic character and, in order to do that, it must be differentiated, but compatible, with the historic building. A new addition must retain the essential form and integrity of the historic property. Keeping the addition smaller, limiting the removal of historic materials by linking the addition with a hyphen, and locating the new addition at the rear or on an inconspicuous side elevation of a historic building are techniques discussed previously that can help to accomplish this.

Rather than differentiating between old and new, it might seem more in keeping with the historic character

simply to repeat the historic form, material, features and detailing in a new addition. However, when the new work is highly replicative and indistinguishable from the old in appearance, it may no longer be possible to identify the “real” historic building. Conversely, the treatment of the addition should not be so different that it becomes the primary focus. The difference may be subtle, but it must be clear. A new addition to a historic building should protect those visual qualities that make the building eligible for listing in the National Register of Historic Places.

The National Park Service policy concerning new additions to historic buildings, which was adopted in 1967, is not unique. It is an outgrowth and continuation of a general philosophical approach to change first expressed by John Ruskin in England in the 1850s, formalized by William Morris in the founding of the Society for the Protection of Ancient Buildings in 1877, expanded by the Society in 1924 and, finally, reiterated in the 1964 Venice Charter—a document that continues to be followed by the national committees of the International Council on Monuments and Sites (ICOMOS). The 1967 *Administrative Policies for Historical Areas of the National Park System* direct that “...a modern addition should be readily distinguishable from the older work; however, the new work should be harmonious with the old in scale, proportion, materials, and color. Such additions should be as inconspicuous as

possible from the public view.” As a logical evolution from these Policies specifically for National Park Service-owned historic structures, the 1977 *Secretary of the Interior’s Standards for Rehabilitation*, which may be applied to **all** historic buildings listed in, or eligible for listing in the National Register, also state that “the new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.”

Preserve Historic Character

The goal, of course, is a new addition that preserves the building’s historic character. The historic character of each building may be different, but the methodology of establishing it remains the same. Knowing the uses and functions a building has served over time will assist in making what is essentially a physical evaluation. But, while written and pictorial documentation can provide a framework for establishing the building’s history, to a large extent the historic character is embodied in the physical aspects of the historic building itself—shape, materials, features, craftsmanship, window arrangements, colors, setting and interiors. Thus, it is important to identify the historic character before making decisions about the extent—or limitations—of change that can be made.



Figure 5. This addition (a) is constructed of matching brick and attached by a recessed connector (b) to the 1914 apartment building (c). The design is compatible and the addition is smaller and subordinate to the historic building (d).



Figure 6. A new addition (left) is connected to the garage which separates it from the main block of the c. 1910 former florist shop (right). The addition is traditional in style, yet sufficiently restrained in design to distinguish it from the historic building.

A new addition should always be subordinate to the historic building; it should not compete in size, scale or design with the historic building. An addition that bears no relationship to the proportions and massing of the historic building—in other words, one that overpowers the historic form and changes the scale—will usually compromise the historic character as well. The appropriate size for a new addition varies from building to building; it could never be stated in a square or cubic footage ratio, but the historic building's existing proportions, site and setting can help set some general parameters for enlargement. Although even a small addition that is poorly designed can have an adverse impact, to some extent, there is a predictable relationship between the size of the historic resource and what is an appropriate size for a compatible new addition.

Generally, constructing the new addition on a secondary side or rear elevation—in addition to material preservation—will also preserve the historic character. Not only will the addition be less visible, but because a secondary elevation is usually simpler and less distinctive, the addition will have less of a physical and visual impact on the historic building. Such placement will help to preserve the building's historic form and relationship to its site and setting.

Historic landscape features, including distinctive grade variations, also need to be respected. Any new landscape features, including plants and trees, should be kept at a scale and density that will not interfere with understanding of the historic resource itself. A traditionally landscaped

property should not be covered with large paved areas for parking which would drastically change the character of the site.

Despite the fact that in most cases it is recommended that the new addition be attached to a secondary elevation, sometimes this is not possible. There simply may not be a secondary elevation—some important freestanding buildings have significant materials and features on all sides. A structure or group of structures together with its setting (for example, a college campus) may be of such significance that any new addition would not only damage materials, but alter the buildings' relationship to each other and the setting. An addition attached to a highly-visible elevation of a historic building can radically alter the historic form or obscure features such as a decorative cornice or window ornamentation. Similarly, an addition that fills



Figure 7. A vacant side lot was the only place a new stair tower could be built when this 1903 theater was rehabilitated as a performing arts center. Constructed with matching materials, the stair tower is set back with a recessed connector and, despite its prominent location, it is clearly subordinate and differentiated from the historic theater.



Figure 8. The rehabilitation of this large, early-20th century warehouse (left) into affordable artists' lofts included the addition of a compatible glass and brick elevator/stair tower at the back (right).



Figure 9. A simple, brick stair tower replaced two non-historic additions at the rear of this 1879 school building when it was rehabilitated as a women's and children's shelter. The addition is set back and it is not visible from the front of the school.



Figure 10. The small size and the use of matching materials ensures that the new addition on the left is compatible with the historic Romanesque Revival-style building.

in a planned void on a highly-visible elevation (such as a U-shaped plan or a feature such as a porch) will also alter the historic form and, as a result, change the historic character. Under these circumstances, an addition would have too much of a negative impact on the historic building and it would not meet the Standards. Such situations may best be handled by constructing a separate building in a location where it will not adversely affect the historic structure and its setting.

In other instances, particularly in urban areas, there may be no other place but adjacent to the primary façade to locate an addition needed for the new use. It may be possible to design a lateral addition attached on the side that is compatible with the historic building, even though it is a highly-visible new element. Certain types of historic structures, such as government buildings, metropolitan museums, churches or libraries, may be so massive in size that a relatively large-scale addition may not compromise the historic character, provided, of course, the addition is smaller than the historic building. Occasionally, the visible size of an addition can be reduced by placing some of the spaces or support systems in a part of the structure that is underground. Large new additions may sometimes be successful if they read as a separate volume, rather than as an extension of the historic structure, although the scale, massing and proportions of the addition still need to be compatible with the historic building. However, similar expansion of smaller buildings would be dramatically out of scale. In summary, where any new addition is proposed, correctly assessing the relationship between actual size and relative scale will be a key to preserving the character of the historic building.



Figure 11. The addition to this early-20th century Gothic Revival-style church provides space for offices, a great hall for gatherings and an accessible entrance (left). The stucco finish, metal roof, narrow gables and the Gothic-arched entrance complement the architecture of the historic church. Placing the addition in back where the ground slopes away ensures that it is subordinate and minimizes its impact on the church (below).

Design Guidance for Compatible New Additions to Historic Buildings

There is no formula or prescription for designing a new addition that meets the Standards. A new addition to a historic building that meets the Standards can be any architectural style—traditional, contemporary or a simplified version of the historic building. However, there must be a balance between differentiation and compatibility in order to maintain the historic character and the identity of the building being enlarged. New additions that too closely resemble the historic building or are in extreme contrast to it fall short of this balance. *Inherent in all of the guidance is the concept that an addition needs to be subordinate to the historic building.*

A new addition **must preserve significant historic materials, features and form, and it must be compatible but differentiated from the historic building.** To achieve this, it is necessary to carefully consider the **placement or location** of the new addition, and its **size, scale and massing** when planning a new addition. To preserve a property's historic character, a new addition must be visually distinguishable from the historic building. This does not mean that the addition and the historic building should be glaringly different in terms of design, materials and other visual qualities. Instead, the new addition should take its design cues from, but not copy, the historic building.



A variety of design techniques can be effective ways to differentiate the new construction from the old, while respecting the architectural qualities and vocabulary of the historic building, including the following:

- Incorporate a simple, recessed, small-scale hyphen to physically separate the old and the new volumes or set the addition back from the wall plane(s) of the historic building.
- Avoid designs that unify the two volumes into a single architectural whole. The new addition may include simplified architectural features that reflect, but do not duplicate, similar features on the historic building. This approach will not impair the existing building's historic character as long as the new structure is subordinate in size and clearly differentiated and distinguishable so that the identity of the historic structure is not lost in a new and larger composition. The historic building must be clearly identifiable and its physical integrity must not be compromised by the new addition.



Figure 12. This 1954 synagogue (left) is accessed through a monumental entrance to the right. The new education wing (far right) added to it features the same vertical elements and color and, even though it is quite large, its smaller scale and height ensure that it is secondary to the historic resource.



Figure 13. A glass and metal structure was constructed in the courtyard as a restaurant when this 1839 building was converted to a hotel. Although such an addition might not be appropriate in a more public location, it is compatible here in the courtyard of this historic building.

- Use building materials in the same color range or value as those of the historic building. The materials need not be the same as those on the historic building, but they should be harmonious; they should not be so different that they stand out or distract from the historic building. (Even clear glass can be as prominent as a less transparent material. Generally, glass may be most appropriate for small-scale additions, such as an entrance on a secondary elevation or a connector between an addition and the historic building.)
- Base the size, rhythm and alignment of the new addition's window and door openings on those of the historic building.
- Respect the architectural expression of the historic building type. For example, an addition to an institutional building should maintain the architectural character associated with this building type rather than using details and elements typical of residential or other building types.

These techniques are merely examples of ways to differentiate a new addition from the historic building while ensuring that the addition is compatible with it. Other ways of differentiating a new addition from the historic building may be used as long as they maintain the primacy of the historic building. Working within these basic principles still allows for a broad range of architectural expression that can range from stylistic similarity to contemporary distinction. The recommended design approach for an addition is one that neither copies the historic building exactly nor stands in stark contrast to it.



Figure 14. This glass addition was erected at the back of an 1895 former brewery during rehabilitation to provide another entrance. The addition is compatible with the plain character of this secondary elevation.

Revising an Incompatible Design for a New Addition to Meet the Standards

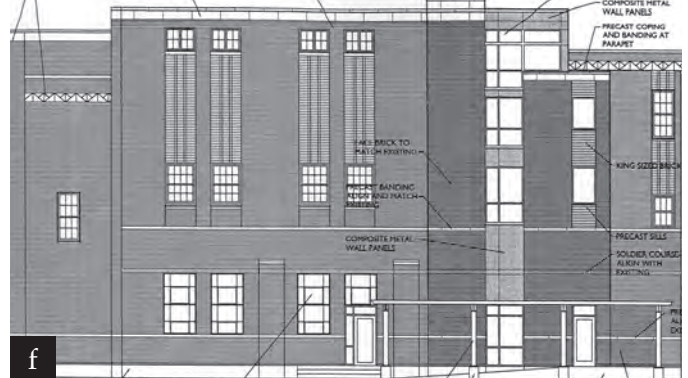
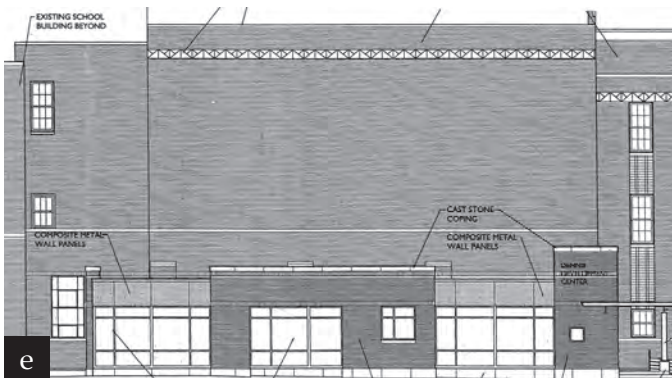
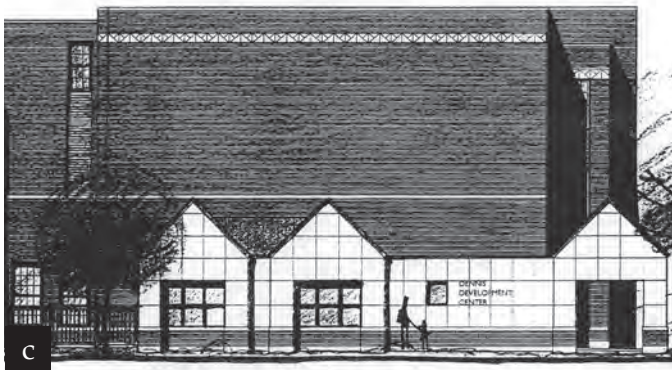


Figure 15. The rehabilitation of a c. 1930 high school auditorium for a clinic and offices proposed two additions: a one-story entrance and reception area on this elevation (a); and a four-story elevator and stair tower on another side (b). The gabled entrance (c) first proposed was not compatible with the flat-roofed auditorium and the design of the proposed stair tower (d) was also incompatible and overwhelmed the historic building. The designs were revised (e-f) resulting in new additions that meet the Standards (g-h).

Incompatible New Additions to Historic Buildings

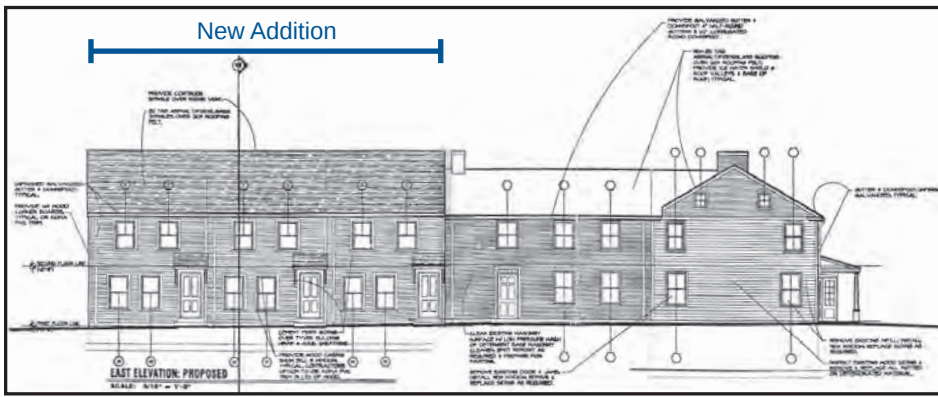


Figure 16. The proposal to add three row houses to the rear ell of this early-19th century residential property doubles its size and does not meet the Standards..



Figure 17. The small addition on the left is starkly different and it is not compatible with the eclectic, late-19th century house.



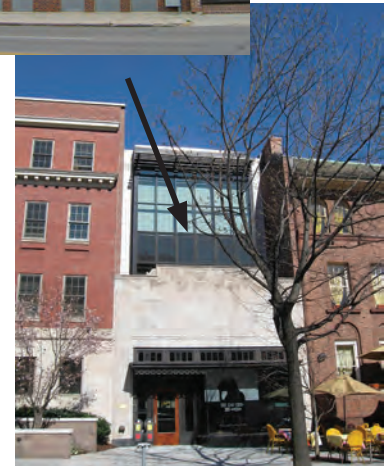
Figure 18. The expansion of a one- and one-half story historic bungalow (left) with a large two-story rear addition (right) has greatly altered and obscured its distinctive shape and form.



Figure 19. The upper two floors of this early-20th century office building were part of the original design, but were not built. During rehabilitation, the two stories were finally constructed. This treatment does not meet the Standards because the addition has given the building an appearance it never had historically.



Figure 20. The height, as well as the design, of these two-story rooftop additions overwhelms the two-story and the one-story, low-rise historic buildings.



New Additions in Densely-Built Environments

In built-up urban areas, locating a new addition on a less visible side or rear elevation may not be possible simply because there is no available space. In this instance, there may be alternative ways to help preserve the historic character. One approach when connecting a new addition to a historic building on a primary elevation is to use a hyphen to separate them. A subtle variation in material, detailing and color may also provide the degree of differentiation necessary to avoid changing the essential proportions and character of the historic building.

A densely-built neighborhood such as a downtown commercial core offers a particular opportunity to design an addition that will have a minimal impact on the historic building. Often the site for such an addition is a vacant lot where another building formerly stood. Treating the addition as a separate or infill building may be the best approach when designing an addition that will have the least impact on the historic building and the district. In these instances there may be no need for a direct visual link to the historic building. Height and setback from the street should generally be consistent with those of the historic building and other surrounding buildings in the district. Thus, in most urban commercial areas the addition should not be set back from the façade of the historic building. A tight urban setting may sometimes even accommodate a larger addition if the primary elevation is designed to give the appearance of being several buildings by breaking up the facade into elements that are consistent with the scale of the historic building and adjacent buildings.



Figure 21. Both wings of this historic L-shaped building (top), which fronts on two city streets, adjoined vacant lots. A two-story addition was constructed on one lot (above, left) and a six-story addition was built on the other (above, right). Like the historic building, which has two different facades, the compatible new additions are also different and appear to be separate structures rather than part of the historic building.



Figure 22. The proposed new addition is compatible with the historic buildings that remain on the block. Its design with multiple storefronts helps break up the mass.



Figure 23. Colored flags marking the location of a proposed penthouse addition (a) were placed on the roof to help evaluate the impact and visibility of an addition planned for this historic furniture store (b). Based on this evaluation, the addition was constructed as proposed. It is minimally visible and compatible with the 1912 structure (c). The tall parapet wall conceals the addition from the street below (d).

Rooftop Additions

The guidance provided on designing a compatible new addition to a historic building applies equally to new rooftop additions. A rooftop addition should preserve the character of a historic building by preserving historic materials, features and form; and it should be compatible but differentiated from the historic building.

However, there are several other design principles that apply specifically to rooftop additions. Generally, a rooftop addition should not be more than one story in height to minimize its visibility and its impact on the proportion and profile of the historic building. A rooftop addition should almost always be set back at least one full bay from the primary elevation of the building, as well as from the other elevations if the building is free-standing or highly visible.

It is difficult, if not impossible, to minimize the impact of adding an entire new floor to relatively low buildings, such as small-scale residential or commercial structures, even if the new addition is set back from the plane of the façade. Constructing another floor on top of a small, one, two or three-story building is seldom appropriate for buildings of this size as it would measurably alter the building's proportions and profile, and negatively impact its historic character. On the other hand, a rooftop addition on an eight-story building, for example, in a historic district consisting primarily of tall buildings might not affect the historic character because the new construction may blend in with the surrounding buildings and be only minimally visible within the district. A rooftop addition in a densely-built urban area is more likely to be compatible on a building that is adjacent to similarly-sized or taller buildings.

A number of methods may be used to help evaluate the effect of a proposed rooftop addition on a historic building and district, including pedestrian sight lines, three-dimensional schematics and computer-generated design. However, drawings generally do not provide a true "picture" of the appearance and visibility of a proposed rooftop addition. For this reason, it is often necessary to construct a rough, temporary, full-size or skeletal mock up of a portion of the proposed addition, which can then be photographed and evaluated from critical vantage points on surrounding streets.

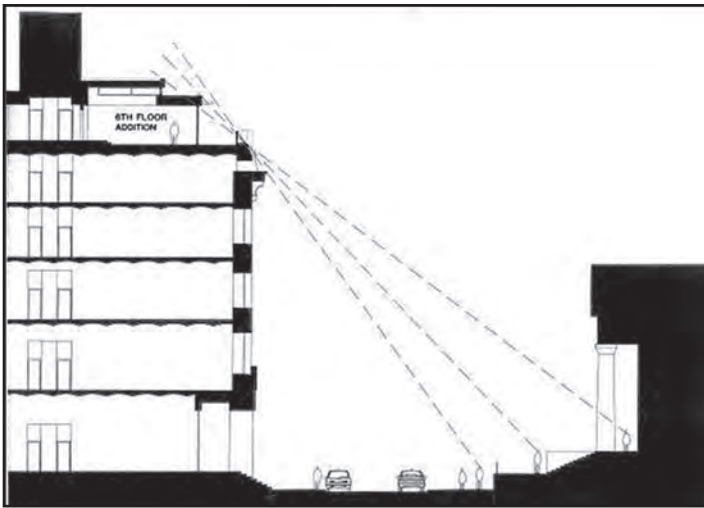


Figure 24. How to Evaluate a Proposed Rooftop Addition.
A sight-line study (above) only factors in views from directly across the street, which can be very restrictive and does not illustrate the full effect of an addition from other public rights of way. A mock up (above, right) or a mock up enhanced by a computer-generated rendering (below, right) is essential to evaluate the impact of a proposed rooftop addition on the historic building.



Figure 25. It was possible to add a compatible, three-story, penthouse addition to the roof of this five-story, historic bank building because the addition is set far back, it is surrounded by taller buildings and a deep parapet conceals almost all of the addition from below.

Figure 26. A rooftop addition would have negatively impacted the character of the primary facade (right) of this mid-19th century, four-story structure and the low-rise historic district. However, a third floor was successfully added on the two-story rear portion (below) of the same building with little impact to the building or the district because it blends in with the height of the adjacent building.





Figure 27. Although the new brick stair/elevator tower (left) is not visible from the front (right), it is on a prominent side elevation of this 1890 stone bank. The compatible addition is set back and does not compete with the historic building. Photos: Chadd Gossmann, Aurora Photography, LLC.

Designing a New Exterior Addition to a Historic Building

This guidance should be applied to help in designing a compatible new addition that will meet the *Secretary of the Interior's Standards for Rehabilitation*:

- A new addition should be simple and unobtrusive in design, and should be distinguished from the historic building—a recessed connector can help to differentiate the new from the old.
- A new addition should not be highly visible from the public right of way; a rear or other secondary elevation is usually the best location for a new addition.
- The construction materials and the color of the new addition should be harmonious with the historic building materials.
- The new addition should be smaller than the historic building—it should be subordinate in both size and design to the historic building.

The same guidance should be applied when designing a compatible **rooftop** addition, plus the following:

- A rooftop addition is generally not appropriate for a one, two or three-story building—and often is not appropriate for taller buildings.
- A rooftop addition should be minimally visible.
- Generally, a rooftop addition must be set back at least one full bay from the primary elevation of the building, as well as from the other elevations if the building is freestanding or highly visible.
- Generally, a rooftop addition should not be more than one story in height.
- Generally, a rooftop addition is more likely to be compatible on a building that is adjacent to similarly-sized or taller buildings.



Figure 28. A small addition (left) was constructed when this 1880s train station was converted for office use. The paired doors with transoms and arched windows on the compatible addition reflect, but do not replicate, the historic building (right).



Figure 29. This simple glass and brick entrance (left) added to a secondary elevation of a 1920s school building (right) is compatible with the original structure.

Summary

Because a new exterior addition to a historic building can damage or destroy significant materials and can change the building's character, an addition should be considered only after it has been determined that the new use cannot be met by altering non-significant, or secondary, interior spaces. If the new use cannot be met in this way, then an attached addition may be an acceptable alternative if carefully planned and designed. A new addition to a historic building should be constructed in a manner that preserves significant materials, features and form, and preserves the building's historic character. Finally, an addition should be differentiated from the historic building so that the new work is compatible with—and does not detract from—the historic building, and cannot itself be confused as historic.

Additional Reading

Byard, Paul Spencer. *The Architecture of New Additions: Design and Regulation*. New York, NY: W.W. Norton & Company, 1998.

Day, Steven, AIA. "Modernism Meets History: New Additions to Historic Structures." *Preservation Seattle* [Historic Seattle's online monthly preservation magazine.] May 2003. www.historicseattle.org/preservationseattle/publicpolicy/defaultmay2.htm.

Incentives! A Guide to the Federal Historic Preservation Tax Incentives Program for Income-Producing Properties. "Avoiding Incompatible Treatments: New Additions & Rooftop Additions." Technical Preservation Services Branch, National Park Service. Online at www.nps.gov/history/hps/tps/.

Interpreting the Standards Bulletins (ITS). Technical Preservation Services Branch, National Park Service. Online at www.nps.gov/history/hps/tps/.

New Additions to Historic Buildings. Technical Preservation Services Branch, National Park Service. Online at www.nps.gov/history/hps/tps/.

O'Connell, Kim A. "Making Connections." *Traditional Building*. March/April 2004. (Vol. 17, No. 2), pp. 12-15.

The Secretary of the Interior's Standards for Rehabilitation and Guidelines for Rehabilitating Historic Buildings. Washington, D.C.: U.S. Department of the Interior, National Park Service, Preservation Assistance Division, rev. 1990.

The Secretary of the Interior's Standards for Rehabilitation & Illustrated Guidelines for Rehabilitating Historic Buildings. (Authors: W. Brown Morton, III, Gary L. Hume, Kay D. Weeks, and H. Ward Jandl. Project Directors: Anne E. Grimmer and Kay D. Weeks.) Washington, D.C.: U.S. Department of

the Interior, National Park Service, Preservation Assistance Division, 1992. Online at www.nps.gov/history/hps/tps/.

Semes, Steven W. "Differentiated and Compatible: The Secretary's Standards revisited." *Traditional Building*. February 2009. (Vol. 22, No. 1), pp. 20-23.

Semes, Steven W. *The Future of the Past: A Conservation Ethic for Architecture, Urbanism, and Historic Preservation*. (In association with The Institute of Classical Architecture and Classical America.) New York, NY: W.W. Norton & Company, 2009.



Figure 30. The small addition on the right of this late-19th century commercial structure is clearly secondary and compatible in size, materials and design with the historic building.



Figure 31. An elevator/stair tower was added at the back of this Richardsonian Romanesque-style theater when it was rehabilitated. Rough-cut stone and simple cut-out openings ensure that the addition is compatible and subordinate to the historic building. Photo: Chuck Liddy, AIA.

Acknowledgements

Anne E. Grimmer, Senior Architectural Historian, Technical Preservation Services Branch, National Park Service, revised *Preservation Brief 14*, written by Kay D. Weeks and first published in 1986. The revised Brief features all new illustrations and contains expanded and updated design guidance on the subject of new additions that has been developed by the Technical Preservation Services Branch since the original publication of the Brief. Several individuals generously contributed their time and expertise to review the revision of this *Preservation Brief*, including: Sharon C. Park, FAIA, Chief, Architectural History and Historic Preservation, Smithsonian Institution; Elizabeth Tune and Karen Brandt, Department of Historic Resources, Commonwealth of Virginia; and Phillip Wisley and David Ferro, Division of Historical Resources, Florida Department of State. The Technical Preservation Services professional staff, in particular Michael J. Auer, Jo Ellen Hensley, Gary Sachau and Rebecca Shiffer, also provided important guidance in the development of this publication. All illustrations are from National Park Service files unless otherwise credited. Front cover image: Detail of new addition shown in Figure 4. Photo: © Maxwell MacKenzie.

This publication has been prepared pursuant to the National Historic Preservation Act of 1966, as amended, which directs the Secretary of the Interior to develop and make available information concerning historic properties. The Technical Preservation Services Branch, National Park Service, prepares standards, guidelines and other educational materials on responsible historic preservation treatments for a broad public audience. Additional information about the programs of Technical Preservation Services is available on the website at www.nps.gov/history/hps/tps. Comments about this publication should be addressed to: Charles E. Fisher, Technical Preservation Publications Program Manager, Technical Preservation Services-2255, National Park Service, 1849 C Street, NW, Washington, DC 20240. This publication is not copyrighted and can be reproduced without penalty. Normal procedures for credit to the author and the National Park Service are appreciated.

Technical Preservation Services

National Park Service
U.S. Department of the Interior



[Home](#) > [The Standards](#) > [Applying Rehabilitation Standards](#) > [Successful Rehabilitations](#) > Additions

Planning Successful Rehabilitation Projects

Additions

New Additions to Historic Buildings

To meet [Standard 1](#), which states that a property shall be placed in a new use that requires minimal change to the defining characteristics of the building, it must be determined whether an historic building can accommodate a new addition. Before expanding the building's footprint, consideration should first be given to incorporating changes—such as code upgrades or spatial needs for a new use—within secondary areas of the historic building. After such an evaluation, the conclusion may be that an addition is necessary, particularly if it is needed to avoid modifications to character-defining interior elements. The addition must be designed to be compatible with the historic character of the building and thus meet the Secretary of the Interior's Standards for Rehabilitation.

In accordance with [Standard 9](#), a new addition must preserve the historic building's form/envelope, significant materials and features; must be compatible with the historic building's massing, size, scale, and architectural features; and must be differentiated from the historic building to preserve its character. [Standard 10](#) calls for new additions to be constructed in such a manner that the essential form and integrity of the historic property be unimpaired if the new work were to be removed in the future. Limiting the removal of historic materials and utilizing existing doors or enlarging windows to transition to the new addition may accomplish this. The Guidelines for Rehabilitating Historic Buildings also recommend locating a new addition at the rear or on an inconspicuous side of a historic building. Additional NPS guidance is contained in [Interpreting the Standards Bulletins](#) and [Preservation Brief 14: New Exterior Additions to Historic Buildings: Preservation Concerns](#).

There is no formula or prescription for designing a compatible new addition. A new addition to a historic building that meets the Standards can be any architectural style—traditionalist, contemporary or a simplified version of the historic building. However, there must be a balance between differentiation and compatibility in order to maintain the historic character and the very identity of the building being enlarged. New additions that are either identical to the historic building or in extreme contrast to it fall short of this balance. Inherent in all of the guidance is the concept that an addition needs to be subordinate to the historic building. General parameters are outlined below to provide guidance and to assist building owners in meeting the Standards.

Placement or location of the new addition on the site

A new addition is most appropriately located where its visibility from the primary views of the historic building is minimized. This is often a rear or obscure elevation. However, rear or side elevations may not always be sufficiently secondary to be suitable locations for an addition, particularly when a historic building is visually prominent from many vantage points.

Site characteristics therefore, are significant factors to consider in the process of determining the appropriate location for a new addition. When planning an addition, preserving significant landscape features – including vegetation, grading, walls, fences, walkways, driveways – and other important historic features of the historic property must be taken into account. Furthermore, significant archeological resources must also be considered when evaluating the placement of an addition and, as appropriate, mitigation measures must be implemented if they are to be disturbed.

A careful site analysis can identify suitable locations for an addition that take advantage of site features such as topographic changes and other factors that may lessen the impact of an addition. Opportunities for locating an addition partially or entirely below ground, or set behind other site features that can screen the visibility of new construction should be evaluated.

Size, scale, and massing of the new addition

The size, scale, and massing of a new addition all pertain to the addition's overall volume and three-dimensional qualities. Taken together, size, scale and massing are critical elements for ensuring that a new addition is subordinate to the historic building, thus preserving the historic character of a historic property. Typically, a compatible addition should be smaller than the historic building in both height and footprint. However, there are other considerations that may allow moving away from this basic concept.

Depending on its location, it may be possible that an addition slightly taller or slightly larger than the historic building may be acceptable, as long as it is visually subordinate to the historic building. In some cases, separating the addition from the historic building with a small hyphen can reduce the impact of an addition that is larger than the historic building. Another way of minimizing the impact of a new addition to an historic building is to offset it or step it back from the mass of the historic building.

Differentiating the new addition from the historic building

To preserve a property's historic character, a new addition must be visually distinguishable from the historic building. [Section 67.7\(c\)](#) of the program regulations cautions "exterior additions that duplicate the form, material, and detailing of the structure to the extent that they compromise the historic character of the structure will result in denial of certification." This does not mean that the addition and historic building should be glaringly different in terms of design, materials and other visual qualities. Instead, the new addition should take its design cues from, but not copy, the historic building.

Differentiating the new from the old, yet still respecting the architectural qualities and vocabulary of the old, can be accomplished through a variety of design techniques, including:

- Incorporating a simple, recessed, small-scale hyphen to physically separate the old and the new volumes or setting the addition back from the wall plane(s) of the historic building.
- Avoiding any approaches that unify the two volumes into a single architectural whole. The coordination of individual features between the new addition and the historic building will not necessarily impair the existing building's historic character as long as the new structure is clearly differentiated and distinguishable as a new addition so that the identity of the historic structure is not lost altogether in a new and larger composition. The historic building must be clearly identifiable and its physical integrity must not be compromised by the new addition.
- Using building materials in the same color range or value as those of the historic building. The materials used on the new addition need not be the same as those on the historic building; however, new materials that highly contrast the historic ones should be avoided.
- Basing the size, rhythm and alignment of the new addition's window and door openings on those of the historic building.
- A new addition should also respect the architectural expression of the historic building type. For example, an addition to an institutional building should maintain the architectural character associated with this building type rather than using details and elements typical of residential or other building types.

The techniques listed above are merely examples of ways to differentiate a new addition from the historic building while ensuring that the addition is compatible with it. Other ways of differentiating a new addition from the historic building may be used as long they maintain the primacy of the historic building.

Working within these basic principles still allows for a broad range of architectural expression that can range from stylistic similarity to contemporary distinction. The recommended design approach for an addition is one that neither copies the historic building exactly nor stands in stark contrast to it.

New additions in densely-built environments

A densely-built neighborhood such as a downtown commercial core offers an opportunity to design an addition that can have a minimal impact on the historic building. Often the site for such an addition is vacant land where an independent building formerly stood. Treating the addition as a separate or infill building may be the route to having the least impact on the historic building. In these instances there may be no need for a direct visual link to the historic building, but the addition must still respect the scale of the historic building and those around it. Height and setback from the street should generally be consistent with those of the historic building and other surrounding buildings. There may be an opportunity for a larger addition when the facade of the addition can be broken up into elements that are consistent with the scale of the historic building and the adjacent building.

New additions in historic districts

When a building's historic status derives from its inclusion in an historic district, it is also necessary to look beyond the building itself in evaluating an addition. Relevant guidance comes from [36 CFR Part 67.6 \(b\)\(6\)](#) , of the program regulations and this guidance makes clear that all aspects of a rehabilitation, including a new addition, will be reviewed first as they affect the historic building and second as they affect the district in which the building is located. Additions to historic buildings may not cause the demolition of an adjacent certified historic structure for a rehabilitation project seeking certification according to [36 CFR Part 67.6 \(b\)\(5\)](#) .



Application for Certificate of Appropriateness

E-PLANS INSTRUCTIONS

PLEASE FOLLOW STEPS 1 & 2 BEFORE SUBMITTING THIS APPLICATION

1. Pre-apply online at:
<https://www.springfieldmo.gov/payments/PLNPermitInfo.aspx?ptype=8005>
2. Wait for a "pre-screen complete" e-mail from the City of Springfield with instructions for e-plans review process.
3. Complete this application and upload a digital (pdf) copy through e-plans.

Office Use Only

Date Filed:

Received By:

Review:

- ☐ Administrative
☐ Landmarks Board

The applicant seeks to show the following:

1. That the proposed work will be done in conformance with the Secretary of Interior Standards for Rehabilitation.
2. That the proposed work will be done in conformance with any applicable design guidelines or standards that the Landmarks Board has established and adopted. (Commercial Street and Walnut Street Districts and Mid-Town Neighborhood historic sites only)
3. That the proposed work will be done in conformance with all other relevant requirements of the Springfield Zoning Ordinance.

THEREFORE, applicant requests that the Certificate of Appropriateness be approved for the property as proposed in this submittal.

We, the signers of this application, do attest to the truth and correctness of all facts and information presented with this application and understand that, if approved, all work must be done under a building permit issued by the Department of Building Development Services. Approval of this application does not constitute approval of a building permit, nor does it certify that the zoning is appropriate for the proposed uses. These are separate processes that must be initiated by the applicants. We further understand that approval of this application does not constitute approval for tax certification under the Tax Reform Act of 1986 or amendments thereto.

Signature(s):

Ellen S. McLean

Date:

8/19/14

Please type or print name(s) clearly:

Ellen S. McLean

Exhibit A: REQUEST FOR CERTIFICATE OF APPROPRIATENESS

Please use this form only. Form may be photocopied. Please type or print.

For instructions, see pages 5-8

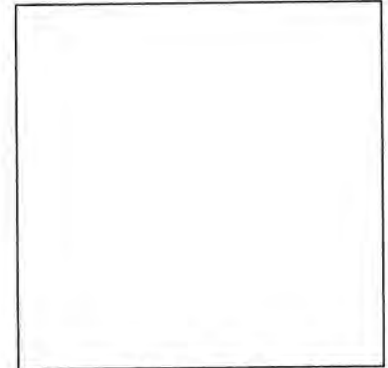
1. Property address: 224 E Commercial St, Springfield, MO 65803

APPLICANT INFORMATION:

2. Name of current property owner: DWM Properties, LLC
If corporation: Corporate Official: David Lutz
Mailing Address: 224 E Commercial St, Springfield, MO
Zip Code: 65803 Telephone: 417-827-8989 Fax: 417-312-2517
E-mail: DavidLutzPhD@gmail.com

3. AUTHORIZED REPRESENTATIVE:

(The representative should have the authority to commit the applicant to changes that may be suggested by the Board):



(Corporate Seal)

Name: _____

Signature: _____

Mailing Address: _____ Zip Code: _____ Fax: _____

Telephone: _____ E-mail: _____

4. **BUILDING DEVELOPMENT SERVICES DISCUSSION:** (Before submitting this application, the applicant should discuss the project with BDS. Their phone number is 417-864-1055.)

Date of discussion: 12-13-13

NOTE: The property owner must either sign this application or give City staff a power of attorney showing that another person is authorized to sign.

Exhibit B: DESCRIPTION OF PROPOSED WORK & SUPPORTING INFORMATION

Please use this form only. Form may be photocopied. Please type or print.

1. **TYPE OF WORK PROPOSED:** (Check all that apply. All work items require a written description of the proposed work. Additional required supporting information is denoted after each item and **must** be attached. See Instructions, page 5. **Maximum size for drawings: 11 x 17 inches.** NOTE: Even though you check the "Other" or the "New Construction" box, you must still give information on individual features such as windows, doors, etc., included in a large project.)

- | | | |
|---|--|---|
| ☒ Addition (1,2, 3, 7) | ☐ Handicapped Ramp (1, 2, 3) | ☐ Sidewalk (1, 3) |
| ☐ Awnings (2, 3, 4 or 5, 6) | ☐ New Construction (1, 2, 3, 7) | ☐ Siding (3, 4 or 5) |
| ☐ Building Relocation (1, 2, 3, 7) | ☐ Parking (1, 3) | ☐ Sign (1, 2, 3, 6) |
| ☐ Demolition (1, 2, 3, 7) | ☐ Porch (1, 2, 3) | ☐ Window (2, 3, 4 or 5, 6) |
| ☐ Door (2, 3, 4 or 5, 6) | ☐ Retaining Wall (1, 2, 3) | ☐ Archeological Site (1, 3, 8) |
| ☐ Fence (1, 2, 3, 5) | ☐ Roof-New (3, 4 or 5, 7) | |
| ☐ Guttering (2, 3, 4 or 5, 6) | ☐ Re-roof (3, 4) | |

☐ Other (specify): _____

1 – Site Plans
2 – Elevations
3 – Photographs
4 – Sample of materials to be used

5 – Product literature
6 – Drawings
7 – Exhibit C – Why proposed work should be approved
8 – State historic Preservation Officer Comments

2. **DESCRIPTION OF PROPOSED WORK:** (attach additional pages if necessary)

Please see attached.

NOTE: An application is considered incomplete until **all** supporting materials, as specified in Item 1 above, are attached. Incomplete applications will **not** be processed or scheduled for a public hearing.

Exhibit C: WHY PROPOSED WORK SHOULD BE APPROVED

Please use this form only. Form may be photocopied. Please type or print.

When proposing a major project, please use this page to give information in support of your request. (See Exhibit B, item 1, above: "Type of Work Proposed," key # 7. Suggested items of discussion are included in the Instructions, page 7.)

The revitalization of Commercial Street has brought back the interest of social and economic stimulation to a portion of the Springfield community. With several improvements to both the interior and exterior of buildings on Commercial Street as well as outdoor spaces, the historic appearance has been preserved through proper consideration.

The proposed development on the South of the courtyard greatly limits most of the development that was approved in the 02/03/14 Certificated of Appropriateness. No garage will be built and no existing walls will be demolished. The new wood gate between the South brick walls will not impact the historic nature of the site or the adjacent buildings. Construction of a conditioned storage utility structure with exterior metal siding will be constructed in the South end of the courtyard. It will not be visible from either Commercial Street or Blaine Street.

In conclusion, this Certificate of Appropriateness should be considered for approval based on the previous approval on 02/03/14 by the Landmarks Board review. The historic material and character defining features of the adjacent buildings will not be obscured, damaged, or destroyed.



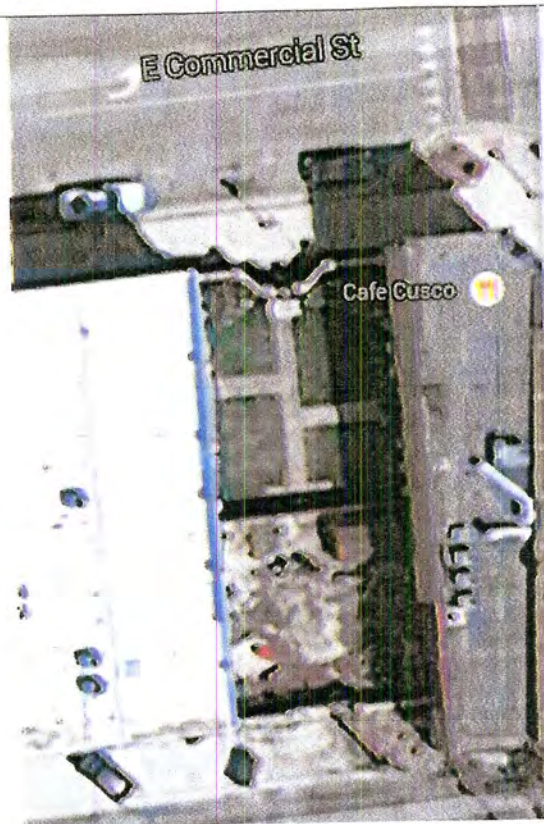
PHOTO #1: COMMERCIAL STREET LOOKING WEST AT EXISTING SAVOY BUILDING.



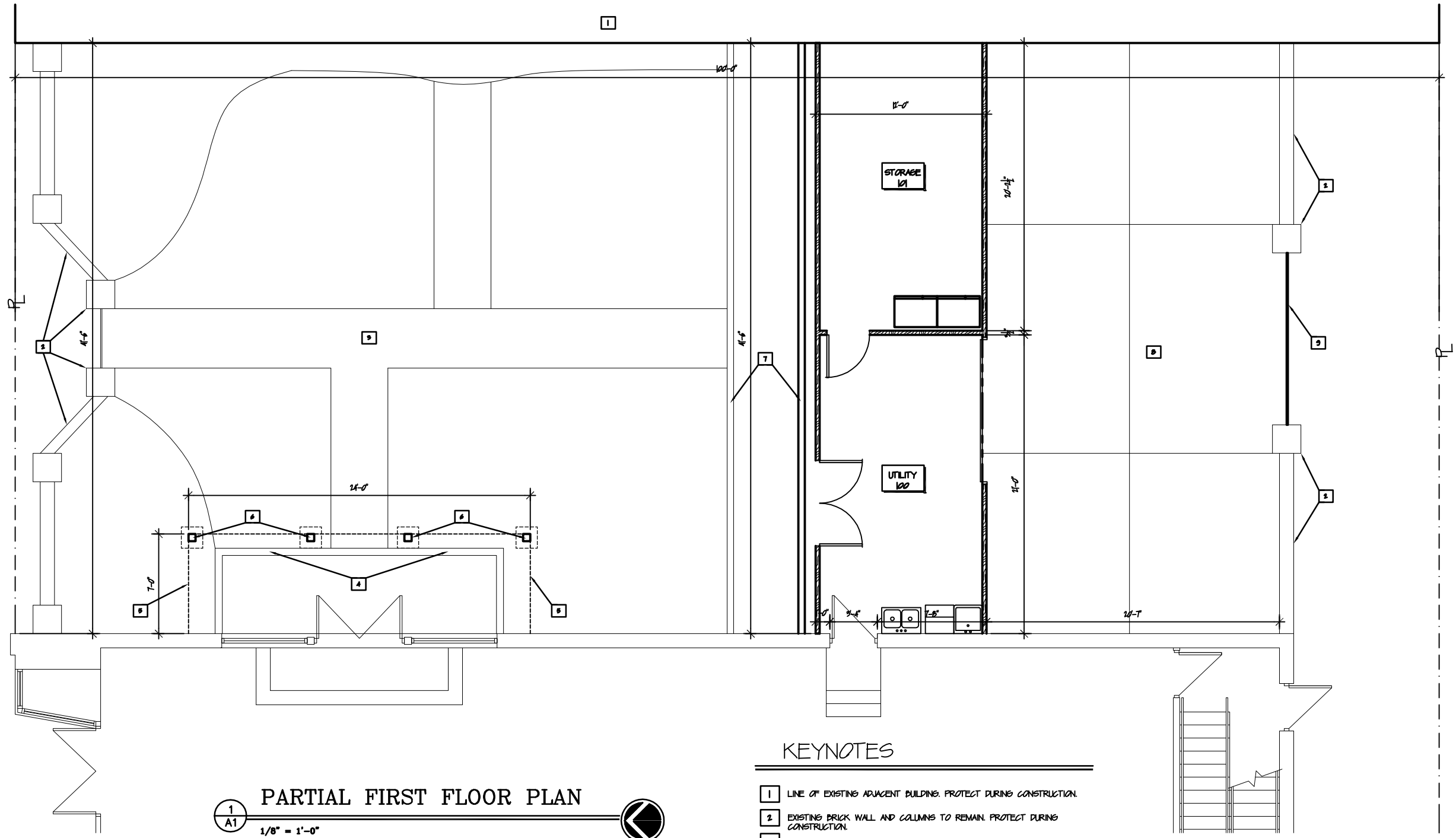
PHOTO #2: BLAINE STREET LOOKING WEST AT EXISTING SOUTH WALL OF COURTYARD AND EAST WALL OF THE SAVOY BUILDING



PHOTO # 3: BLAINE STREET LOOKING EAST TO ADJACENT BUILDING.



AERIAL SITE PLAN: 224 E. COMMERCIAL
1" = 40'-0"

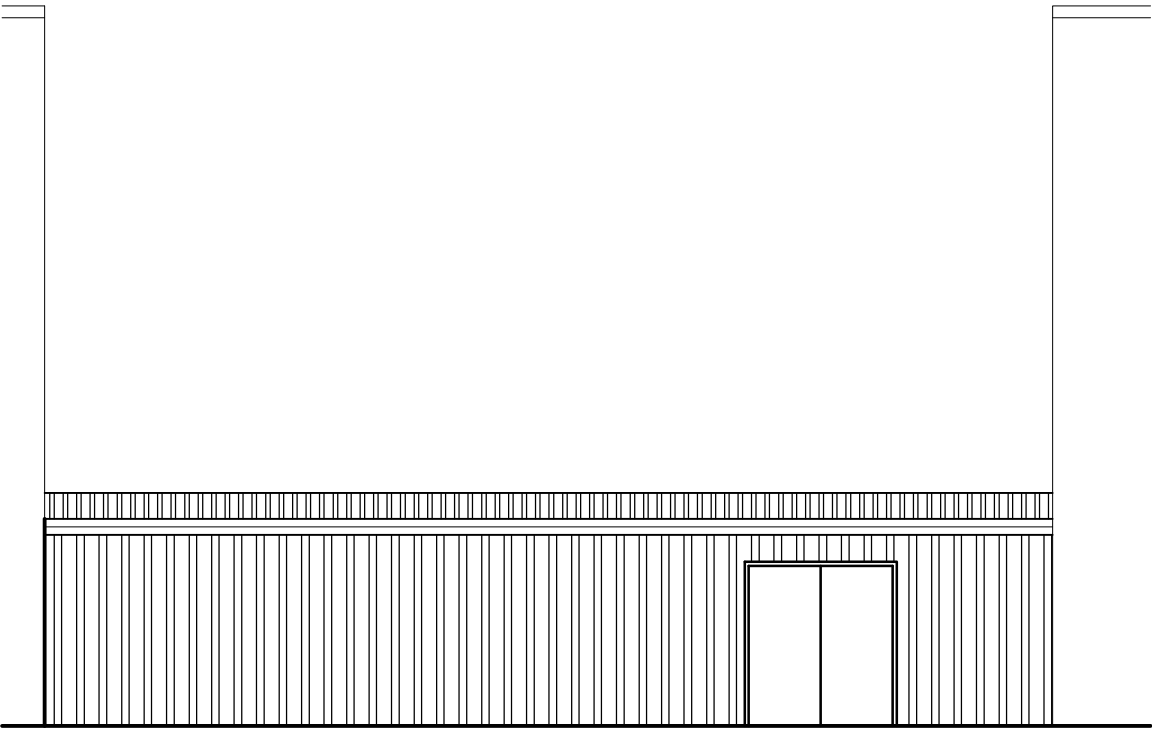


PARTIAL FIRST FLOOR PLAN

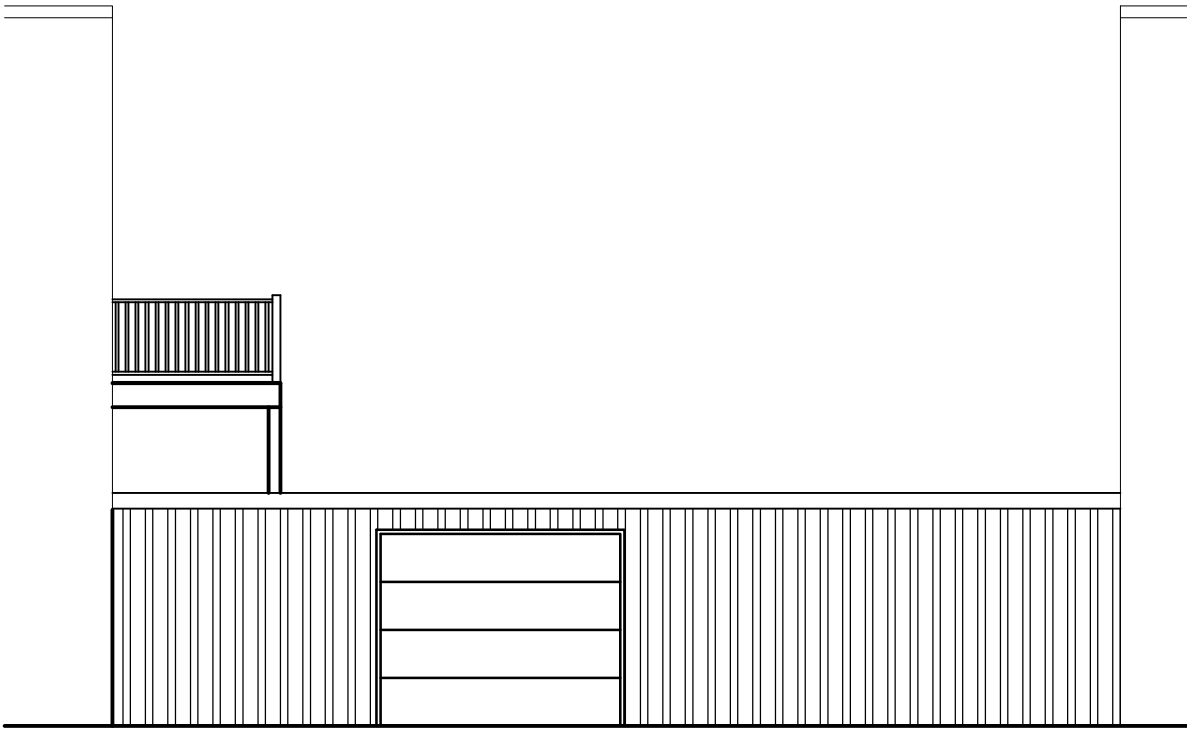
1/8" = 1'-0"

KEYNOTES

- 1 LINE OF EXISTING ADJACENT BUILDING. PROTECT DURING CONSTRUCTION.
- 2 EXISTING BRICK WALL AND COLUMNS TO REMAIN. PROTECT DURING CONSTRUCTION.
- 3 EXISTING COURTYARD TO REMAIN. PROTECT DURING CONSTRUCTION.
- 4 LINE OF EXISTING STAINED CONCRETE PAD.
- 5 LINE OF NEW STEEL BALCONY ABOVE. SEE STRUCTURAL DRAWINGS.
- 6 NEW STEEL COLUMN FOR BALCONY SUPPORT.
- 7 RELOCATE EXISTING DECORATIVE FENCE 5'-0" TO THE SOUTH.
- 8 NEW 4" CONCRETE SLAB WITH REINFORCING. SLOPE CONCRETE TO DRAIN.
- 9 NEW TREATED WOOD GATE TO REPLACE EXISTING. REMOVE AND DISCARD EXISTING.



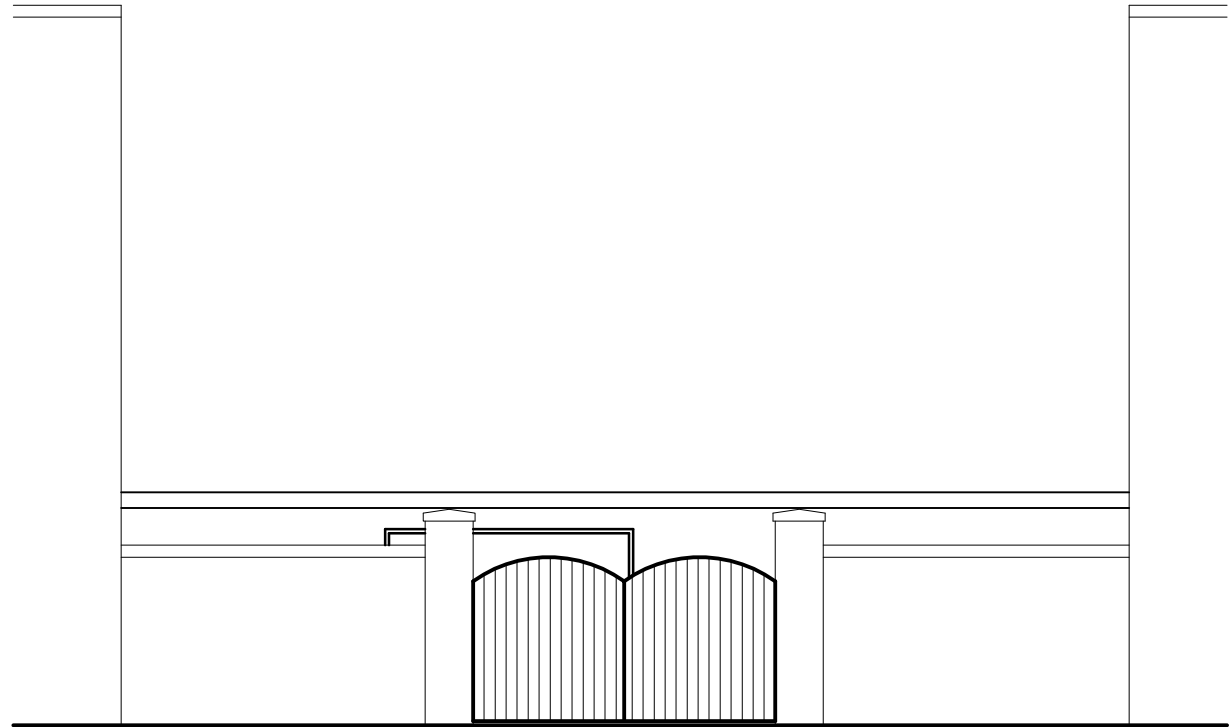
2
A2
NORTH ELEVATION
1/8" = 1'-0" BEHIND FENCE



3
A2
SOUTH ELEVATION
1/8" = 1'-0" COURTYARD



1
A2 EAST ELEVATION
1/8" = 1'-0"



4
A2

SOUTH ELEVATION

1/8" = 1'-0"

BLAINE STREET



LANDMARKS BOARD

CITY OF SPRINGFIELD
P.O. BOX 8368
SPRINGFIELD, MISSOURI 65801
417-864-1031

STAFF REPORT

COMMERCIAL STREET HISTORIC DISTRICT

DATE: August 28, 2014

BACKGROUND:

LOCATION: 406 W. Commercial Street

APPLICANT: Ruth Geraci

PROPOSAL:

1. Construct a new freestanding wood deck to the south elevation of the building.

RECOMMENDATION:

The request be **approved**.

FINDINGS:

1. This structure is considered a contributing structure in the Commercial Street National Historic District and Commercial Street Local Historic District.
2. The applicant is rehabilitating the building exterior consistent with the Commercial Street Design Guidelines and Secretary of the Interior's Standards for Rehabilitation.

PROJECT COORDINATOR:

Daniel Neal
Senior Planner

ATTACHMENT A
BACKGROUND REPORT
406 W. Commercial

APPLICANT'S PROPOSAL:

The applicant is requesting to construct a new freestanding wood deck on the south elevation of the building.

STAFF COMMENTS:

1. The proposed wooden deck will be placed at the rear of the lot and will not alter the view from Commercial Street. After review of the proposal, staff supports the new deck with as shown on the attached elevation. The deck cannot overhand into the public right-of-way without an executed encroachment agreement.
2. All proposed work is required to receive a building permit to be issued by Building Development Services. All other requirements of the COM-1 District, Zoning Ordinance and Building Code shall apply.

ATTACHMENT B
PERTINENT DESIGN GUIDELINES
406 W. Commercial

SECRETARY OF THE INTERIOR'S STANDARDS

1. A property will be used as it was historically or be given a new use that requires minimal change to its distinctive materials, features, spaces, and spatial relationships.
2. The historic character of a property will be retained and preserved. The removal of distinctive materials or alteration of features, spaces and spatial relationships that characterize a property will be avoided.
4. Changes to a property that have acquired historic significance in their own right will be retained and preserved.
5. Distinctive materials, features, finishes and construction techniques or examples of craftsmanship that characterize a property will be preserved.
6. Deteriorated historic features will be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature will match the old in design, color, texture and, where possible, materials.

COMMERCIAL STREET DESIGN GUIDELINES

Building materials:

If new and old materials must be brought together, try to link them.
Where linking is not possible, achieve a controlled appearance, at junction of materials.

ORDINANCE REVIEW

In addition, the *Springfield Zoning Ordinance* states:

In the event the Landmarks Board concludes that the request, if granted, will have a detrimental effect upon the Historic Landmarks or Historic District or any adverse effect on an historical or architectural resource, then the Landmarks Board shall deny the request for a certificate.



Application for Certificate of Appropriateness

****E-PLANS INSTRUCTIONS****

****PLEASE FOLLOW STEPS 1 & 2 BEFORE SUBMITTING THIS APPLICATION****

1. Pre-apply online at:
<https://www.springfieldmo.gov/payments/PUNPermitInfo.aspx?ptype=8005>
2. Wait for a "pre-screen complete" e-mail from the City of Springfield with instructions for e-plans review process.
3. Complete this application and upload a digital (pdf) copy through e-plans.

Office Use Only

Date Filed:

Received By:

Review:

- ☐ Administrative
☐ Landmarks Board

The applicant seeks to show the following:

1. That the proposed work will be done in conformance with the Secretary of Interior Standards for Rehabilitation.
2. That the proposed work will be done in conformance with any applicable design guidelines or standards that the Landmarks Board has established and adopted. (Commercial Street and Walnut Street Districts and Mid-Town Neighborhood historic sites only)
3. That the proposed work will be done in conformance with all other relevant requirements of the Springfield Zoning Ordinance.

THEREFORE, applicant requests that the Certificate of Appropriateness be approved for the property as proposed in this submittal.

We, the signers of this application, do attest to the truth and correctness of all facts and information presented with this application and understand that, if approved, all work must be done under a building permit issued by the Department of Building Development Services. Approval of this application does not constitute approval of a building permit, nor does it certify that the zoning is appropriate for the proposed uses. These are separate processes that must be initiated by the applicants. We further understand that approval of this application does not constitute approval for tax certification under the Tax Reform Act of 1986 or amendments thereto.

Signature(s):

Date:

Ruth D. Geraci

8-18-14

Please type or print name(s) clearly:

RUTH D. GERACI

Exhibit A: REQUEST FOR CERTIFICATE OF APPROPRIATENESS

Please use this form only. Form may be photocopied. Please type or print.

For instructions, see pages 5-8

1. Property address: 406 W. COMMERCIAL ST. SPRINGFIELD, MO 65803

APPLICANT INFORMATION:

2. Name of current property owner: Ruth D. Geraci

If corporation: Corporate Official: _____

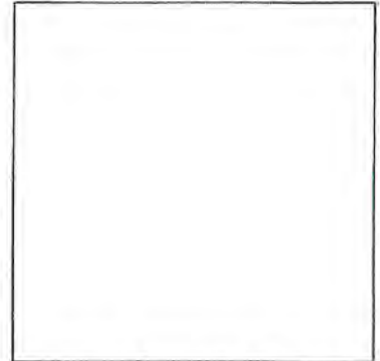
Mailing Address: 1950 S. SCENIC APT. K109

Zip Code: 65807 Telephone: 706-951-8100 Fax: _____

E-mail: NA

3. AUTHORIZED REPRESENTATIVE:

(The representative should have the authority to commit the applicant to changes that may be suggested by the Board):



(Corporate Seal)

Name: STEVE DECKARD

Signature: Steve Deckard

Mailing Address: PO BOX 694 MARSHFIELD Zip Code: 65706 Fax: _____

Telephone: 889-3797 E-mail: KEYSTONEARCHITECTS@SBCGLOBAL.NET

4. BUILDING DEVELOPMENT SERVICES DISCUSSION: (Before submitting this application, the applicant should discuss the project with BDS. Their phone number is 417-864-1055.)

Date of discussion: 5-22-14

NOTE: The property owner must either sign this application or give City staff a power of attorney showing that another person is authorized to sign.

Exhibit B: DESCRIPTION OF PROPOSED WORK & SUPPORTING INFORMATION

Please use this form only. Form may be photocopied. Please type or print.

1. **TYPE OF WORK PROPOSED:** (Check all that apply. All work items require a written description of the proposed work. Additional required supporting information is denoted after each item and **must** be attached. See Instructions, page 5. **Maximum size for drawings: 11 x 17 inches.** NOTE: Even though you check the "Other" or the "New Construction" box, you must still give information on individual features such as windows, doors, etc., included in a large project.)

- | | | |
|---|--|---|
| ☒ Addition (1,2, 3, 7) | ☐ Handicapped Ramp (1, 2, 3) | ☐ Sidewalk (1, 3) |
| ☐ Awnings (2, 3, 4 or 5, 6) | ☐ New Construction (1, 2, 3, 7) | ☐ Siding (3, 4 or 5) |
| ☐ Building Relocation (1, 2, 3, 7) | ☐ Parking (1, 3) | ☐ Sign (1, 2, 3, 6) |
| ☐ Demolition (1, 2, 3, 7) | ☐ Porch (1, 2, 3) | ☐ Window (2, 3, 4 or 5, 6) |
| ☐ Door (2, 3, 4 or 5, 6) | ☐ Retaining Wall (1, 2, 3) | ☐ Archeological Site (1, 3, 8) |
| ☐ Fence (1, 2, 3, 5) | ☐ Roof-New (3, 4 or 5, 7) | |
| ☐ Guttering (2, 3, 4 or 5, 6) | ☐ Re-roof (3, 4) | |

☐ Other (specify): _____

1 – Site Plans
2 – Elevations
3 – Photographs
4 – Sample of materials to be used

5 – Product literature
6 – Drawings
7 – Exhibit C – Why proposed work should be approved
8 – State historic Preservation Officer Comments

2. **DESCRIPTION OF PROPOSED WORK:** (attach additional pages if necessary)

CONSTRUCT A NEW FREESTANDING WOOD DECK
TO THE NORTH SIDE OF THE BUILDING

NOTE: An application is considered incomplete until **all** supporting materials, as specified in Item 1 above, are attached. Incomplete applications will **not** be processed or scheduled for a public hearing.

Exhibit C: WHY PROPOSED WORK SHOULD BE APPROVED

Please use this form only. Form may be photocopied. Please type or print.

When proposing a major project, please use this page to give information in support of your request. (See Exhibit B, item 1, above: "Type of Work Proposed," key # 7. Suggested items of discussion are included in the Instructions, page 7.)

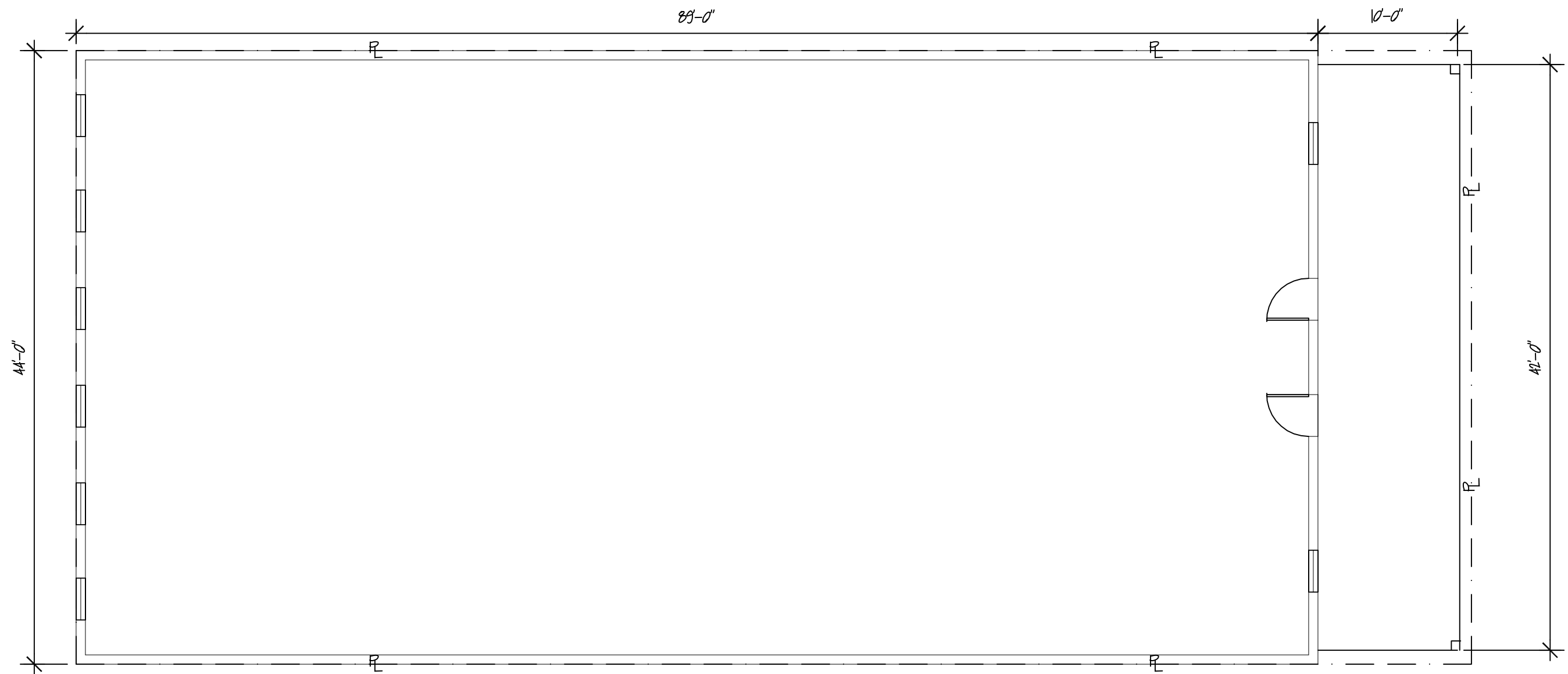
THE PROPOSED STRUCTURE IS TO BE WOOD TO REFLECT THE RAILROAD BRIDGE. CONSTRUCTION THIS NEW CONSTRUCTION WILL NOT DESTROY HISTORIC CHARACTER OF THE PROPERTY BUT PROVIDE AN ELEMENT THAT WAS ONCE PART OF THE BUILDING BASED ON THE LOCATION OF 2 EXTERIOR DOORS THE NEW CONSTRUCTION WOULD NOT BE ATTACHED TO THE EXISTING BUILDING, SO THAT IF REMOVED IN THE FUTURE, THE ESSENTIAL FORM AND INTEGRITY OF THE HISTORIC PROPERTY WILL BE UNIMPAIRED.

THE NEW CONSTRUCTION WILL NOT AFFECT THE HISTORIC CHARACTER OF THE PROPERTY OR THE HISTORIC PURPOSE OF THE STRUCTURE.



AERIAL SITE PLAN : 406 W. COMMERCIAL
1" = 50'-0"

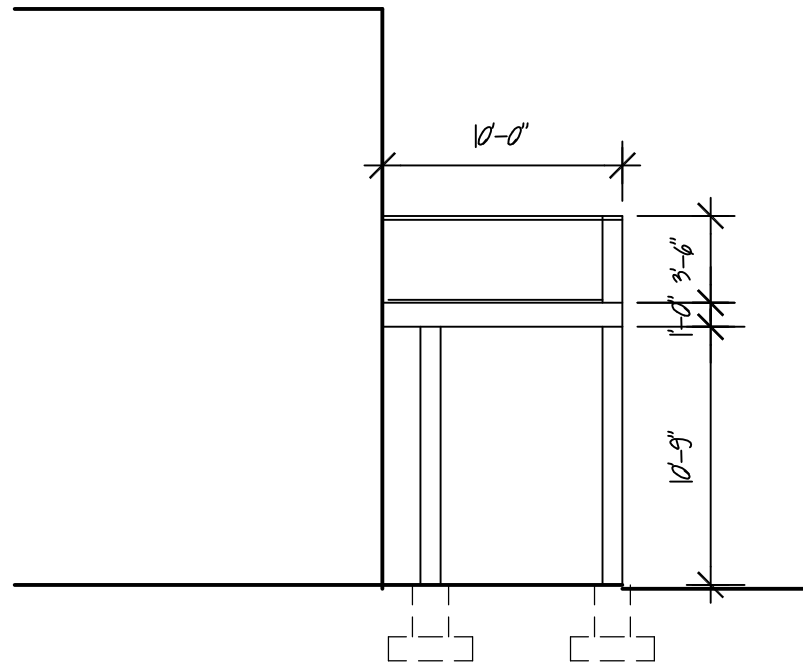




2
A1

PARTIAL SECOND FLOOR PLAN

1/8" = 1'-0"



WEST ELEVATION

4
A1

1/8" = 1'-0"



SOUTH ELEVATION

3
A1

1/8" = 1'-0"



LANDMARKS BOARD

CITY OF SPRINGFIELD
P.O. BOX 8368
SPRINGFIELD, MISSOURI 65801
417-864-1031

STAFF REPORT

HISTORIC SITE

DATE: August 28, 2014

PROPOSAL:

1. Construct a new garage and crematorium building

BACKGROUND:

LOCATION: 500 E. Walnut St.

HISTORIC DESIGNATION: Historic Site – Heer/Lohmeyer House

APPLICANT: Lohmeyer Funeral Home c/o Paul Wonderlich

RECOMMENDATION:

The Landmarks Board will need to determine whether the new structure will be compatible with the historic structure or overpower it. Staff recommends **approval** of the request.

FINDINGS:

1. The Heer/Lohmeyer House is a local historic site that was nominated by City Council on February 29, 1988.
2. The new structure is proposed to be setback behind the building line of the historic structure.

STAFF CONTACT:

Daniel Neal
Senior Planner
864-1036

ATTACHMENT A
BACKGROUND REPORT
500 E. Walnut St.
Heer/Lohmeyer House

APPLICANT'S PROPOSAL:

The applicant is proposing to construct a new three-car garage and crematorium to the west of the historic house. The orientation of the structure will be rotated to face south.

STAFF COMMENTS:

1. The applicant originally intended to demolish the dilapidated historic carriage house which was approved by the Landmarks Board on July 16, 2014 and build a new three-car garage and crematorium in its place. After locating the existing underground utilities, that location was determined to not be feasible. The owner is proposing to locate the new three-car garage and crematorium to the west of the historic Heer/Lohmeyer House instead. The orientation of the structure will be rotated to face south rather than west.
2. The applicant is proposing a new 45 x 55 foot one-story structure. Structure will be split face and smooth face concrete block walls. Wood roof trusses and heritage asphalt shingles. It will be located at the south end of the grass area and will abut the existing asphalt surface parking lot as shown on attached site plan. Staff supports the request because the new structure is not overpowering and is setback behind the historic structures building line. The structure is detached from the historic structure and materials do not mimic it, either.
3. All proposed work is required to receive a building permit to be issued by Building Development Services. All other requirements of the Zoning Ordinance and Building Code shall apply.

ATTACHMENT B
DESIGN STANDARDS & GUIDELINES
500 E. Walnut St.
Heer/Lohmeyer House

ZONING ORDINANCE:

No specific design guidelines have been established by ordinance for historic sites. The Board has the authority to approve or disapprove the proposed application. A building permit will be issued to the applicant, even if the Board denies the application, sixty (60) days from the date of the application for the building permit.

SECRETARY OF INTERIOR'S STANDARDS:

2. The historic character of a property will be retained and preserved. The removal of historic materials or alteration of features, spaces, and spatial relationships that characterize a property will be avoided.
3. Each property will be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or elements from other historic properties, will not be undertaken.
4. Most properties change over time; those changes that have acquired historic significance in their own right shall be retained and preserved.
5. Distinctive features, finishes, and construction techniques or examples of craftsmanship that characterize a property shall be preserved.
9. New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work will be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.

ATTACHMENT C
ARCHITECTURAL SIGNIFICANCE
500 E. Walnut St.
Heer/Lohmeyer House

ARCHITECTURAL SIGNIFICANCE:

1. The structure was placed on the Springfield Historic Register on February 29, 1988, as a local historic site.

WARREN & GOODIN, INC.**ARCHITECTS ENGINEERS PLANNERS**

420 SOUTH AVENUE

SPRINGFIELD, MISSOURI 65806

417-869-8900

FAX: 417-869-1325

August 18, 2014

Mr. Daniel Neal
Planning & Zoning
City Hall
P.O. Box 8368
Springfield, MO 65801-8368

Re: Crematorium, 500 E. Walnut Street, Springfield, MO

Dear Mr. Neal:

The Owner appreciates the approval to remove the historic two-car hazardous garage structure. The original intent was to construct a building at this site with a three-car garage and crematorium. After verification of location of existing underground utilities and area available for the proposed structure, it is evident this location is not feasible.

The Owner requests approval for a structure west of the historic house on the vacant west lot. The proposed structure is basically the same as would have been built on site of removed two-car garage. The orientation of structure will be rotated to face south rather than west.

Thank you for your consideration and approval.

Very truly yours,

WARREN & GOODIN, INC.
Architects - Engineers



Windsor Warren, PE

slp



Application for Certificate of Appropriateness

****E-PLANS INSTRUCTIONS****

****PLEASE FOLLOW STEPS 1 & 2 BEFORE SUBMITTING THIS APPLICATION****

1. Pre-apply online at:
<https://www.springfieldmo.gov/payments/PLNPermitInfo.aspx?ptype=8005>
2. Wait for a "pre-screen complete" e-mail from the City of Springfield with instructions for e-plans review process.
3. Complete this application and upload a digital (pdf) copy through e-plans.

Office Use Only

Date Filed:

Received By:

Review:

- ☐ Administrative
☐ Landmarks Board

The applicant seeks to show the following:

1. That the proposed work will be done in conformance with the Secretary of Interior Standards for Rehabilitation.
2. That the proposed work will be done in conformance with any applicable design guidelines or standards that the Landmarks Board has established and adopted. (Commercial Street and Walnut Street Districts and Mid-Town Neighborhood historic sites only)
3. That the proposed work will be done in conformance with all other relevant requirements of the Springfield Zoning Ordinance.

THEREFORE, applicant requests that the Certificate of Appropriateness be approved for the property as proposed in this submittal.

We, the signers of this application, do attest to the truth and correctness of all facts and information presented with this application and understand that, if approved, all work must be done under a building permit issued by the Department of Building Development Services. Approval of this application does not constitute approval of a building permit, nor does it certify that the zoning is appropriate for the proposed uses. These are separate processes that must be initiated by the applicants. We further understand that approval of this application does not constitute approval for tax certification under the Tax Reform Act of 1986 or amendments thereto.

Signature(s):

Paul Wunderlich

Date:

August 18, 2014

Please type or print name(s) clearly:

Paul Wunderlich

Paul Wunderlich

Exhibit A: REQUEST FOR CERTIFICATE OF APPROPRIATENESS

Please use this form only. Form may be photocopied. Please type or print.

For instructions, see pages 5-8

1. Property address: 500 E. Walnut Street, Springfield, MO

APPLICANT INFORMATION:

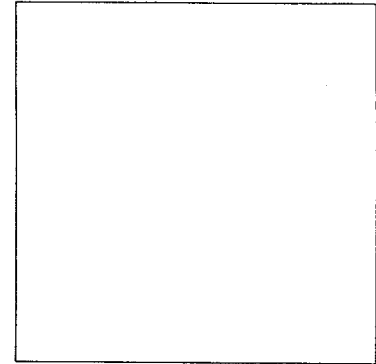
2. Name of current property owner: Herman H. Lohmeyer Funeral Home

If corporation: Corporate Official: _____

Mailing Address: 500 E. Walnut Street, Springfield, MO

Zip Code: 65806 Telephone: 862-4433 Fax: _____

E-mail: _____



(Corporate Seal)

3. AUTHORIZED REPRESENTATIVE:

(The representative should have the authority to commit the applicant to changes that may be suggested by the Board):

Name: Windsor Warren

Signature: [Handwritten Signature]

Mailing Address: 420 South Avenue, Springfield, MO Zip Code: 65806 Fax: 869-1325

Telephone: 869-8900 E-mail: w2@warren-goodin.com

4. BUILDING DEVELOPMENT SERVICES DISCUSSION: (Before submitting this application, the applicant should discuss the project with BDS. Their phone number is 417-864-1055.)

Date of discussion: August 15, 2014

Rick Garner, PE

NOTE: The property owner must either sign this application or give City staff a power of attorney showing that another person is authorized to sign.

Exhibit B: DESCRIPTION OF PROPOSED WORK & SUPPORTING INFORMATION

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- | | | |
|---|---|---|
| ☐ Addition (1, 2, 3, 7) | ☐ Handicapped Ramp (1, 2, 3) | ☐ Sidewalk (1, 3) |
| ☐ Awnings (2, 3, 4 or 5, 6) | ☒ New Construction (1, 2, 3, 7) | ☐ Siding (3, 4 or 5) |
| ☐ Building Relocation (1, 2, 3, 7) | ☐ Parking (1, 3) | ☐ Sign (1, 2, 3, 6) |
| ☐ Demolition (1, 2, 3, 7) | ☐ Porch (1, 2, 3) | ☐ Window (2, 3, 4 or 5, 6) |
| ☐ Door (2, 3, 4 or 5, 6) | ☐ Retaining Wall (1, 2, 3) | ☐ Archeological Site (1, 3, 8) |
| ☐ Fence (1, 2, 3, 5) | ☐ Roof-New (3, 4 or 5, 7) | |
| ☐ Guttering (2, 3, 4 or 5, 6) | ☐ Re-roof (3, 4) | |
| ☐ Other (specify): _____ | | |

1 – Site Plans

2 – Elevations

3 – Photographs

4 – Sample of materials to be used

5 – Product literature

6 – Drawings

7 – Exhibit C – Why proposed work should be approved

8 – State historic Preservation Officer Comments

2. **DESCRIPTION OF PROPOSED WORK:** (attach additional pages if necessary)

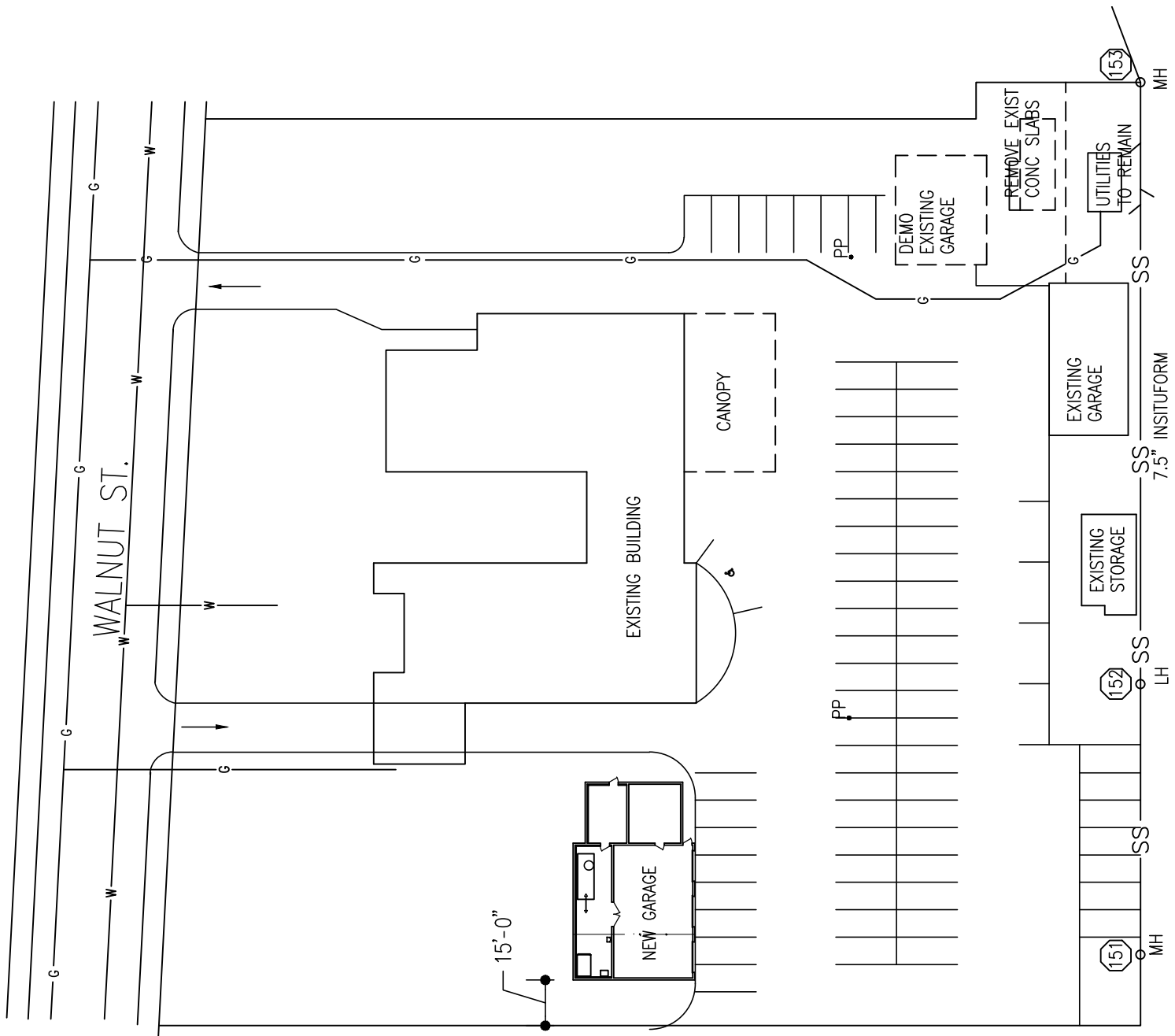
Construct new 45' x 55' one-story structure to accommodate a three-car garage, 13' x 45' crematorium, 16' x 10' family viewing room and 16' x 10' storage area. Facility will require all utilities, natural gas, electrical, water and sewer. Crematorium and family viewing will have through-the-wall heat/cool fan coil units.

Structure will be split face and smooth face concrete block walls. Wood roof trusses and heritage asphalt shingles.

Location is at south end of grass area and will abut to present asphalt surface parking lot.

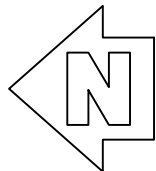
Next property west is four-story student dormitory built on north property line with parking in the rear.

NOTE: An application is considered incomplete until **all** supporting materials, as specified in Item 1 above, are attached. Incomplete applications will **not** be processed or scheduled for a public hearing.



SITE LAYOUT

SCALE : 1" = 50'-0"

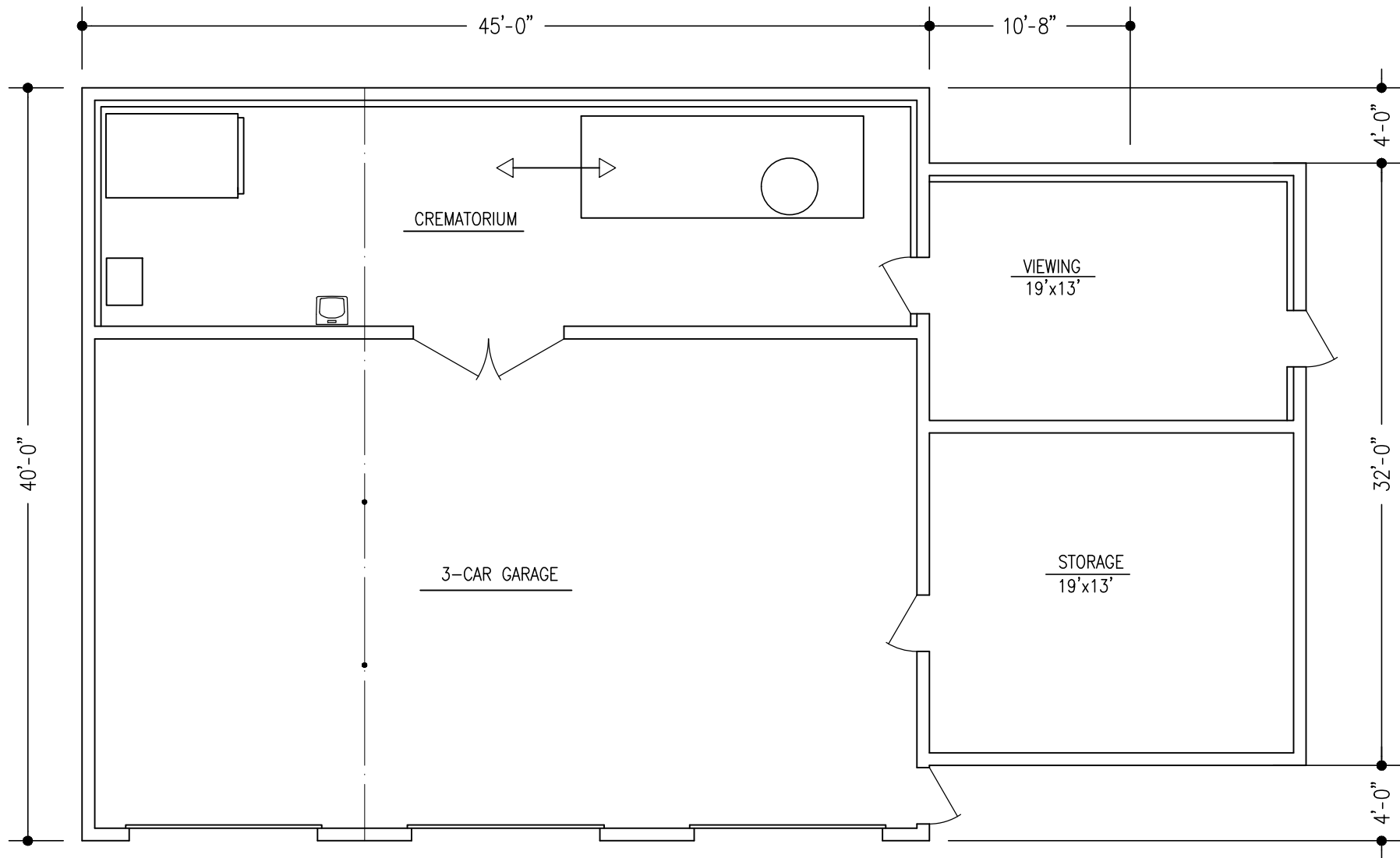




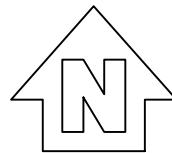
Kevin Roods
Administrator - Developer Services
Developer Services
City Utilities of Springfield, Missouri
Phone 417-831-8815
Cell 417-838-6981
kevin.roods@cityutilities.net

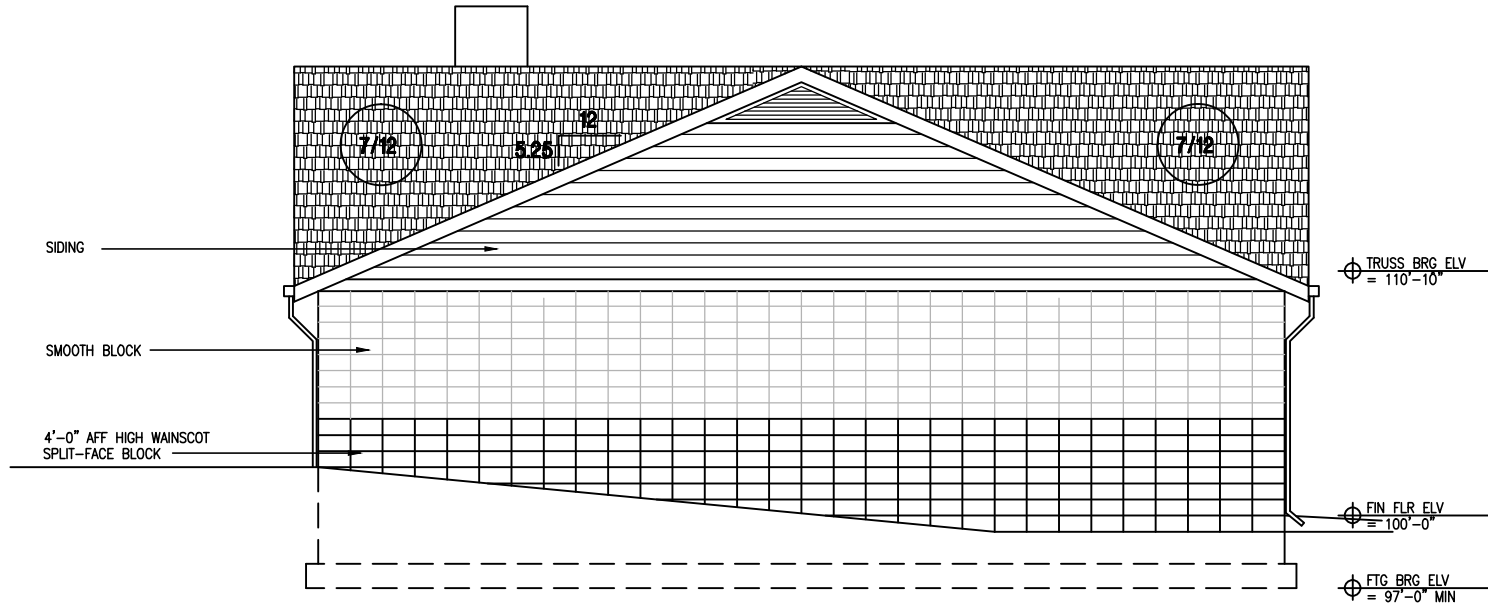
Are you connected? Follow us!





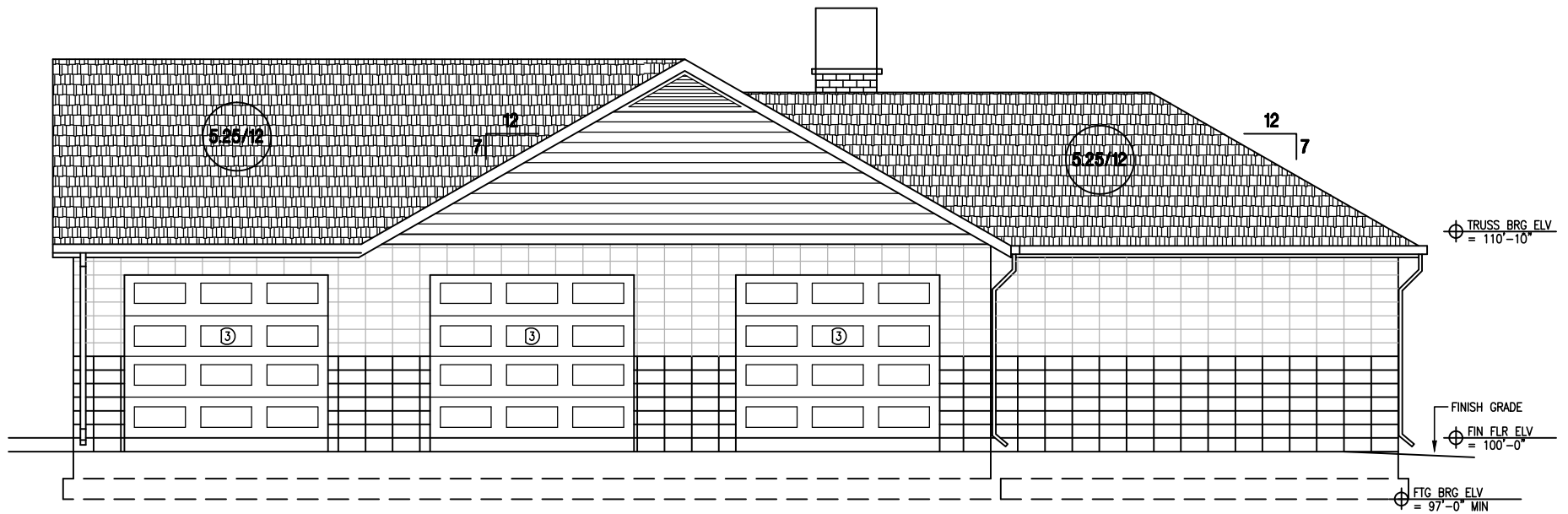
PLAN LAYOUT
SCALE : $1/8" = 1'-0"$





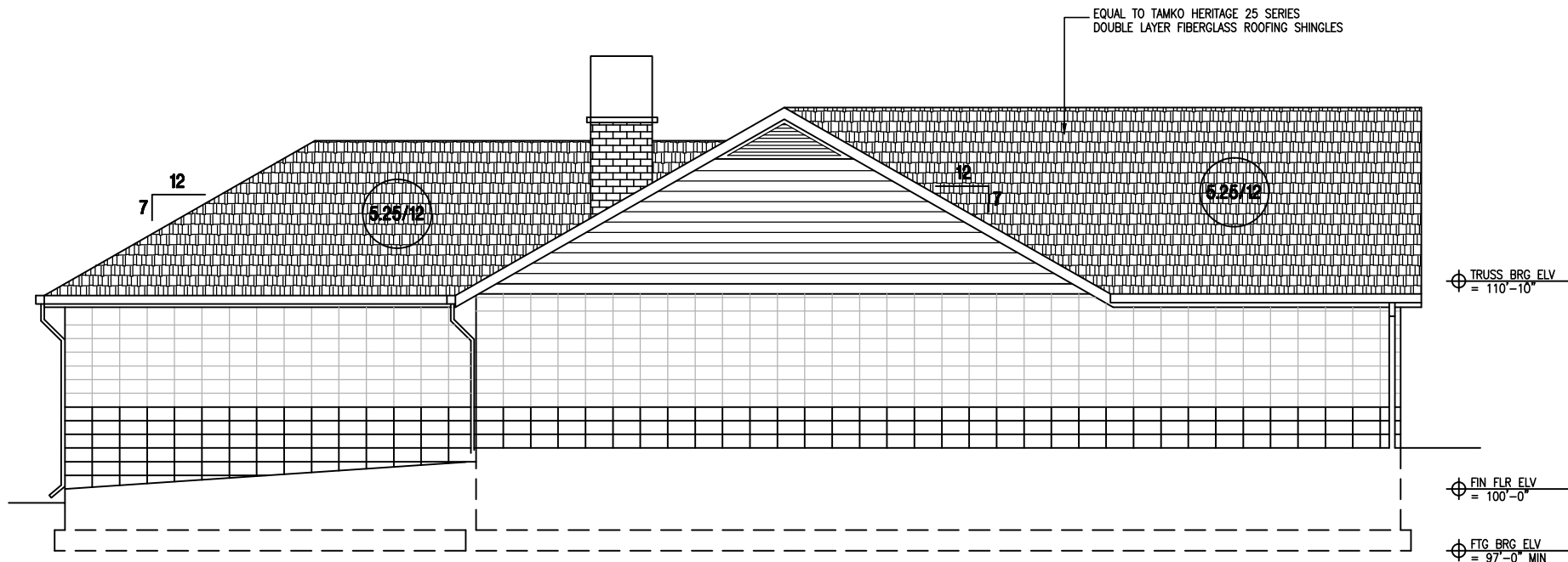
WEST ELEVATION

SCALE : 1/8" = 1'-0"

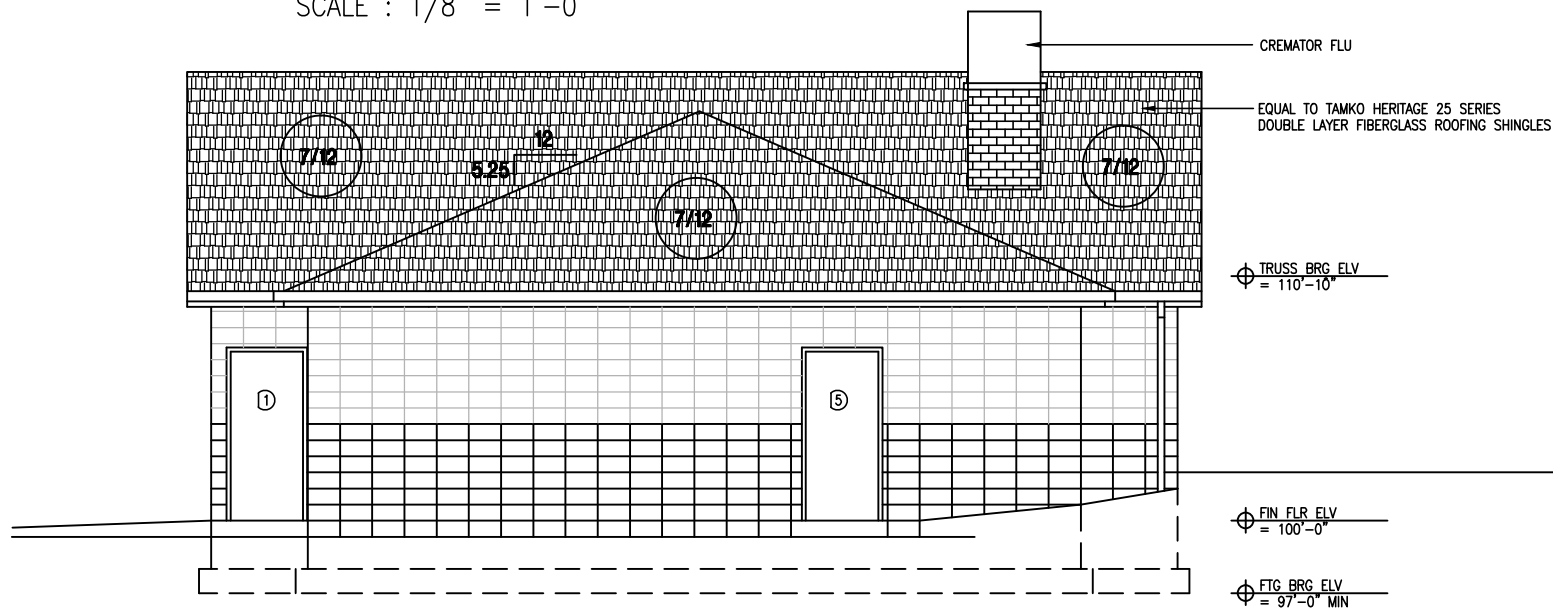


SOUTH ELEVATION

SCALE : 1/8" = 1'-0"



NORTH ELEVATION
SCALE : 1/8" = 1'-0"



EAST ELEVATION
SCALE : 1/8" = 1'-0"



Lohmeyer Funeral Home



Building site



Building site



Apartment to West

Exhibit C: WHY PROPOSED WORK SHOULD BE APPROVED

Please use this form only. Form may be photocopied. Please type or print.

When proposing a major project, please use this page to give information in support of your request. (See Exhibit B, item 1, above: "Type of Work Proposed," key # 7. Suggested items of discussion are included in the Instructions, page 7.)

Proposed crematorium/garage will be 160 ft. back from north property line with floor line 24 inches below grade at north building face. North face of building will be without windows or doors to attract attention of passing traffic.

The historic funeral home face is 70 ft. from north property line and shields the proposed building from westbound traffic. Similarly, the four-story dormitory on the west with building face on north property line totally shields the proposed structure from eastbound traffic.

The proposed concrete masonry block walls will blend with the wall structure of the funeral chapel built in 1994.

The crown of this lot is 5'-3" above grade of sidewalk and passing motorist. The entrance to the building will be basically 2 ft. below the crown of the lot. The Owner has plans for east-west landscaping to further distract the structure from public viewing.