



LANDMARKS BOARD

CITY OF SPRINGFIELD
P.O. BOX 8368
SPRINGFIELD, MISSOURI 65801
417-864-1031

City of Springfield

INTEROFFICE MEMORANDUM

DATE: January 3, 2013
RE: Landmarks Board Meeting

Please find attached the agenda for the Landmarks Board meeting on **January 9, 2013**.
No tour is being offered.

Daniel Neal
Senior Planner



LANDMARKS BOARD

CITY OF SPRINGFIELD
P.O. BOX 8368
SPRINGFIELD, MISSOURI 65801
417-864-1031

January 9, 2013
5:30 P.M.
Council Chambers
City Hall (830 Boonville)

I Roll Call

DAVID ESLICK
Historian Representative
Chair

II Minutes

None

CYNTHIA LIPSCOMB
Architect and Walnut St. Representative
Vice-Chair

III Unfinished Business

LEN EAGLEBURGER
At Large Representative

DAVID MAGGARD
At Large Representative

LAUREL BRYANT
Real Estate Representative

ANN BAYLIFF
At Large Representative

TODD SMITH
At Large Representative

DAVID BROWN
Mid-Town Representative

MONICA STEGALL
Commercial St. Representative

A. Certificate of Appropriateness

None

B. Certified Local Government Review

None

C. Pre-Application Review

None

IV New Business

A. Certificates of Appropriateness

1. 1460 E. Walnut: Permit new vinyl siding, windows, soffit, fascia, vents and trim with restrictive covenants
2. 1144 E. Walnut: Rehabilitate the historic structure for a change in use

B. Certified Local Government Review

None

C. Pre-Application Review

None

V Communications

VI Reports

A. Report on committees

1. Application
2. Demolition
3. Historic sites and districts
4. Communications
5. Awards and recognition
6. Design guidelines

B. Administrative approval of C of A's

None

VII Any other matters that fall under the jurisdiction of the Board

1. Proposed Amendments to Walnut Street-West UCD

VIII Adjournment

NOTE: In accordance with ADA guidelines, if you need special accommodations when attending any City meeting, please notify the City Clerk's office at 864-1443 at least 3 days prior to the scheduled meeting.



LANDMARKS BOARD

CITY OF SPRINGFIELD
P.O. BOX 8368
SPRINGFIELD, MISSOURI 65801
417-864-1031

STAFF REPORT

WALNUT STREET URBAN CONSERVATION DISTRICT – EAST

DATE: January 2, 2013

BACKGROUND:

LOCATION: 1460 E. Walnut Street

APPLICANT: Carrie Eidson

PROPOSAL:

1. Permit new vinyl siding, windows, soffit, fascia, vents and trim on the entire house with restrictive covenants (attached) that require the applicant or future owner to replace the existing vinyl exterior features appropriately utilizing the Landmarks Board review process.

RECOMMENDATION:

Staff believes that the restrictive covenant is a significant change to the application and recommends **approval**.

FINDINGS:

1. The house at 1460 E. Walnut is a contributing structure in the National Historic District and according to the Historic Architectural Inventory was built between 1925-1926.
2. The applicant has owned the property for ten (10) years (April 16, 2002).
3. The Walnut Street Design Guidelines state that the applicant should consider repairing the original siding and windows or, if not feasible, replace the siding and windows in-kind. The proposed Certificate of Appropriateness for

replacement siding and windows requires Landmarks Board approval because they are not being replaced in-kind to the original.

Staff Contact:

Daniel Neal
Senior Planner
864-1036

ATTACHMENT A
BACKGROUND REPORT
1460 E. Walnut Street

APPLICANT'S PROPOSAL:

The applicant has replaced the existing siding, soffit, fascia, trim, vents and windows with vinyl replacement materials. The applicant is proposing a restrictive covenant that will require the applicant or future owner to replace the existing (vinyl) exterior features appropriately utilizing the Landmarks Board review process when future exterior improvements are made. These exterior changes have already occurred and approximately ninety (90) percent of the work is complete.

STAFF COMMENTS:

1. Building Development Services was notified of a siding and window truck at 1460 E. Walnut on November 6th, but there was no truck or work without a Certificate of Appropriateness being done when the inspector visited the site the next day. BDS was notified of exterior work being done without a Certificate of Appropriateness on the house at 1460 E. Walnut on Tuesday, November 13th; however, an inspector was not able to get to the site until Monday, November 19th, where they issued a stop work order. The work was approximately ninety (90) percent complete at that point.
2. The applicant has owned the property since 2002 (approximately 10 years) and has been sent multiple Historic District information letters and pamphlets since that time. The most recent information pamphlet was sent December 8, 2009. The letter and pamphlet included the Landmarks Board website and the contact information for Daniel Neal in the Planning and Development Department which are still current.
3. The house at 1460 E. Walnut is a contributing structure in the National Historic District and according to the Historic Architectural Inventory was built between 1925-1926. The detached garage is assumed to have been built at the same time. The structure was described as a bungalow style with a stucco over frame wall construction and a gabled roof when surveyed by the Division of Parks and Historic Preservation Department of Natural Resources in 1984.
4. The Walnut Street Design Guidelines state that the applicant should consider repairing the historic siding or, if not feasible, replace the siding in-kind. The guidelines also state that the applicant should consider repairing the original windows or, if not feasible, replace the windows in-kind, recognizing the importance of sash type, size, muntins, mullions and glass.
5. While the exterior changes detract from the character and integrity of the structure and the district, the restrictive covenants will require the applicant or future owner

to receive Landmarks Board approval for any future exterior changes. The proposed restrictive covenants will need to be reviewed and approved by City Council prior to the stop work order being lifted.

6. If the request is denied, the applicant has the options of applying for a new Certificate of Appropriateness with substantial changes within fifteen (15) days, applying for a Certificate of Economic Hardship or filing an appeal to the Board of Adjustment within fifteen (15) days.

ATTACHMENT B
DESIGN STANDARDS & GUIDELINES
1460 E. Walnut Street

PERTINENT SECRETARY OF THE INTERIOR'S STANDARDS

2. The historic character of a property will be retained and preserved. The removal of historic materials or alteration of features, spaces, and spatial relationships that characterize a property will be avoided.
9. New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work will be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.

PERTINENT WALNUT STREET DESIGN GUIDELINES

SIDING:

The Applicant Should Consider:

1. Retaining the historic siding.
2. Repairing the historic siding or, if not feasible,
3. Replacing in kind.

The Applicant Should Avoid:

1. Removing any original or historic material.
2. Covering with any artificial material.
3. Painting unpainted surfaces.
4. Using abrasive cleaning for paint removal or to clean unpainted masonry.
5. Using chemical sealers.

WINDOWS:

The Applicant Should Consider:

1. Retaining all original windows in place.
2. Repairing the original window or, if not feasible,
3. Replacing the window in kind, recognizing the importance of sash type, size, muntins, mullions, and glass.
4. Using interior or exterior storm windows that match size, meeting rails, and heads of the original windows.
5. Using clear glass.

6. Installing “greenhouse” windows and skylights on side and rear elevations.

The Applicant Should Avoid:

1. Altering the size or type of windows.
2. Changing the location of windows.
3. Partially or wholly blocking windows.
4. Using glass that isn’t clear unless colored or stained glass is historically documented or appropriate.
5. Installing “greenhouse” windows and skylights on principal elevations.

ORDINANCE REVIEW

In addition, General Ordinance No. 3549 & 3560, which created the Walnut Street Urban Conservation district-East states:

In the event the Board concludes that the request, if granted, will have a detrimental effect upon the Urban Conservation District (UCD) or any adverse effect on an historical or architectural resource, then the Board shall deny the request for a certificate.

ATTACHMENT C
ARCHITECTURAL SIGNIFICANCE
1460 E. Walnut Street

ARCHITECTURAL SIGNIFICANCE:

The porch dominated the façade with its gabled face to the street. The surface of the pediment area is covered with stucco. In the center of the pediment is a fixed sash window with corner muntin sash. All window openings have upper sash fitting the above description with applied moulding at the window heads. The overhanging eaves have exposed rafter ends visible. The facade is three bay with triple windows at the first and third bay openings. The center window of the three is larger than those flanking it. Below on the façade the windows is a red brick veneer on the wall surface. The porch is supported by square brick pillars and has a concrete porch surface and steps. Behind the house is a one bay gable entrance wood garage.



Office Use Only	
Date Filed:	12/20/12
Received By:	<i>[Signature]</i>
Review:	
☐ Administrative	
☒ Landmarks Board	

Application for Certificate of Appropriateness

City of Springfield, Missouri

The applicant seeks to show the following.

1. That the proposed work will be done in conformance with the Secretary of Interior's Standards for Rehabilitation.
2. That the proposed work will be done in conformance with any applicable design guidelines or standards that the Landmarks Board has established and adopted. (Commercial Street and Walnut Street Districts and Mid-Town Neighborhood historic sites only).
3. That the proposed work will be done in conformance with all other relevant requirements of the Springfield Zoning Ordinance.

THEREFORE, applicant requests that the Certificate of Appropriateness be approved for the property as proposed in this submittal.

We, the signers of this application, do attest to the truth and correctness of all facts and information presented with this application and understand that, if approved, all work must be done under a building permit issued by the Department of Building Development Services. Approval of this application does not constitute approval of a building permit, nor does it certify that the zoning is appropriate for the proposed uses. These are separate processes that must be initiated by the applicants. We further understand that approval of this application does not constitute approval for tax certification under the Tax Reform Act of 1986 or amendments thereto.

Signature(s) Date:

Carrie Eidson
Chris Eidson

12/19/12
12/19/12

Please type or print name(s) clearly:

Carrie Eidson *Carrie Eidson*

Chris Eidson *Chris Eidson*

Exhibit A.

Request for Certificate of Appropriateness

Please use this form only. Form may be photocopied. Please type or print.

For instructions, see pages 5–8.

1. PROPERTY ADDRESS:

1460 E. Walnut St

2. APPLICANT:

Name(s): Chris & Carrie Eidson

If corporation: Corporate official: _____

Mailing address: 1460 E. Walnut St Zip Code: 65802 (corporate seal)

Telephone number: 417-894-4765 Fax number: _____

e-mail: _____

3. AUTHORIZED REPRESENTATIVE: *(The representative should have the authority to commit the applicant to changes that may be suggested by the Board).*

Name: _____ Signature: _____

Address: _____ Telephone: _____ Fax: _____

e-mail: _____

4. BUILDING DEVELOPMENT SERVICES DISCUSSION: *(Before submitting this application, the applicant should discuss the project with BDS. Their phone number is 864-1055.)*

Date of discussion: 12/19/12(most recent)

NOTE: The property owner must either sign this application or give City staff a power of attorney showing that another person is authorized to sign.

Exhibit B.

Description of Proposed Work & Supporting Information

Please use this form only. Form may be photocopied. Please type or print.

1. TYPE OF WORK PROPOSED: (Check all that apply. All work items require a written description of the proposed work. Additional required supporting information is denoted after each item and **must** be attached. See Instructions, page 5. **Maximum size for drawings: 11 x 17 inches.** NOTE: Even though you check the "Other" or the "New Construction" box, you must still give information on individual features such as windows, doors, etc., included in a large project.)

- | | | |
|---|--|--|
| ☐ Addition (1, 2, 3, 7) | ☐ Handicapped Ramp (1, 2, 3) | ☒ Sidewalk (1, 3) |
| ☐ Awnings (2, 3, 4 or 5, 6) | ☐ New Construction (1, 2, 3, 7) | ☒ Siding (3, 4 or 5) |
| ☐ Building Relocation (1, 2, 3, 7) | ☐ Parking (1, 3) | ☐ Sign (1, 2, 3, 6) |
| ☐ Demolition (1, 2, 3, 7) | ☐ Porch (1, 2, 3) | ☐ Window (2, 3, 4 or 5, 6) |
| ☐ Door (2, 3, 4 or 5, 6) | ☐ Retaining Wall (1, 2, 3) | ☐ Archeological Site (1, 3, 8) |
| ☐ Fence (1, 2, 3, 5) | ☐ Roof-New (3, 4 or 5, 7) | |
| ☐ Guttering (2, 3, 4 or 5, 6) | ☐ Re-roof (3, 4) | |

☐ Other (Specify) _____

1-Site plans

2-Elevations

3-Photographs

4-Sample of materials to be used

5-Product literature

6-Drawing

7-Exhibit C-Why proposed work should be approved

8-State Historic Preservation Officer Comments

2. DESCRIPTION OF PROPOSED WORK: (Attach additional pages if necessary.)

See attached proposal and covenant.

1. Site Plans, 3. Photographs, 4. Samples of materials, 5. Product literature were all previously provided and still in the possession of the Sr Planner.

NOTE: An application is considered incomplete until all supporting materials, as specified in Item 1 above, are attached. Incomplete applications will **not** be processed or scheduled for a public hearing.

Restrictive Covenant

This covenant, made this 19 day of December, 2012, between Chris R. and Carrie A. Eidson, husband and wife, hereinafter Grantors, and the City of Springfield, a home-rule charter, municipal corporation organized and existing under the laws of the State of Missouri, hereinafter Grantee;

Whereas, Grantors own 1460 E. Walnut (the Property), which is located in the Walnut Street-West Urban Conservation District (UCD) of the City of Springfield, and the legal description of which is:

All beginning at the Northwest corner of Lot Six (6), of Arlington Heights Addition, being a point on the South line of East Walnut running thence West 52 feet; thence South 220 feet; thence East 52 feet; thence north 220 feet to the place of beginning, in the City of Springfield, Greene County, except that part taken or used for roads, and;

Whereas, the historic exterior of the Property was stucco in a state of deterioration and falling there from in chunks, such deterioration was compromising the integrity thereof, and damage from water and other elements was threatening the habitability of said Property; and,

Whereas, other elements of the Property, including, but not limited to, windows, soffit, fascia, vents, and trim, were deteriorated in similar fashion; and,

Whereas, without knowledge of the historic-preservation requirements of the above-stated UCD, Grantors undertook to place vinyl siding over the stucco and related applications on the other elements of the Property, which placements do not meet said requirements ; and,

Whereas, said placements have caused Grantors to make expenditures in the thousands of dollars; and,

Whereas, Grantee believes it to be inequitable to demand that Grantors remove the newly-installed vinyl siding and related applications and replace them with historically appropriate materials; and,

Whereas, Grantee would still like to safeguard the historic character of the above-stated UCD, and its constituent parts.

Now therefore, the parties covenant as follows:

Grantors shall be allowed to complete the installation of vinyl siding and related applications as already commenced and maintain such exterior until such vinyl is replaced, at which time Grantors or their successors in interest shall be obligated to restore the Property to its historic character, all as specified in a "Certificates of Appropriateness," which Grantors must then acquire; and,

Not at any time hereafter shall Grantors build, remodel, construct, erect, or otherwise improve any exterior feature of the Property without first obtaining a "Certificate of Appropriateness" from the Landmarks Board, as required in Grantee's ordinances; and,

In the event that the historic-preservation requirements of the above-stated UCD expire or are repealed, this covenant shall expire accordingly. In the event that such requirements are merely changed, the parties herein, or their successors in interest, shall have an affirmative obligation to confer in good faith to change this covenant accordingly.

This covenant shall run with the land of the Property and shall be binding on the successors in interest of the parties hereto.

In Witness Whereof, the parties have executed this covenant.

Signatures

Carrie A. Eidson

Chris Eidson

Chris R. Eidson

Robert L. Stephens, Mayor

Acknowledgments

STATE OF MISSOURI)
) ss.
COUNTY OF)

On this _____ day of _____, 2012, before me personally appeared _____, to me known to be the person who executed the foregoing instrument, and acknowledged that she executed the same as her free act and deed.

In Witness Whereof I have hereunto subscribed my name and affixed my official seal.

SEAL _____
Notary Public

STATE OF MISSOURI)
) ss.
COUNTY OF)

On this _____ day of _____, 2012, before me personally appeared _____, to me known to be the person who executed the foregoing instrument, and acknowledged that he executed the same as his free act and deed.

In Witness Whereof I have hereunto subscribed my name and affixed my official seal.

SEAL

Notary Public

[illegible]

On this _____ day of _____, 2012, before me personally appeared _____, to me personally known, who, being by me duly affirmed, did say that he is the Mayor of the City of Springfield, Missouri and that he signed the foregoing instrument on behalf of said city by authority of its city council, and said Mayor Stephens acknowledged said instrument to be the free act and deed of said city.

In Witness Whereof I have hereunto subscribed my name and affixed my official seal.

SEAL _____
Notary Public

Rozell Siding & Windows Inc.
2146 Mac's Court
Springfield, MO 65804
417-886-9452 Fax 417-881-2496
1-800-749-9452

PROPOSAL AND ACCEPTANCE

6041

PROPOSAL SUBMITTED TO CHRIS - CARRIE EIDSON		PHONE 894-4765	DATE 10-4-12
STREET 1460 E. WALNUT		JOB NAME	
CITY, STATE AND ZIP CODE SPRINGFIELD, MO. 65802		JOB LOCATION	
ARCHITECT	DATE OF PLANS	JOB PHONE	

We hereby submit specifications and estimates for

SECURE & COVER STUCCO

INSTALL FULLBACK INSULATION - CORNERS
INSTALL NORADEX / REYNOLDS VINYL SIDING (CACTUS)
CUSTOM COVER ALL SOFFIT - FACIA (WHITE)
CUSTOM COVER ALL WINDOW TRIM (WHITE)
CUSTOM COVER ENTRY DOOR TRIM (WHITE)
INSTALL NEW FACIA BOARD - COVER
CUSTOM COVER BEAM ON FRONT PORCH (WHITE)
INSTALL OCTAGON VENTS (WHITE)

INSTALL CUSTOM MADE SINGLE HUNG HEARTLAND WINDOWS
ARGON GAS SOME WITH GRIDS
LOW E

INSTALL (2) DEADHIT WINDOWS WITH GRIDS

CLEAN UP - REMOVE ALL WORK RELATED MATERIAL.

We Propose hereby to furnish material and labor complete in accordance with above specifications for the sum of

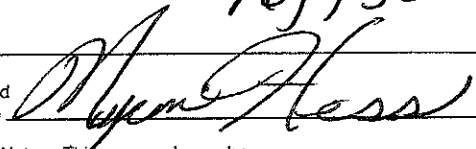
Payment to be made as follows

PAYMENT UPON COMPLETION

dollars \$

16,430⁰⁰
300⁰⁰
16,730⁰⁰

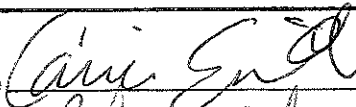
All material is guaranteed to be as specified. All work to be completed in a workmanlike manner according to standard procedures. Any alteration or deviation from above specifications involving extra costs will be executed only upon written orders and will become an extra charge over and above the estimate. All agreements contingent upon strikes, accidents or delays beyond our control. Owner to carry fire, tornado and other necessary insurance. The undersigned agrees to pay all legal expenses incurred in enforcing payment.

Authorized
Signature

Note: This proposal may be withdrawn by us if not accepted within _____ days

Acceptance of Proposal The above prices, specifications and conditions are satisfactory and are hereby accepted. You are authorized to do the work as specified. Payment will be made as outlined above.

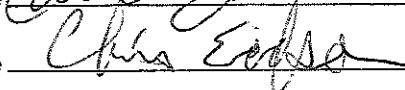
Signature



Date of Acceptance

10/4/12

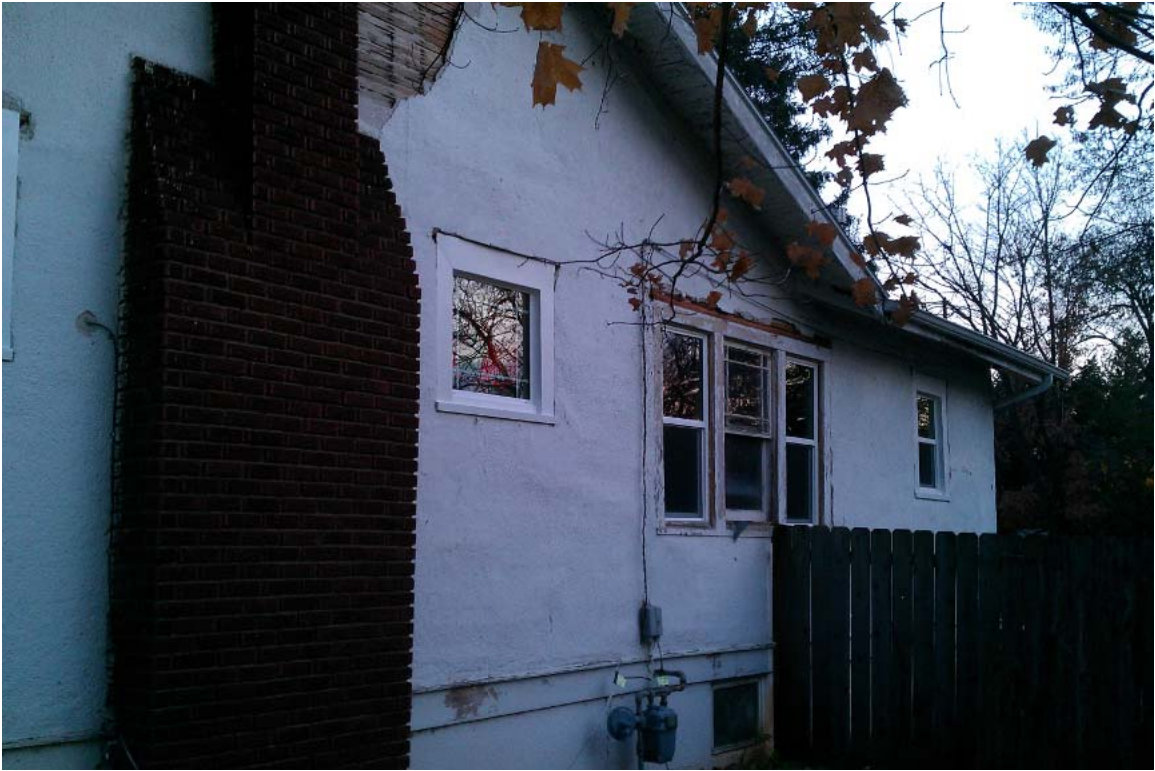
Signature





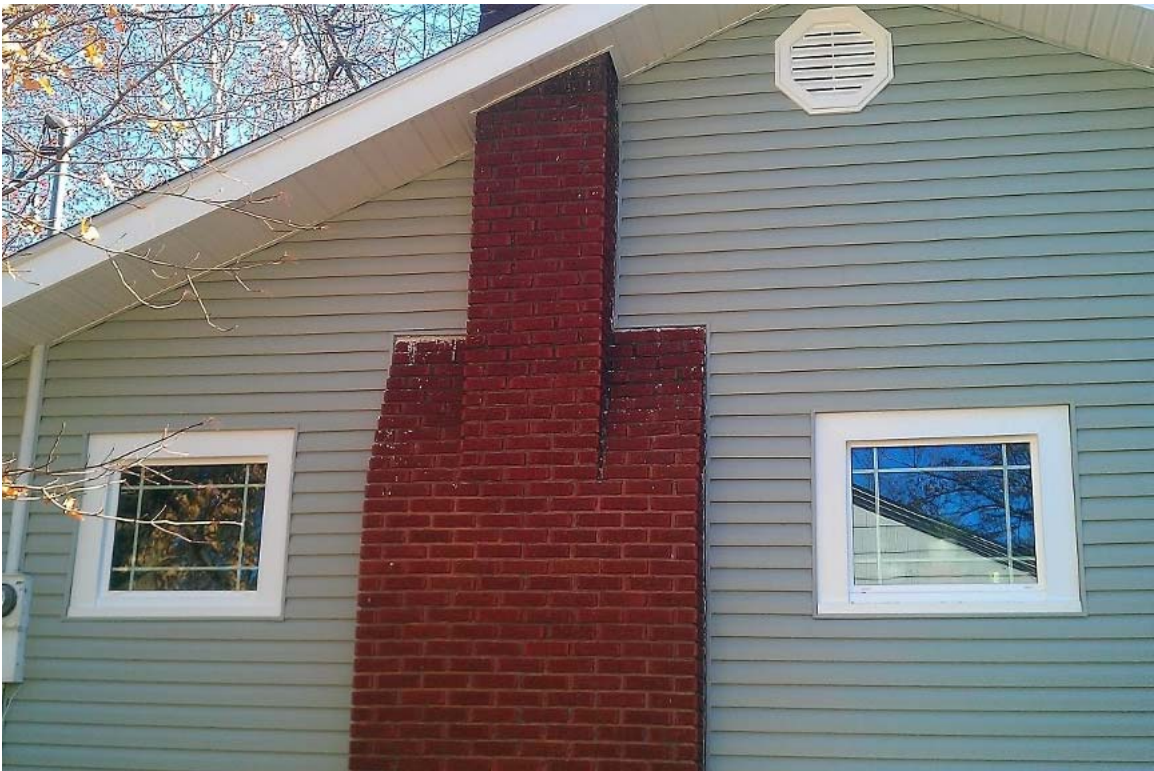


















LANDMARKS BOARD

CITY OF SPRINGFIELD
P.O. BOX 8368
SPRINGFIELD, MISSOURI 65801
417-864-1031

STAFF REPORT

WALNUT STREET URBAN CONSERVATION DISTRICT – EAST

DATE: November 29, 2012

BACKGROUND:

LOCATION: 1460 E. Walnut Street

APPLICANT: Carrie Eidson

PROPOSAL:

1. Install new vinyl siding on the entire house.
2. Replace wood windows, soffit, fascia, vents and trim with vinyl replacements.

RECOMMENDATION:

Staff recommends **denial**. The exterior changes detract from the character and integrity of the district.

FINDINGS:

1. The house at 1460 E. Walnut is a contributing structure in the National Historic District and according to the Historic Architectural Inventory was built between 1925-1926.
2. The applicant has owned the property for ten (10) years (April 16, 2002).
3. The Walnut Street Design Guidelines state that the applicant should consider repairing the original siding and windows or, if not feasible, replace the siding and windows in-kind. The proposed Certificate of Appropriateness for replacement siding and windows requires Landmarks Board approval because they are not being replaced in-kind to the original.

Staff Contact:

Daniel Neal
Senior Planner
864-1036

ATTACHMENT A
BACKGROUND REPORT
1460 E. Walnut Street

APPLICANT'S PROPOSAL:

The applicant is proposing to cover and/or replace the existing siding, soffit, fascia, trim, vents and windows with vinyl replacement materials. These exterior changes have already occurred and approximately ninety (90) percent of the work is complete.

STAFF COMMENTS:

1. Building Development Services was notified of a siding and window truck at 1460 E. Walnut on November 6th, but there was no truck or work without a Certificate of Appropriateness being done when the inspector visited the site the next day. BDS was notified of exterior work being done without a Certificate of Appropriateness on the house at 1460 E. Walnut on Tuesday, November 13th; however, an inspector was not able to get to the site until Monday, November 19th, where they issued a stop work order. The work was approximately ninety (90) percent complete at that point.
2. The applicant has owned the property since 2002 (approximately 10 years) and has been sent multiple Historic District information letters and pamphlets since that time. The most recent information pamphlet was sent December 8, 2009. The letter and pamphlet included the Landmarks Board website and the contact information for Daniel Neal in the Planning and Development Department which are still current.
3. The house at 1460 E. Walnut is a contributing structure in the National Historic District and according to the Historic Architectural Inventory was built between 1925-1926. The detached garage is assumed to have been built at the same time. The structure was described as a bungalow style with a stucco over frame wall construction and a gabled roof when surveyed by the Division of Parks and Historic Preservation Department of Natural Resources in 1984.
4. The Walnut Street Design Guidelines state that the applicant should consider repairing the historic siding or, if not feasible, replace the siding in-kind. The guidelines also state that the applicant should consider repairing the original windows or, if not feasible, replace the windows in-kind, recognizing the importance of sash type, size, muntins, mullions and glass.
5. Staff has did not find a Landmarks Board case where vinyl siding and windows were originally approved as an appropriate alternative to rehabilitating the existing exterior materials. Staff found approximately four (4) structures in the Walnut Street-East Urban Conservation District (UCD) area to have vinyl siding.

The vinyl siding on those structures existed prior to the UCD being approved in 1984.

6. Since the exterior changes detract from the character and integrity of the district, staff recommends denial of this request. If the request is denied, the applicant has the options of applying for a new Certificate of Appropriateness with substantial changes within fifteen (15) days, applying for a Certificate of Economic Hardship or filing an appeal to the Board of Adjustment within fifteen (15) days.

ATTACHMENT B
DESIGN STANDARDS & GUIDELINES
1460 E. Walnut Street

PERTINENT SECRETARY OF THE INTERIOR'S STANDARDS

2. The historic character of a property will be retained and preserved. The removal of historic materials or alteration of features, spaces, and spatial relationships that characterize a property will be avoided.
9. New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work will be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.

PERTINENT WALNUT STREET DESIGN GUIDELINES

SIDING:

The Applicant Should Consider:

1. Retaining the historic siding.
2. Repairing the historic siding or, if not feasible,
3. Replacing in kind.

The Applicant Should Avoid:

1. Removing any original or historic material.
2. Covering with any artificial material.
3. Painting unpainted surfaces.
4. Using abrasive cleaning for paint removal or to clean unpainted masonry.
5. Using chemical sealers.

WINDOWS:

The Applicant Should Consider:

1. Retaining all original windows in place.
2. Repairing the original window or, if not feasible,
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6. Installing “greenhouse” windows and skylights on side and rear elevations.

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3. Partially or wholly blocking windows.
4. Using glass that isn’t clear unless colored or stained glass is historically documented or appropriate.
5. Installing “greenhouse” windows and skylights on principal elevations.

ORDINANCE REVIEW

In addition, General Ordinance No. 3549 & 3560, which created the Walnut Street Urban Conservation district-East states:

In the event the Board concludes that the request, if granted, will have a detrimental effect upon the Urban Conservation District (UCD) or any adverse effect on an historical or architectural resource, then the Board shall deny the request for a certificate.

ATTACHMENT C
ARCHITECTURAL SIGNIFICANCE
1460 E. Walnut Street

ARCHITECTURAL SIGNIFICANCE:

The porch dominated the façade with its gabled face to the street. The surface of the pediment area is covered with stucco. In the cent of the pediment is a fixed sash window with corner muntin sash. All window openings have upper sash fitting the above description with applied moulding at the window heads. The overhanging eaves have exposed rafter ends visible. The facade is three bay with tripled windows at the first and third bay openings. The center window of the three is larger than those flanking it. Below on the façade the windows is a red brick veneer on the wall surface. The porch is supported by square brick pillars and has a concrete porch surface and steps. Behind the house is a one bay gable entrance wood garage.



Office Use Only

Date Filed: _____

Received By: _____

Review:

☐ Administrative☐ Landmarks Board

Application for Certificate of Appropriateness

City of Springfield, Missouri

The applicant seeks to show the following.

1. That the proposed work will be done in conformance with the Secretary of Interior's Standards for Rehabilitation.
2. That the proposed work will be done in conformance with any applicable design guidelines or standards that the Landmarks Board has established and adopted. (Commercial Street and Walnut Street Districts and Mid-Town Neighborhood historic sites only).
3. That the proposed work will be done in conformance with all other relevant requirements of the Springfield Zoning Ordinance.

THEREFORE, applicant requests that the Certificate of Appropriateness be approved for the property as proposed in this submittal.

We, the signers of this application, do attest to the truth and correctness of all facts and information presented with this application and understand that, if approved, all work must be done under a building permit issued by the Department of Building Development Services. Approval of this application does not constitute approval of a building permit, nor does it certify that the zoning is appropriate for the proposed uses. These are separate processes that must be initiated by the applicants. We further understand that approval of this application does not constitute approval for tax certification under the Tax Reform Act of 1986 or amendments thereto.

Signature(s) Date:

Carrie Edison
Chris Edison

11/20/12
11/20/12

Please type or print name(s) clearly:

Carrie Edison 417-894-4765
Chris Edison 417-894-4104

Exhibit A.**Request for Certificate of Appropriateness**

Please use this form only. Form may be photocopied. Please type or print.

For instructions, see pages 5-8.

1. PROPERTY ADDRESS:

1460 E Walnut St

2. APPLICANT:

Name(s): Chris & Carrie Eidson

If corporation: Corporate official: _____

(corporate seal)

Mailing address: 1460 E Walnut St Zip Code: 65802

Telephone number: 417-894-4765 Fax number: 573-234-6034

e-mail: carrie.eidson@gmail.com

3. AUTHORIZED REPRESENTATIVE: *(The representative should have the authority to commit the applicant to changes that may be suggested by the Board).*

Name: _____ Signature: _____

Address: _____ Telephone: _____ Fax: _____

e-mail: _____

4. BUILDING DEVELOPMENT SERVICES DISCUSSION: *(Before submitting this application, the applicant should discuss the project with BDS. Their phone number is 864-1055.)*

Date of discussion: 11/20/2012

NOTE: The property owner must either sign this application or give City staff a power of attorney showing that another person is authorized to sign.

Exhibit B.

Description of Proposed Work & Supporting Information

Please use this form only. Form may be photocopied. Please type or print.

1. TYPE OF WORK PROPOSED: (Check all that apply. All work items require a written description of the proposed work. Additional required supporting information is denoted after each item and **must** be attached. See Instructions, page 5. **Maximum size for drawings: 11 x 17 inches.** NOTE: Even though you check the "Other" or the "New Construction" box, you must still give information on individual features such as windows, doors, etc., included in a large project.)

- | | | |
|---|--|--|
| ☐ Addition (1, 2, 3, 7) | ☐ Handicapped Ramp (1, 2, 3) | ☐ Sidewalk (1, 3) |
| ☐ Awnings (2, 3, 4 or 5, 6) | ☐ New Construction (1, 2, 3, 7) | ☒ Siding (3, 4 or 5) |
| ☐ Building Relocation (1, 2, 3, 7) | ☐ Parking (1, 3) | ☐ Sign (1, 2, 3, 6) |
| ☐ Demolition (1, 2, 3, 7) | ☐ Porch (1, 2, 3) | ☒ Window (2, 3, 4 or 5, 6) |
| ☐ Door (2, 3, 4 or 5, 6) | ☐ Retaining Wall (1, 2, 3) | ☐ Archeological Site (1, 3, 8) |
| ☐ Fence (1, 2, 3, 5) | ☐ Roof-New (3, 4 or 5, 7) | |
| ☐ Guttering (2, 3, 4 or 5, 6) | ☐ Re-roof (3, 4) | |

☐ Other (Specify) _____

- 1-Site plans
- 2-Elevations
- 3-Photographs
- 4-Sample of materials to be used

- 5-Product literature
- 6-Drawing
- 7-Exhibit C-Why proposed work should be approved
- 8-State Historic Preservation Officer Comments

2. DESCRIPTION OF PROPOSED WORK: (Attach additional pages if necessary.)

Proposal Attached

NOTE: An application is considered incomplete until **all** supporting materials, as specified in Item 1 above, are attached. Incomplete applications will **not** be processed or scheduled for a public hearing.

Rozell Siding & Windows Inc.
2146 Mac's Court
Springfield, MO 65804
417-886-9452 Fax 417-881-2496
1-800-749-9452

PROPOSAL AND ACCEPTANCE

6041

PROPOSAL SUBMITTED TO CHRIS - CARRIE EIDSON		PHONE 894-4765	DATE 10-4-12
STREET 1460 E. WALNUT		JOB NAME	
CITY, STATE AND ZIP CODE SPRINGFIELD, MO. 65802		JOB LOCATION	
ARCHITECT	DATE OF PLANS	JOB PHONE	

We hereby submit specifications and estimates for

SECURE & COVER STUCCO

INSTALL FULLBACK INSULATION - CORNERS
INSTALL NORADEX / REYNOLDS VINYL SIDING (CACTUS)
CUSTOM COVER ALL SOFFIT - FACIA (WHITE)
CUSTOM COVER ALL WINDOW TRIM (WHITE)
CUSTOM COVER ENTRY DOOR TRIM (WHITE)
INSTALL NEW FACIA BOARD - COVER
CUSTOM COVER BEAM ON FRONT PORCH (WHITE)
INSTALL OCTAGON VENTS (WHITE)

INSTALL CUSTOM MADE SINGLE HUNG HEARTLAND WINDOWS
ARGON GAS SOME WITH GRIDS
LOW E

INSTALL (2) DEADHIT WINDOWS WITH GRIDS

CLEAN UP - REMOVE ALL WORK RELATED
MATERIAL.

We Propose hereby to furnish material and labor complete in accordance with above specifications for the sum of

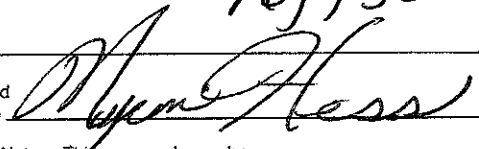
Payment to be made as follows

PAYMENT UPON COMPLETION

dollars \$

16,430⁰⁰
300⁰⁰
16,730⁰⁰

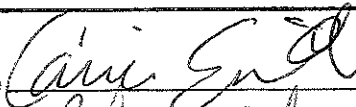
All material is guaranteed to be as specified. All work to be completed in a workmanlike manner according to standard procedures. Any alteration or deviation from above specifications involving extra costs will be executed only upon written orders and will become an extra charge over and above the estimate. All agreements contingent upon strikes, accidents or delays beyond our control. Owner to carry fire, tornado and other necessary insurance. The undersigned agrees to pay all legal expenses incurred in enforcing payment.

Authorized
Signature

Note: This proposal may be withdrawn by us if not accepted within _____ days

Acceptance of Proposal The above prices, specifications and conditions are satisfactory and are hereby accepted. You are authorized to do the work as specified. Payment will be made as outlined above.

Signature



Date of Acceptance

10/4/12

Signature

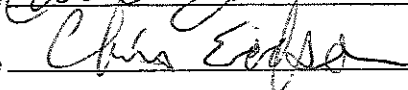


Exhibit C.

WHY PROPOSED WORK SHOULD BE APPROVED

Please use this form only. Form may be photocopied. Please type or print.

When proposing a major project, please use this page to give information in support of your request. (See Exhibit B, item 1, above: "Type of Work Proposed," key # 7. Suggested items of discussion are included in the instructions, page 7.)



FULLBACK®

with



Perform Guard®
TERMITE RESISTANT

A patented defense against termites based on a naturally-occurring mineral

Insulation is designed to keep people comfortable. Unfortunately, the same protective environment that keeps homes warm in the winter and cool in the summer can be an attractive habitat for certain pests.

In order to prevent this problem, we manufacture the Fullback Thermal Support System with Perform Guard, using a patented process that incorporates an EPA - registered additive into the insulation during manufacturing. Perform Guard uses a naturally-occurring inorganic mineral (boron) that deters termites. It is registered with the Environmental Protection Agency for this application and is safe for humans and pets.

Fullback also fills the hollow void behind siding where pests might otherwise travel. Thanks to Fullback Thermal Support and Perform Guard, termites will not choose a home behind your siding.

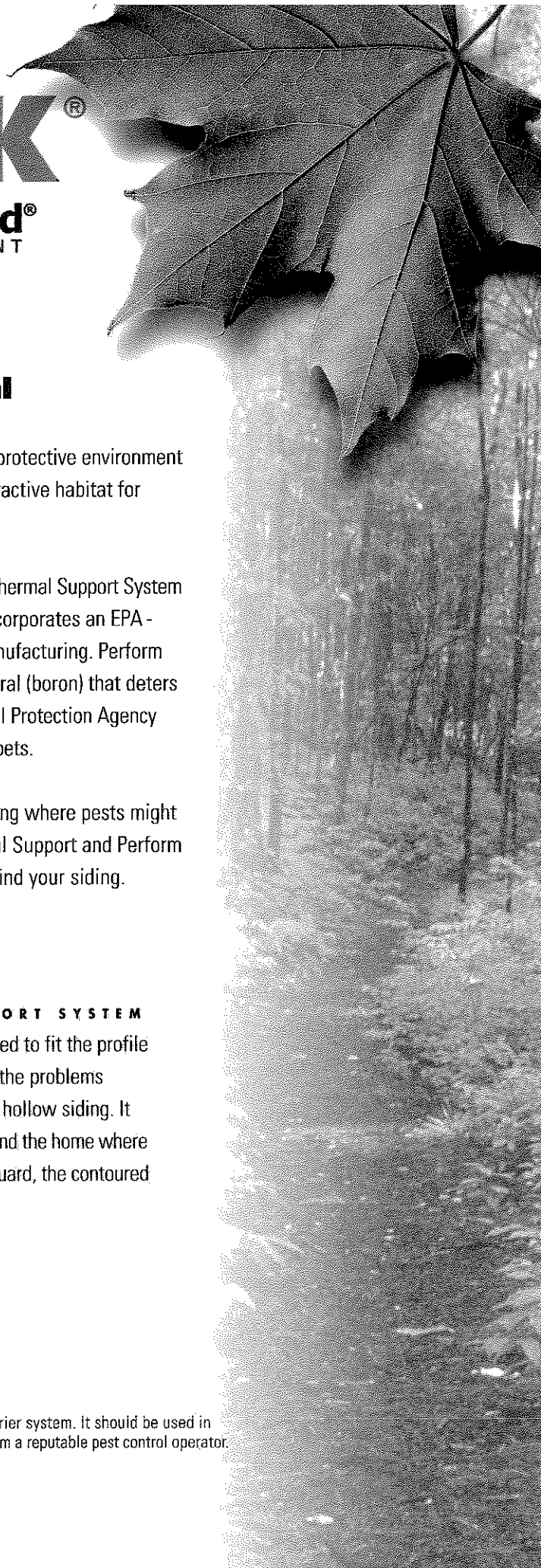
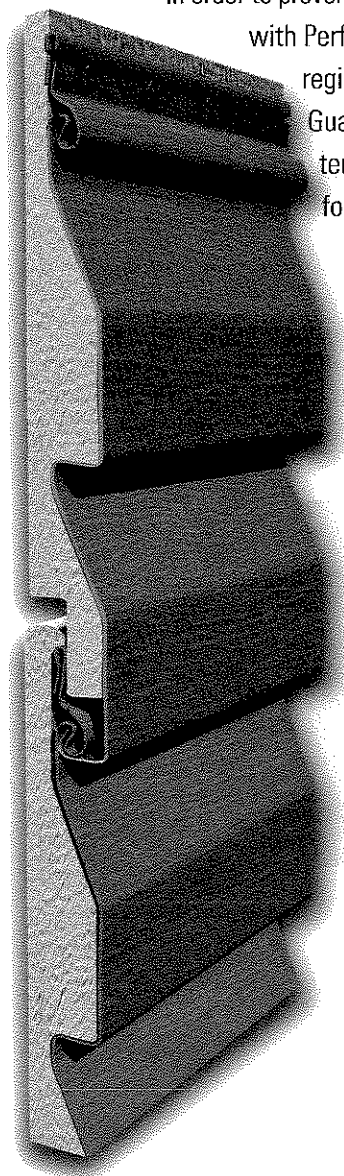
FULLBACK® THERMAL SUPPORT SYSTEM

is a contoured foam system precisely configured to fit the profile of any siding panel. It completely eliminates the problems associated with the void behind conventional hollow siding. It eliminates the cozy space between the siding and the home where insects may congregate. Made with Perform Guard, the contoured foam in Fullback is resistant to termites.



Perform Guard®
TERMITE RESISTANT

Perform Guard is a termite resistant product, not a barrier system. It should be used in conjunction with a total insect management program from a reputable pest control operator.





A "Green" Building Product

- Perform Guard is inert, does not provide food for insects and is highly stable
- Contains no CFSs, HCFCs or HFCs
- Contains no formaldehyde
- Can be recycled
- Will not decompose, decay or produce gases or leachates
- Code compliant. Meets applicable building requirements for ground contact*
- Saves valuable nonrenewable resources required for heating and cooling homes.

*Follow manufacturer's installation guidelines.

Proven Effective

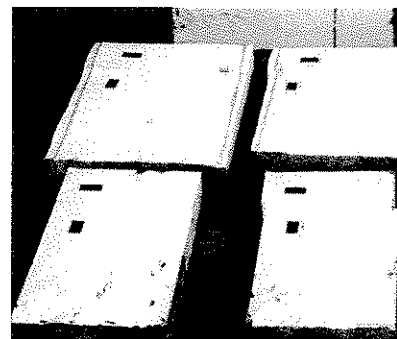
Termite exposure tests have been conducted by industry-recognized institutions following test standards. Product performance testing in the laboratory and in the field for over a decade has demonstrated that foam construction materials with Perform Guard resist termite infestation when installed following manufacturer's recommendations. Perform Guard also contains a flame retardant.

Perform Guard is manufactured to quality control program standards monitored by Underwriters Laboratories®, Inc. and is recognized by national building codes. The manufacturer warrants the product for termite resistance, structural integrity and thermal performance.

Termite-damaged untreated foams.



Perform Guard termite resistant foams.



Independent tests have conclusively demonstrated that Fullback with Perform Guard resists termites.

Perform Guard® TERMITE RESISTANT

Perform Guard is a proven, patented pest control product made from naturally-occurring boron. It is the result of over a decade of extensive research and field testing by R-Control Building Systems, a manufacturer with production and sales facilities throughout the United States, Puerto Rico and Japan. The company has conducted extensive research to identify an effective non-toxic additive that would deter termites. It has developed processes for the incorporation of the additive into expanded polystyrene and has test-proven and field-proven the efficacy of Perform Guard.

FULLBACK® THERMAL SUPPORT SYSTEM

6753 Chestnut Ridge Road
Beach City, Ohio 44608
Phone (330) 756.3200
Fax (330) 756.3206
(800) 860.3626
www.fullback.com



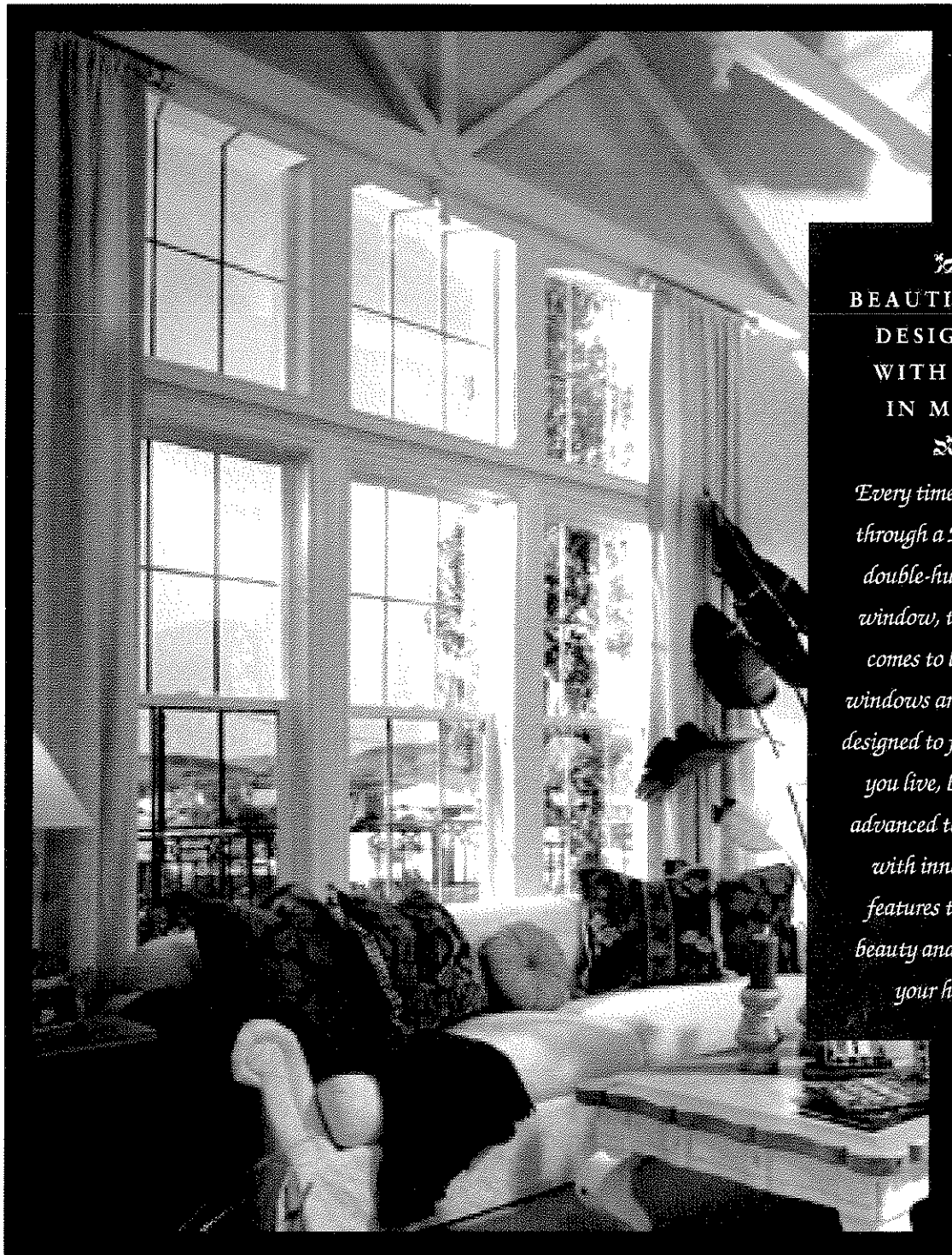
Printed on recycled paper.

Perform Guard is a registered trademark of AFM Corp., Excelsior, MN.
Perform Guard is manufactured under license from AFM Corp.

Fullback Products: Patent Nos. 6,029,415; 6,195,952 (s); 2,227,939
EasyPost Products: Patent Nos. 5,542,222; 5,664,376; 2,150,045

Thermal Support System for siding brought to you by:
EXPRESSIVE FOAM TECHNOLOGIES, INC.

THE HAMPTON SERIES



BEAUTIFULLY
DESIGNED
WITH YOU
IN MIND

*Every time you look
through a Hampton
double-hung vinyl
window, the world
comes to life. Our
windows are uniquely
designed to fit the way
you live, blending
advanced technology
with innovative
features that add
beauty and value to
your home.*

Heartland

WINDOWS

"The Strength of the Heartland"

The performance and durability of our vinyl replacement windows is determined by the character of the vinyl itself. We follow the most demanding manufacturing standards to ensure the quality of every vinyl component we produce.

CLEAN WITH EASE FROM THE INSIDE OUT

The tilt-in sashes on our double-hung makes cleaning from indoors a snap.

THE STRONGEST VINYL FRAMES

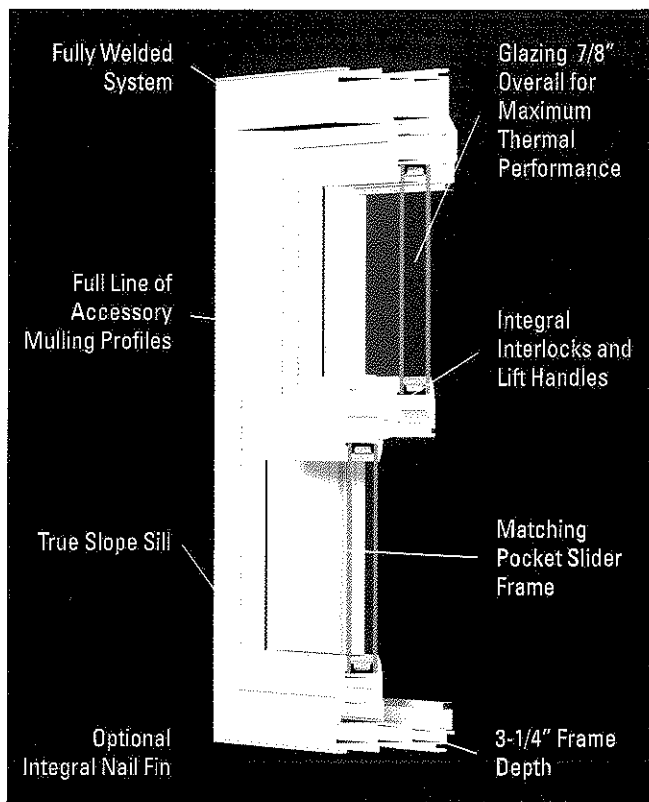
Fusion-welded corners and a multiple hollow chamber design build strength and structural integrity directly into every vinyl window we manufacture.

PUT AWAY THE PAINT FOR GOOD

Integral color throughout the vinyl creates a lasting finish that never needs painting. The vinyl in our windows will never chip, peel, or crack—guaranteed!

ENERGY-EFFICIENT

Our multiple hollow chamber design produces a thermally efficient frame with superior resistance to heat transfer.



FEEL SAFE AND SECURE

Our dual positive-action cam locks ensures a weather-tight seal and added security.

INSTALLATION MADE EASY

Our windows are designed for easy installation. Each window is custom-made to your exact window openings, eliminating extensive renovating costs.

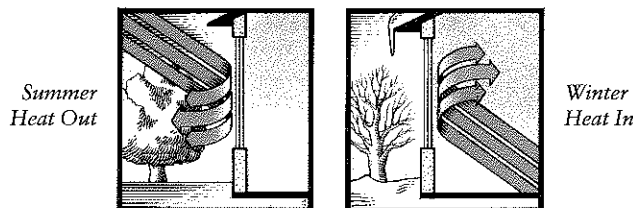
STAY PROTECTED FROM WIND AND WATER

Interlocking sashes on our windows provide maximum protection from wind and water penetration.

HAMPTON SERIES WINDOWS

Available in double-hung, double-slider, single-hung, single-slide and picture window styles.

LOW E = HIGH PERFORMANCE



Low E (low emissivity) coated glass is an important component of all Hampton windows and doors. Low E specifies a microscopically thin, virtually invisible coating deposited on a glass surface. This coating limits radiant heat flow between window panes by reflecting heat into your home during cold weather, and back to the outdoors during warm weather.

Your authorized Hampton Window dealer:

A Complete Home Exterior System that Enhances
the Beauty and Value of Your Home.

EXTERIOR DESIGN COLORS



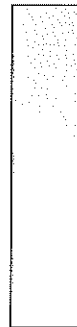
Champagne



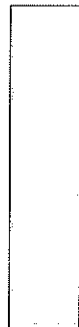
Tan



Cream



Wheat



Linen



Sand



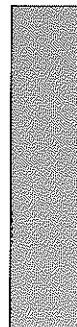
Beige



Sierra



Silver



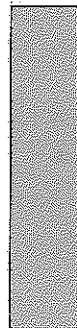
Granite



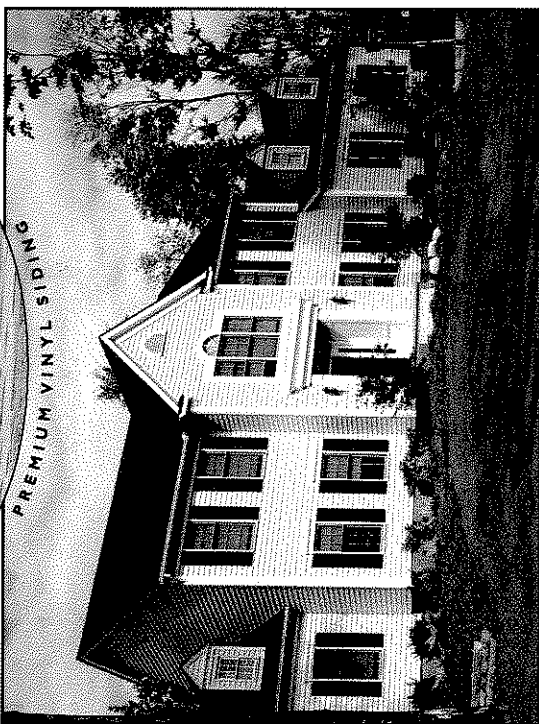
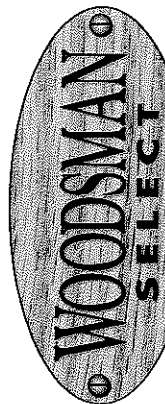
Cactus



White



Wedgewood



The Warm, Natural Look of Roughsawn Cedar

EXCLUSIVE

PREMIUM VINYL SIDING



NORANDEX/REYNOLDS
An Owens Corning Company

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Macedonia, Ohio 44056
www.norandexreynolds.com

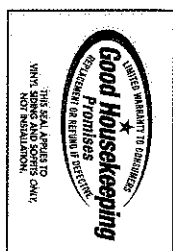
Rozell Siding & Windows, Inc.
2146 Macs Court
Springfield, MO 65804
417-886-9452 or 1-800-749-9452



Committed to Quality!

ROZELL SIDING & WINDOWS, INC. HAS
A LARGE INVESTMENT IN THE COMMUNITY. SINCE WE'VE BEEN
AROUND FOR A WHILE – AND EXPECT TO BE AROUND A LOT
LONGER – WE'VE MADE IT OUR BUSINESS TO INSTALL A
PRODUCT THAT WE TRULY BELIEVE IN. THERE ARE A NUMBER
OF VINYL SIDINGS AVAILABLE IN THE MARKETPLACE TODAY.
LIKE ANYTHING ELSE, SOME ARE BETTER THAN OTHERS.
WE'VE CHOSEN THE BEST.

The GOOD HOUSEKEEPING Seal
A trusted symbol of
American Quality for a Century

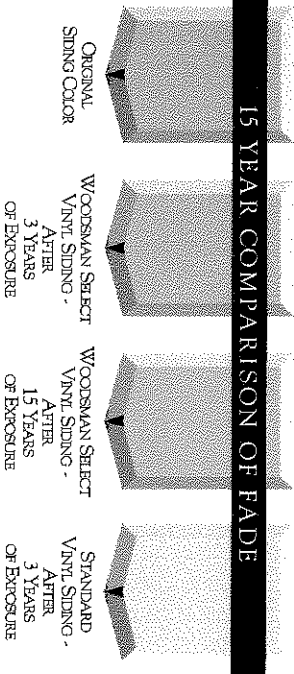


ISO 9002 Quality Systems
Registered through
Underwriter's Laboratory

Complete Homeowner Warranty



15 YEAR COMPARISON OF FADE



This is a visual representation of the actual fade that can be expected on standard vinyl siding vs. Woodsman Select Premium Siding. Colors shown are as close as the lithographic process will allow.



LANDMARKS BOARD

CITY OF SPRINGFIELD
P.O. BOX 8368
SPRINGFIELD, MISSOURI 65801
417-864-1031

STAFF REPORT

WALNUT STREET URBAN CONSERVATION DISTRICT – WEST

DATE: January 2, 2013

PROPOSAL:

1. Interior improvements and restoration.
2. Repair and replace existing wood windows with custom wood windows as shown on windows schedule (1/A601).
3. Replace existing side porch entry/exit door with a new custom door to match the existing profile and dimensions (2/A601).
4. Demolish and replace two (2) existing rear enclosures and staircases.
5. Re-roof a portion of the building as shown on attached site plans.
6. Add a new wood ramp and stairs to the rear of the building.
7. Replace existing wood lap board siding with new HardiePlank cement board siding with a 6" reveal.
8. Strip and re-paint exterior with new lead-free paint.
9. Remove portions of existing asphalt paving as shown on site plan and re-configure and re-surface parking lot to provide adequate parking for new use.

BACKGROUND:

LOCATION: 1144 E. Walnut Street

APPLICANT: R & P Taylor Apartments, LLC

RECOMMENDATION:

Staff recommends **approval** of most items; however, the board will need to determine whether HardiePlank cement board is an acceptable replacement material for wooden lap siding.

FINDINGS:

1. The house at 1144 E. Walnut St. is a contributing structure in the Walnut Street National Historic District.
2. Most of the proposed rehabilitation is consistent with the Walnut Street Design Guidelines and Secretary of Interior Standards for Rehabilitation. The Secretary of Interior Standards for Rehabilitation state that any new work will be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.
3. The Walnut Street Design Guidelines recommend repairing the existing wood siding or, if not feasible, replace in-kind to the original.

Staff Contact:
Daniel Neal
Senior Planner
864-1036

ATTACHMENT A
BACKGROUND REPORT
1144 E. Walnut Street

APPLICANT'S PROPOSAL:

The applicant is proposing to renovate the existing building to provide income for the owner without the loss of character to the building. The building is to be re-purposed from a residential rental complex into leased office space. All existing building elements to be replaced are intended to be acceptable equivalents of the existing elements. The exterior changes including the demolition and replacement of a couple rear enclosures and staircases, the repair and replacement of windows and doors, partial re-roofing and replacing the siding with HardiePlank cement board. The building will also be striped of lead-based paint and re-painted with an equivalent lead-free paint.

STAFF COMMENTS:

1. Most of the proposed exterior renovations follow the Walnut Street Design Guidelines except the replacement of the wood siding. The Landmarks Board will need to determine whether the HardiePlank cement board is an appropriate replacement for the existing wood lap board siding. Staff has included a couple articles (attached) that have been posted regarding HardiPlank siding compared to wood lap siding. While the Walnut Street Design Guidelines do not specifically prohibit cement board siding, the Secretary of Interior's Standards recommend materials that can be found within the same period in which the structure was built or a prominent era. Staff is not aware of another certificate of appropriateness where cement board has been used in the district. Staff supports all other proposed exterior changes.
2. The applicant's design professional has met with Building Development Services prior to the submittal of the Certificate of Appropriateness to verify general compliance with the Zoning Ordinance and building codes.
3. All proposed work is required to receive a building permit to be issued by Building Development Services. All other requirements of the Walnut Street UCD, Zoning Ordinance and Building Code shall apply.

ATTACHMENT B
DESIGN STANDARDS & GUIDELINES
1144 E. Walnut Street

PERTINENT SECRETARY OF THE INTERIOR'S STANDARDS (FOR REHABILITATION)

2. The historic character of a property will be retained and preserved. The removal of historic materials or alteration of features, spaces, and spatial relationships that characterize a property will be avoided.
9. New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work will be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.

PERTINENT WALNUT STREET DESIGN GUIDELINES

WINDOWS:

The Applicant Should Consider:

1. Retaining all original windows in place.
2. Repairing the original window or, if not feasible,
3. Replacing the window in kind, recognizing the importance of sash type, size, muntins, mullions, and glass.
4. Using interior or exterior storm windows that match size, meeting rails, and heads of the original windows.
5. Using clear glass.
6. Installing "greenhouse" windows and skylights on side and rear elevations.

The Applicant Should Avoid:

1. Altering the size or type of windows.
2. Changing the location of windows.
3. Partially or wholly blocking windows.
4. Using glass that isn't clear unless colored or stained glass is historically documented or appropriate.
5. Installing "greenhouse" windows and skylights on principal elevations.

SIDING:

The Applicant Should Consider:

1. Retaining the historic siding.

2. Repairing the historic siding or, if not feasible,
3. Replacing in kind.

The Applicant Should Avoid:

1. Removing any original or historic material.
2. Covering with any artificial material.
3. Painting unpainted surfaces.
4. Using abrasive cleaning for paint removal or to clean unpainted masonry.
5. Using chemical sealers.

ORDINANCE REVIEW

In addition, General Ordinance No. 4619, which created the Walnut Street Urban Conservation district-West states:

In the event the Board concludes that the request, if granted, will have a detrimental effect upon the Urban Conservation District (UCD) or any adverse effect on an historical or architectural resource, then the Board shall deny the request for a certificate.

ATTACHMENT C
ARCHITECTURAL SIGNIFICANCE
1144 E. Walnut Street

ARCHITECTURAL SIGNIFICANCE:

1. The architectural survey that was completed on this property stated the following:

Front elevation—Hipped dormer with broad projecting eaves. Single double hung dormer window with one over one sash. The walls of the dormer are covered with butt shingles. The eaves project beyond the walls on the house more broadly than most accentuated by the fact that the front wing has corner chamfers under the gable (see photo). Board modillions are under the eaves with bed moulding at the cornice. The frieze board becomes the window heads to all of the second story windows on the house. The second story wall surface on the house is lap sided with a narrow moulded skirt separating it from the first story. The first story has ship lap siding which, where joined, forms horizontal wide beads. The pediment in the front gable wing is set off by a continuous cornice. The pediment itself is deeply recessed as it is flush with the wall surfaces behind the wide projection eaves and cornice (photo). There is a double hung one over one light sash in the pediment and the face of the area is covered with butt shingles. The first story windows have heavily moulded window heads with moulded corner blocks. The front gabled wind creates an L shaped space with the primary mass of the house. A porch of one story with hipped roof fills the angle and extends around the east elevation until it meets with the east projecting wing. The porch has a moulded cornice with dentil detailing and a fairly broad board entablature. Squat wooden round columns support the porch roof with Ionic plaster cast capitals. The columns rest on red brick piers with limestone caps. There is a wooden balustrade with moulded handrail and turned balusters. The porch floor and structure are of wood. The steps leading to the porch are of wood as well. The doorway is topped with a transom. The entry to the house is at the angle of the walls. Over the entry on the porch roof is a pedimented gable. The cornice is continuous and the face of the pediment is covered with staggered butt shingles. At the corners of the gable under the eaves on the cornice are scroll brackets. At the rear elevation is a two-story shed roofed porch which has been filled in recently as well as a smaller one story open porch in the southeast corner. Added to the rear of the rear hipped gable wing is a one-story modern addition. In the ground near the southeast corner and next to the rear drive is a limestone hitching post with an iron ring in the top. The post is carved so as to appear like a tree trunk.



The following is from Christopher C. Skelly, Director of Local Government Programs, Massachusetts Historical Commission:

Many local historic district commissions are receiving applications that include fiber cement siding. Fiber cement siding is a substitute siding that attempts to replicate the texture and profile of wood clapboards or wood shingles. Sold under trade names such as HardiPlank, it is a paintable product and the manufacturer claims rot resistance and high durability. In many installations, fiber cement board siding can be considered a closer match than other products such as vinyl or aluminum.

Concerns about fiber cement siding on historic properties and in historic areas or districts include the out of scale wood texturing on the surface, profiles and shadow lines that do not match traditional wood clapboards and a slight wave to the siding in some installations.

According to the Secretary of the Interior Standards for Rehabilitation, fiber cement board siding should not be used as the texture is not the same as wood and the material is, quite simply, not wood.

Secretary of the Interior Standards for Rehabilitation

6. Deteriorated historic features will be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature will match the old in design, color, texture, and, where possible, materials. Replacement of missing features will be substantiated by documentary and physical evidence.

All of the Secretary of the Interior Standards for Preserving, Rehabilitating, Restoring and Reconstructing can be found at <http://www.nps.gov/history/hps/tps/standguide/>.

Do you have design guidelines for your local historic district? Many Historic District Commissions will consider fiber cement products in the local historic district in limited circumstances. On new construction, this product may be an appropriate option.

However, on historically significant properties, where wood clapboards or shingles are proposed for replacement with fiber cement board siding, local historic district commissions should exercise caution. Here, it is best to replace unrepairable, deteriorated historic features with the same material.

It is also best for a historic district commission to take a step back and determine whether the existing wood clapboards must be replaced. Peeling paint, visible bare wood and limited cracks or rot are not necessarily a reason to remove all the clapboards and start over. Replacing or repairing broken clapboards, addressing failing paint adhesion and properly preparing and painting a building can have excellent, long lasting results with only some minor paint maintenance needed here and there.

While wood clapboards are not maintenance free, historic district commissions, homeowners and applicants should not consider fiber cement board siding maintenance free either.

It is essential that estimates, advice and technical assistance regarding historically significant buildings come from qualified individuals, well experienced with historic buildings.

Christopher C. Skelly

Director of Local Government Programs

Massachusetts Historical Commission

220 Morrissey Boulevard, Boston, MA 02125



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EXTERIOR SIDING: WOOD VS. HARDIPLANK

Q. My husband and I have been having "discussion" for almost three years regarding the siding of our circa 1780 home. A large portion of the siding is original; some has been replaced with poor quality wood. We can't agree on what replacement material to use. One of us believes that a version of Hardiplank would be appropriate because



it is less expensive than wood siding and it is fire resistance. The other one of us favors using cedar to match the original. What would you do?

Midlothian, VA

A. I don't like to use Hardiplank for historic projects because it is too thin. It is approximately 1/4" in section and untapered, which

means that it doesn't give the correct shadowline "look" of historic weatherboard. For a recent addition to my Queen Anne home in Swarthmore, PA, I used tapered cedar siding -- 1/2" by 5 1/2" -- tapered and pre-primed on both sides.

Hardiplank for non-historic projects, or rear addition elevations that no one sees from the street would be fine in my opinion, but not on an 18th century house that has heavy timber framing, authentic window surrounds and fine interior detailing.

Authentic window muntins profiles and weatherboard siding profiles are important details to maintain to achieve a quality exterior restoration for most historic houses.

I also recommend using stainless steel annular siding nails for the installation. They are roughly twice the cost of galvanized nails, but they will never deteriorate or produce rust stains through the paint. My basic premise is that one should first do right by the historic resource, and not opt to substitute a non-matching composite material such as Hardiplank, even though it may be sanctioned for use by the local by architectural review board.

Incidentally, red cedar siding is a very durable, rot resistant siding. Kept properly primed and painted, it will last for many generations, which makes it a good "green" choice. It is relatively more affordable than white pine or douglas fir, due to its greater longevity.



Doug Harnsberger is the Senior Historic Architect for John Milner Associates in West Chester, PA. He can be reached at dharnsberger@gmail.com.



Office Use Only

Date Filed: _____

Received By: _____

Review:

☐ Administrative

☐ Landmarks Board

Application for Certificate of Appropriateness

City of Springfield, Missouri

The applicant seeks to show the following.

1. That the proposed work will be done in conformance with the Secretary of Interior's Standards for Rehabilitation.
2. That the proposed work will be done in conformance with any applicable design guidelines or standards that the Landmarks Board has established and adopted. (Commercial Street and Walnut Street Districts and Mid-Town Neighborhood historic sites only).
3. That the proposed work will be done in conformance with all other relevant requirements of the Springfield Zoning Ordinance.

THEREFORE, applicant requests that the Certificate of Appropriateness be approved for the property as proposed in this submittal.

We, the signers of this application, do attest to the truth and correctness of all facts and information presented with this application and understand that, if approved, all work must be done under a building permit issued by the Department of Building Development Services. Approval of this application does not constitute approval of a building permit, nor does it certify that the zoning is appropriate for the proposed uses. These are separate processes that must be initiated by the applicants. We further understand that approval of this application does not constitute approval for tax certification under the Tax Reform Act of 1986 or amendments thereto.

Signature(s) Date:

Please type or print name(s) clearly:

Steven W. Warlick

Exhibit A.

Request for Certificate of Appropriateness

Please use this form only. Form may be photocopied. Please type or print.

For instructions, see pages 5–8.

1. PROPERTY ADDRESS:

1144 East Walnut, Springfield MO 65802

2. APPLICANT:

Name(s): R & P Taylor Apartments

If corporation: Corporate official: Erick Taylor

(corporate seal)

Mailing address: 1800 P.O. BOX 4386 Zip Code: 65808

Telephone number: 417– 829– 9292 Fax number: 417– 829– 9201

e-mail: mcraven@pyramidfoods.net

3. AUTHORIZED REPRESENTATIVE: *(The representative should have the authority to commit the applicant to changes that may be suggested by the Board).*

Name: Steven Warlick Signature: _____

Address: 433 West Walnut Telephone: 417– 865– 2065 Fax: 417– 865– 8313

e-mail: sww@batesarchitects.com

4. BUILDING DEVELOPMENT SERVICES DISCUSSION: *(Before submitting this application, the applicant should discuss the project with BDS. Their phone number is 864-1055.)*

Date of discussion: August 2012

NOTE: The property owner must either sign this application or give City staff a power of attorney showing that another person is authorized to sign.

Exhibit B.

Description of Proposed Work & Supporting Information

Please use this form only. Form may be photocopied. Please type or print.

1. TYPE OF WORK PROPOSED: *(Check all that apply. All work items require a written description of the proposed work. Additional required supporting information is denoted after each item and **must** be attached. See Instructions, page 5. **Maximum size for drawings: 11 x 17 inches.** NOTE: Even though you check the "Other" or the "New Construction" box, you must still give information on individual features such as windows, doors, etc., included in a large project.)*

- | | | |
|---|--|--|
| ☐ Addition (1, 2, 3, 7) | ☒ Handicapped Ramp (1, 2, 3) | ☒ Sidewalk (1, 3) |
| ☐ Awnings (2, 3, 4 or 5, 6) | ☐ New Construction (1, 2, 3, 7) | ☒ Siding (3, 4 or 5) |
| ☐ Building Relocation (1, 2, 3, 7) | ☒ Parking (1, 3) | ☐ Sign (1, 2, 3, 6) |
| ☒ Demolition (1, 2, 3, 7) | ☒ Porch (1, 2, 3) | ☒ Window (2, 3, 4 or 5, 6) |
| ☒ Door (2, 3, 4 or 5, 6) | ☐ Retaining Wall (1, 2, 3) | ☐ Archeological Site (1, 3, 8) |
| ☐ Fence (1, 2, 3, 5) | ☒ Roof-New (3, 4 or 5, 7) | |
| ☐ Guttering (2, 3, 4 or 5, 6) | ☒ Re-roof (3, 4) | |

☐ Other (Specify) _____

1-Site plans
2-Elevations
3-Photographs
4-Sample of materials to be used

5-Product literature
6-Drawing
7-Exhibit C-Why proposed work should be approved
8-State Historic Preservation Officer Comments

2. DESCRIPTION OF PROPOSED WORK: *(Attach additional pages if necessary.)*

Repair and restoration of the exterior of the building. Providing ADA access to the building. Replacing direct exterior access to the second floor. Repair and restoration of the interior of the building. Providing an ADA accessible bathroom. Providing interior finishes to accommodate new use. Re-configuring and re-surfacing parking lot to provide adequate parking for new use.

See attached documentation for further details of repair.

NOTE: An application is considered incomplete until **all** supporting materials, as specified in Item 1 above, are attached. Incomplete applications will **not** be processed or scheduled for a public hearing.

Exhibit C.

WHY PROPOSED WORK SHOULD BE APPROVED

Please use this form only. Form may be photocopied. Please type or print.

When proposing a major project, please use this page to give information in support of your request. (See Exhibit B, item 1, above: "Type of Work Proposed," key # 7. Suggested items of discussion are included in the Instructions, page 7.)

The proposed project is a renovation of the existing building to provide income for the owner without loss of historic character to the building. All existing building elements to be replaced are intended to be acceptable equivalents of the existing elements.

The building is to be re-purposed from a residential rental complex into leased office space. The interior layout of the building will remain with minor changes. An ADA accessible bathroom will be supplied on the first floor. A french door will be placed in the doorway between foyer and hearth room. An interior partition wall will be created to provide a coat closet. No other interior layout changes will be made. All other work on the interior will be restoration.

The existing windows have been evaluated and it has been determined that some windows can be repaired and some windows will need replacement. The windows to be repaired will be striped of paint and repaired and painted to match existing. The windows to be replaced will be removed and replaced with new windows custom-made to match the existing profiles and dimensions. The replacement windows will be low-e insulated glass. See the window schedule on sheet 1/A601 for drawings of replacement windows. Pictures are attached documenting the windows that require replacement.

The existing side porch entry/exit door to be replaced will be removed and replaced with a new door custom-made to match the existing profile and dimensions. See door schedule (2/A601) for a drawing of the existing/replacement door.

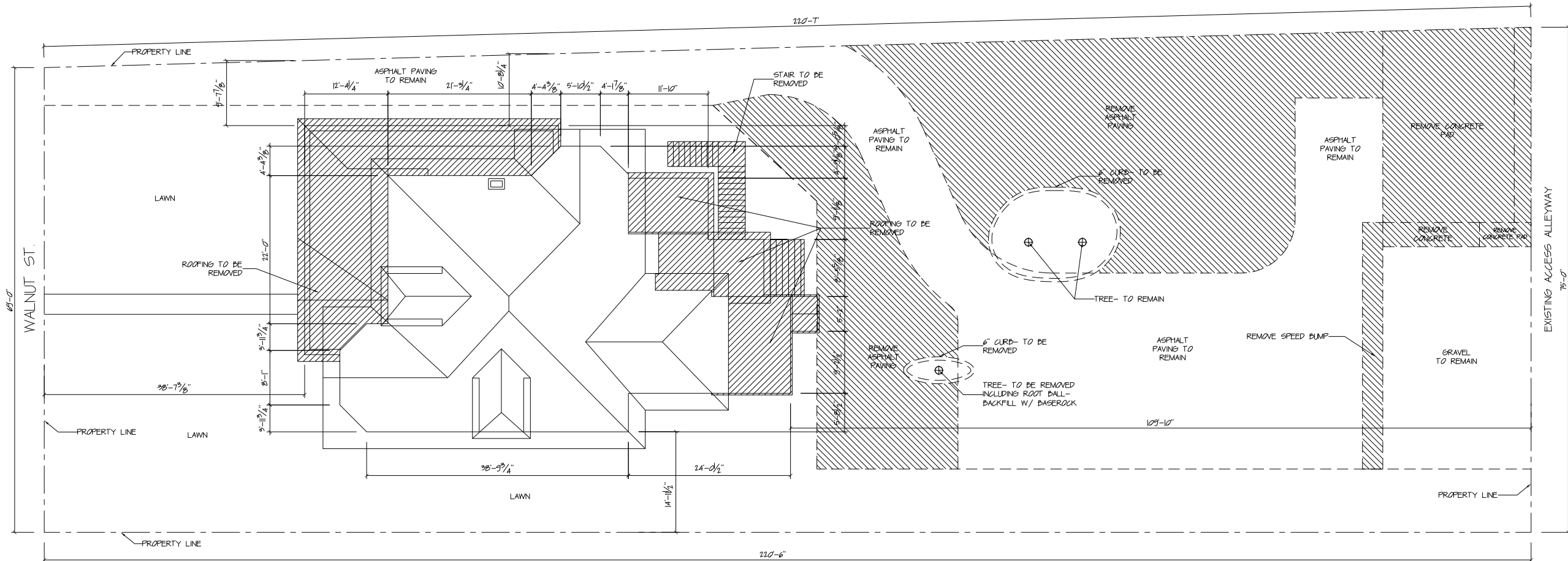
The existing exterior south stairs and porch stairs have been determined to be unsafe and will be demolished. The new stairs to replace the existing porch stairs are to match in design and dimension to the existing stairs. The rear exterior staircase to the 2nd floor will match material and design, but will differ in layout to provide direct access from the parking lot.

The removal of shingles is to reveal areas of water damage and prevent further water damage from occurring. Replacement shingles will match existing shingles in material, profile, dimension, and in color.

The new ramp and stair construction on the rear of the structure is for code compliance purposes only. The new ramp and stair construction is on the rear of the structure and will not affect the historic character of the building from Walnut Street. The ramp and stair will be wood construction to match similar features on similar structures in the historic district.

The exterior repair will consist of removing and replacing the exterior siding. The exterior siding will be replaced with JamesHardie HardiePlank cement board lap siding with a 6" reveal. A search for matching ship-lap siding found no suppliers. In order to replace the siding with an equivalent product, custom-milling of the ship-lap siding would be necessary. Material cost for custom milled ship-lap siding was estimated at approximately \$12,000. The alternative for the ship-lap siding is a pre-finished cement board lap siding. Material cost for pre-finished cement board siding was estimated at approximately \$4,800.

The exterior of the building will be striped of lead-based paint and re-painted with an equivalent lead-free paint. All building detail elements that are uncovered and found to be damaged beyond repair as a result of striping paint will be replaced with an equivalent piece in design, material, and finish. This is estimated to cost approximately \$60,000.



CODE REVIEW

APPLICABLE BUILDING CODES

2012 IBC
2012 EBC
2012 IRC
2012 IMC
2012 IFC
2010 ADA STANDARDS FOR ACCESSIBLE DESIGN

IBC CHAPTER 3 USE OCCUPANCY CLASS

3021 CLASSIFICATION
GROUP B- BUSINESS

CHAPTER 34- SECTION 3406 CHANGE IN OCCUPANCY

-EXISTING OCCUPANCY (R)
-NEW OCCUPANCY (B)

IBC CHAPTER 6 TYPES OF CONSTRUCTION

EXISTING CONSTRUCTION V-B, NON-SPRINKLERED

TABLE 601

BUILDING ELEMENTS	FIRE RESISTANT REQUIREMENTS
STRUCTURAL FRAME	SEE NOTE
BEARING WALLS	SEE NOTE
EXTERIOR WALLS	SEE NOTE
INTERIOR WALLS	0 HOURS
NON BEARING WALLS AND PARTITIONS	0 HOURS
EXTERIOR WALLS	0 HOURS
INTERIOR WALLS	SEE NOTE
FLOOR CONSTRUCTION	SEE NOTE
ROOF CONSTRUCTION	SEE NOTE

NOTE: THE EXISTING CONSTRUCTION TYPE IS ASSUMED BY THE ARCHITECT BASED ON THE INFORMATION AVAILABLE AND NON-DESTRUCTIVE OBSERVATIONS OF THE BUILDING ELEMENTS. ALL NEW WORK WILL BE IN ACCORDANCE WITH THIS CONSTRUCTION TYPE. THE EXISTING BUILDING ELEMENTS MAY NOT COMPLY WITH THE 2006 I.B.C. HOWEVER ALL NEW CONSTRUCTION WORK WILL. THIS IS CONSISTENT WITH THE 2006 I.B.C. AND 2006 I.E.B.C.

DISCLAIMER: THE ARCHITECT ASSUMES NO LIABILITY OR RESPONSIBILITY FOR THE EXISTING BUILDING OR UNFORESEEN ISSUES THAT ARISE OUT OF THE CONSTRUCTION OF THIS PROJECT THAT RESULT FROM THE PROJECT INTERACTING WITH THE EXISTING BUILDINGS.

IBC CHAPTER 5 GENERAL HEIGHTS + AREAS

TYPE SB ALLOWABLE AREA PER FLOOR

GROUP B 9,000 SF
PROJECT AREA:
TOTAL EXISTING BUILDING AREA 3,750 S.F.
GROUP B AREA 3,750 SF

EXISTING PATIO AREA 215 SF

TOTAL BUILDING 3,965 SF

IBC CHAPTER 10 MEANS OF EGRESS

SECTION 1004 OCCUPANCY LOAD

OCCUPANCY LOAD PER TABLE 1004.11

FIRST FLOOR
GROUP (B) OCCUPANCY
1575 SF / 100 GROSS = 16 OCCUPANTS

SECOND FLOOR
GROUP (B) OCCUPANCY [EXERCISE]
1080 SF / 100 GROSS = 11 OCCUPANTS

CIRCULATION AND RESTROOMS
1085 SF

SECTION 1005.1 EGRESS WIDTH

0.3" PER OCCUPANT
-DOORS MIN 32"

IBC CHAPTER 29 PLUMBING FIXTURES

SECTION 2900.2 MINIMUM PLUMBING FIXTURES

REQUIRED FIXTURES PER TABLE 2902.1

GROUP (A-3) 42 OCCUPANTS

WATER CLOSETS			
MALE (13 OCC.)	1/25	13/25 = 1 REQ'D	
FEMALE (14 OCC.)	1/25	14/25 = 1 REQ'D	
LAVATORIES			
MALE (13 OCC.)	1/40	13/40 = 1 REQ'D	
FEMALE (14 OCC.)	1/40	14/40 = 1 REQ'D	

DRINKING FOUNTAINS
27 OCCUPANTS 1/100 27/100 = 1 REQ'D

SECTION 2900.2.1 FAMILY OR ASSISTED-USE TOILET FACILITIES SERVING AS SEPARATE FACILITIES
PER SECTION 2900.2.1 THE TOILET FACILITIES MAY BE DESIGNATED AS FAMILY/ASSISTED-USE AND ARE NOT REQUIRED TO BE IDENTIFIED AS EXCLUSIVE USE.

TOTAL REQUIRED PLUMBING FIXTURES

WATER CLOSETS		
MALE = 1 REQ'D	(4 UNISEX PROVIDED)	
FEMALE = 1 REQ'D	(4 UNISEX PROVIDED)	
LAVATORIES		
MALE = 1 REQ'D	(4 UNISEX PROVIDED)	
FEMALE = 1 REQ'D	(4 UNISEX PROVIDED)	

DRINKING FOUNTAINS = 0 REQ'D

CITY ORDINANCE- BUILDING CODE- DRINKING FOUNTAIN
UNDER SECTION 14 OF THE SPRINGFIELD CITY ORDINANCE THE FACILITY DOES NOT NEED A DRINKING FOUNTAIN. A 2-5 GAL. WATER COOLER OR EQUAL SUPPLY OF BOTTLED WATER IS REQUIRED.

CITY ORDINANCE - OFF STREET PARKING REQUIREMENTS

FOLLOWING 9-1500 CITY ORDINANCE FOR OFF-STREET PARKING REQUIREMENTS, A BUSINESS OFFICE REQUIRES 1 PARKING SPACE PER 350 S.F. OF TOTAL BUILDING AREA

3,750 S.F. / 350 S.F. = 11 PARKING SPACES (11 PROVIDED)

SITE GENERAL NOTES

- 1) REMOVAL OF EXISTING PAVING & GRAVEL BASE AS SHOWN SHALL BE REPLACED W/ CLEAN, BLACK DIRT- SEED TO MATCH EXISTING W/ STRAW BASE- WATER UNTIL NEW LAWN IS ESTABLISHED
- 2) ANY DIRT AND MUD DISTURBED BY CONSTRUCTION MUST BE KEPT OFF CITY STREETS. ANY DIRT OR MUD DISTURBED BY CONSTRUCTION THAT LANDS ON CITY STREETS MUST BE REMOVED BY CONTRACTOR.
- 3) CONTRACTOR IS RESPONSIBLE FOR KEEPING WIND BLOWN DEBRIS ON SITE. ANY DEBRIS THAT LANDS OFF SITE MUST BE REMOVED BY CONTRACTOR.
- 4) CONTRACTOR TO PROVIDE AN ABC RATED 10# FIRE EXTINGUISHER ON SITE DURING CONSTRUCTION.

DRAWING INDEX

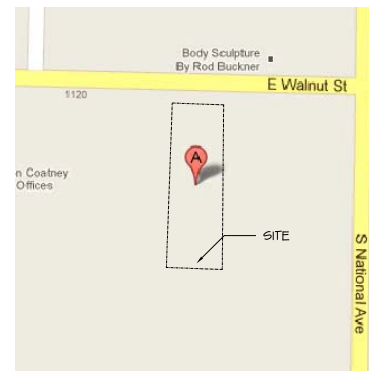
G100	COVER PAGE
C101	SITE PLAN
A101	FLOOR PLANS- EXIST.
A102	FLOOR PLANS- PROP.
A201	ELEVATIONS- EXIST.
A202	ELEVATIONS- PROP.
A301	RAMP DETAILS
A302	STAIR DETAILS
A601	WINDOW AND DOOR DETAILS
S1	STRUCTURAL RESERVED
S2	STRUCTURAL RESERVED
S3	STRUCTURAL RESERVED
E101	ELECTRICAL PLANS
M101	MECHANICAL PLANS
M102	MECHANICAL PLANS



EXISTING/DEMOLITION SITE PLAN
1/8" = 1'-0"

CONTACT

R AND P TAYLOR APARTMENTS
1800 P.O. BOX 4386
SPRINGFIELD, MO 65808



LOCATION MAP
1/8" = 1'-0"

SITE DEMOLITION LEGEND

- ☒ REMOVE ROOFING
- ☒ REMOVE PAVEMENT

DESIGN TEAM

ARCHITECT

BATES AND ASSOCIATES
433 E. WALNUT
SPRINGFIELD, MO 65806
P. 417-865-2065
F. 417-869-5235

STRUCTURAL ENGINEER

WELLS AND SCALETTY
SUITE A
3050 EAST BATTLEFIELD
SPRINGFIELD, MO 65804
P. 417-890-7711
F. 417-890-7611

MEP ENGINEER

COLVIN JONES DAVIS
SUITE B-105A
2101 WEST CHESTERFIELD BLVD.
SPRINGFIELD, MO 65807
P. 417-877-1700
F. 417-877-1801

INTERIOR DESIGNER

A-DECKARD INTERIORS
411 D NORTHVIEW ROAD
SPRINGFIELD, MO 65803
P. 417-8319300

EXISTING BUILDING RENOVATION

FOR

1144 E WALNUT
SPRINGFIELD, MISSOURI 65804

RELEASE DATE
12-6-2012

JOB NO.
2307

SHEET NO.

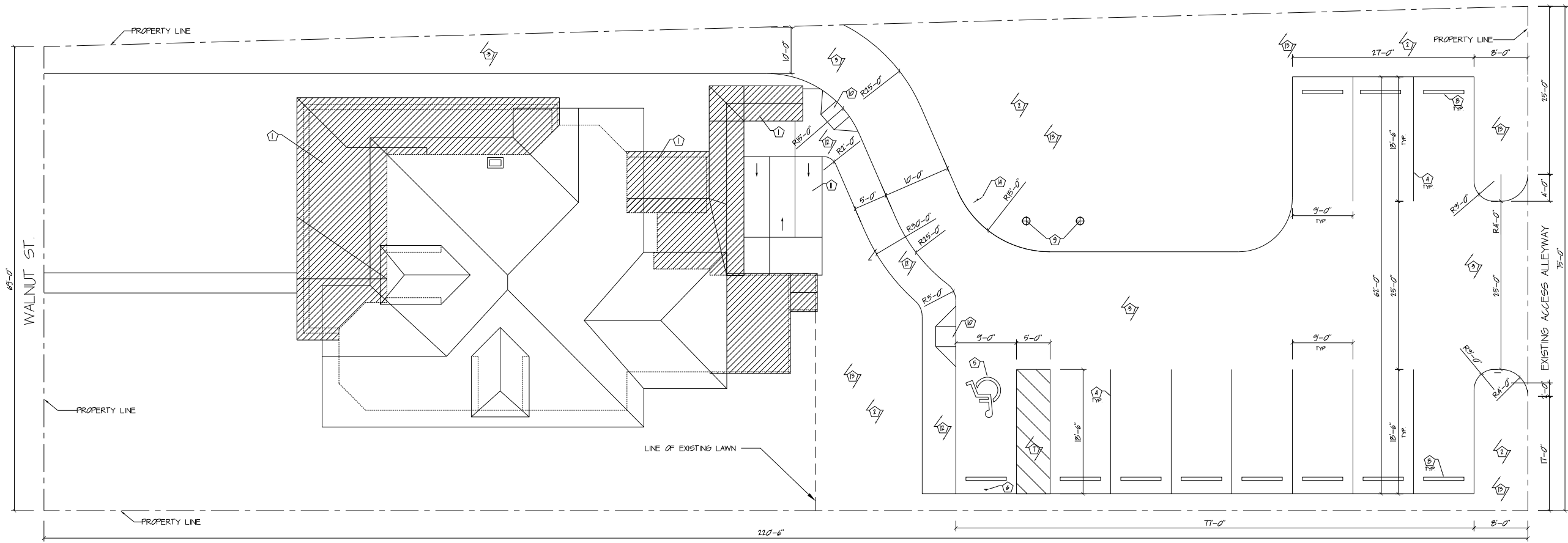
G100

SHEET DESCRIPTION
FLOOR PLANS

NOT FOR
CONSTRUCTION

bates & associates
architects

www.batesarchitects.com
phone no. 417.865.2065
fax no. 417.865.5313
433 west walnut,
springfield missouri 65806
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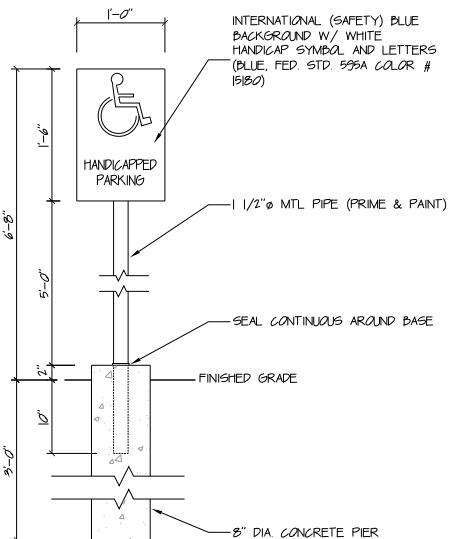
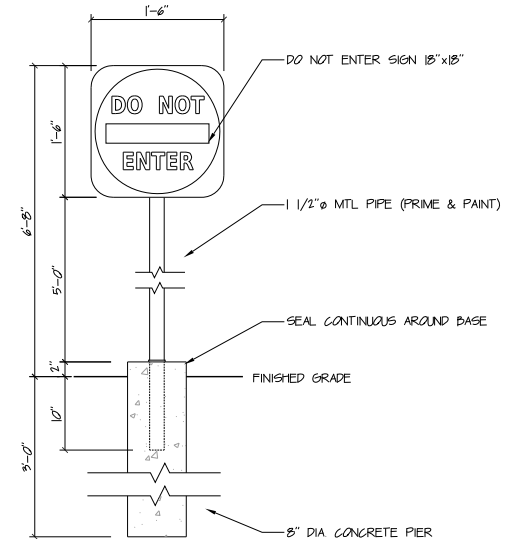
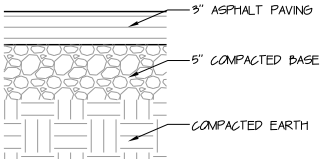
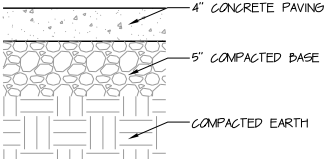
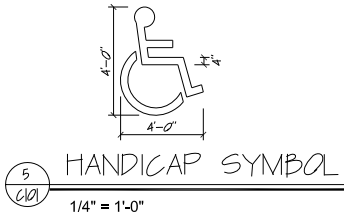


- KEY NOTES**
- 1 NEW ROOFING- ASPHALT SHINGLES WITH 25 YEAR WARRANTY- MATCH EXISTING SHINGLE IN COLOR AND SIZE
 - 2 EXISTING PAVEMENT TO BE REMOVED
 - 3 NEW ASPHALT PAVEMENT- SEE DTL 1/C101
 - 4 PARKING LANE MARKING
 - 5 PAINTED HANDICAP LOGO- SEE DTL 5/C101
 - 6 HANDICAP PARKING SPACE SIGN- SEE DTL 2/C101
 - 7 STRIPED AREA
 - 8 6" PRE-CAST CONC. WHEEL STOP- ANCHOR TO GROUND WITH #4 REBAR DRIVEN INTO PAVEMENT 18" MIN.
 - 9 APPROXIMATE LOCATION OF EXISTING TREE- TREE TO REMAIN
 - 10 CONCRETE CURB RAMP
 - 11 WOOD ADA RAMP
 - 12 CONCRETE PAVING- SEE DTL 4/C101
 - 13 NEW SEEDED LAWN
 - 14 DO NOT ENTER SIGN- SEE DTL 3/C101
 - 15 COVERED WOOD STAIR

GENERAL NOTES

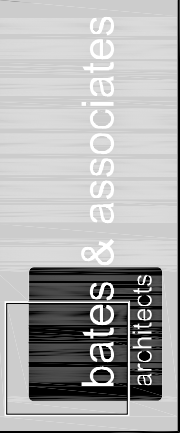
THE EXISTING AREA BEHIND THE EXISTING STRUCTURE IS PAVED. AS A PART OF THIS PROJECT THE AMOUNT OF IMPERVIOUS PAVING WILL BE REDUCED. THE GRADING OF THE SITE SHALL MATCH THE EXISTING AND IT IS ANTICIPATED THAT IT WILL NOT AFFECT THE EXISTING STORM WATER MANAGEMENT SYSTEM.

N
6
C101
SITE PLAN
1/8" = 1'-0"



REVISIONS	

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phone no. 417.865.2065
fax/fmle 417.865.3313
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EXISTING BUILDING RENOVATION

FOR

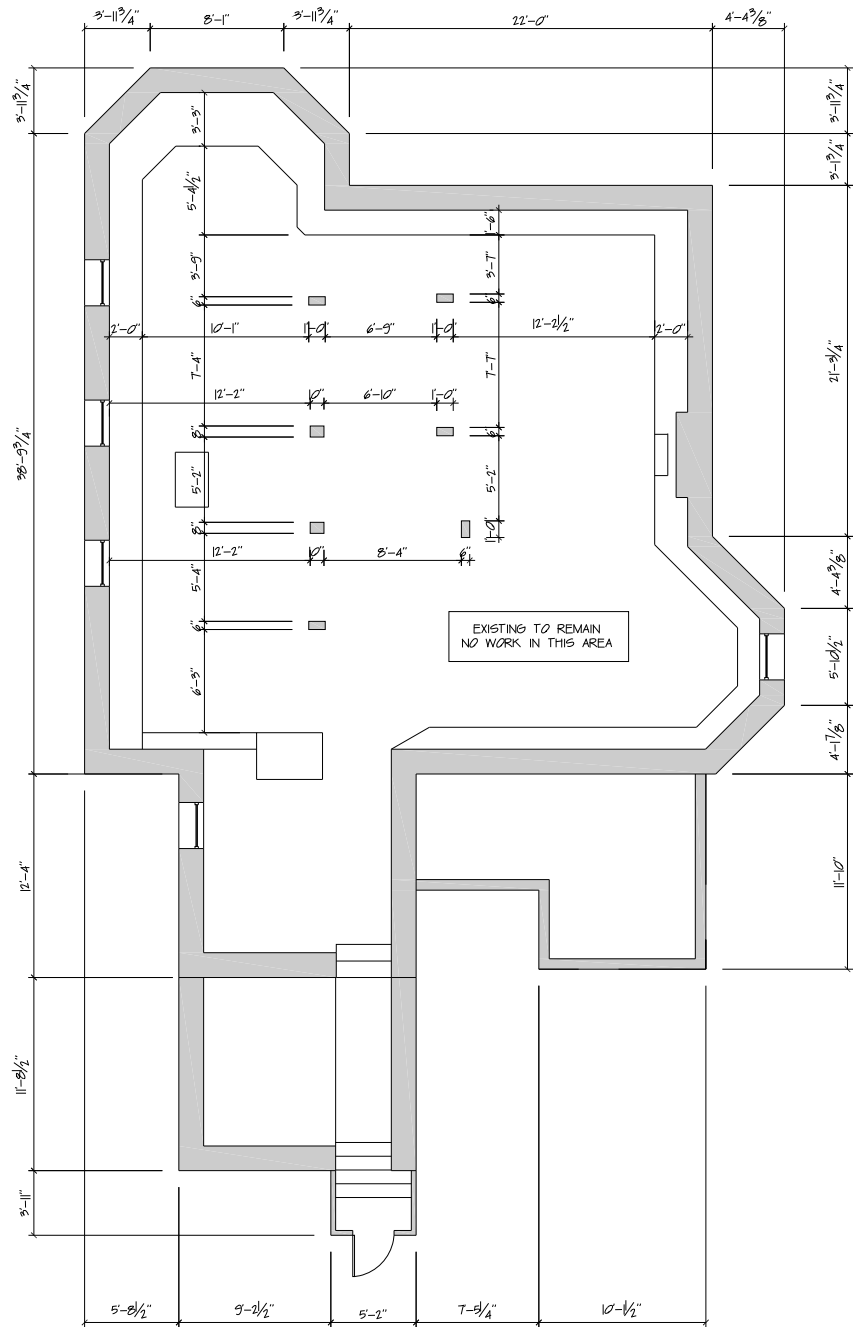
1144 E WALNUT
SPRINGFIELD, MISSOURI 65804

RELEASE DATE
12-6-2012

JOB NO.
2307

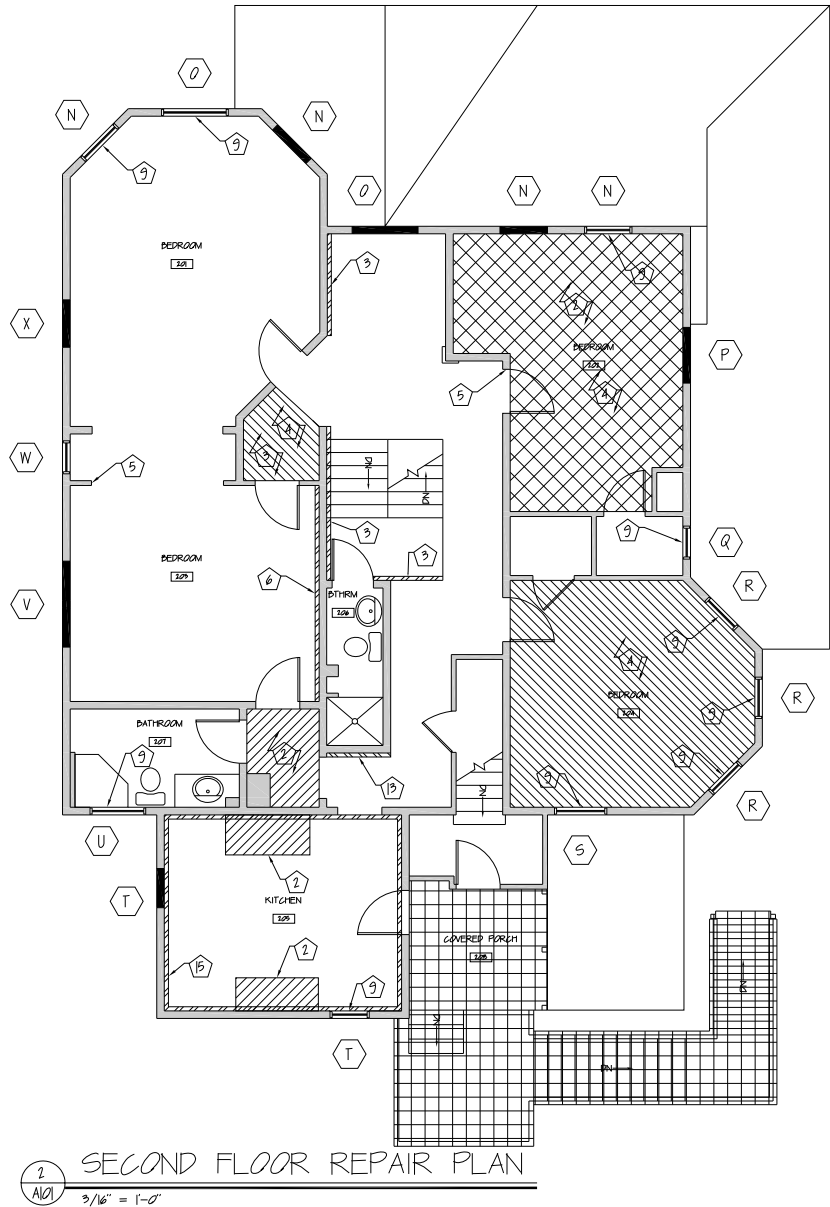
SHEET NO.
C101

SHEET DESCRIPTION
FLOOR PLANS



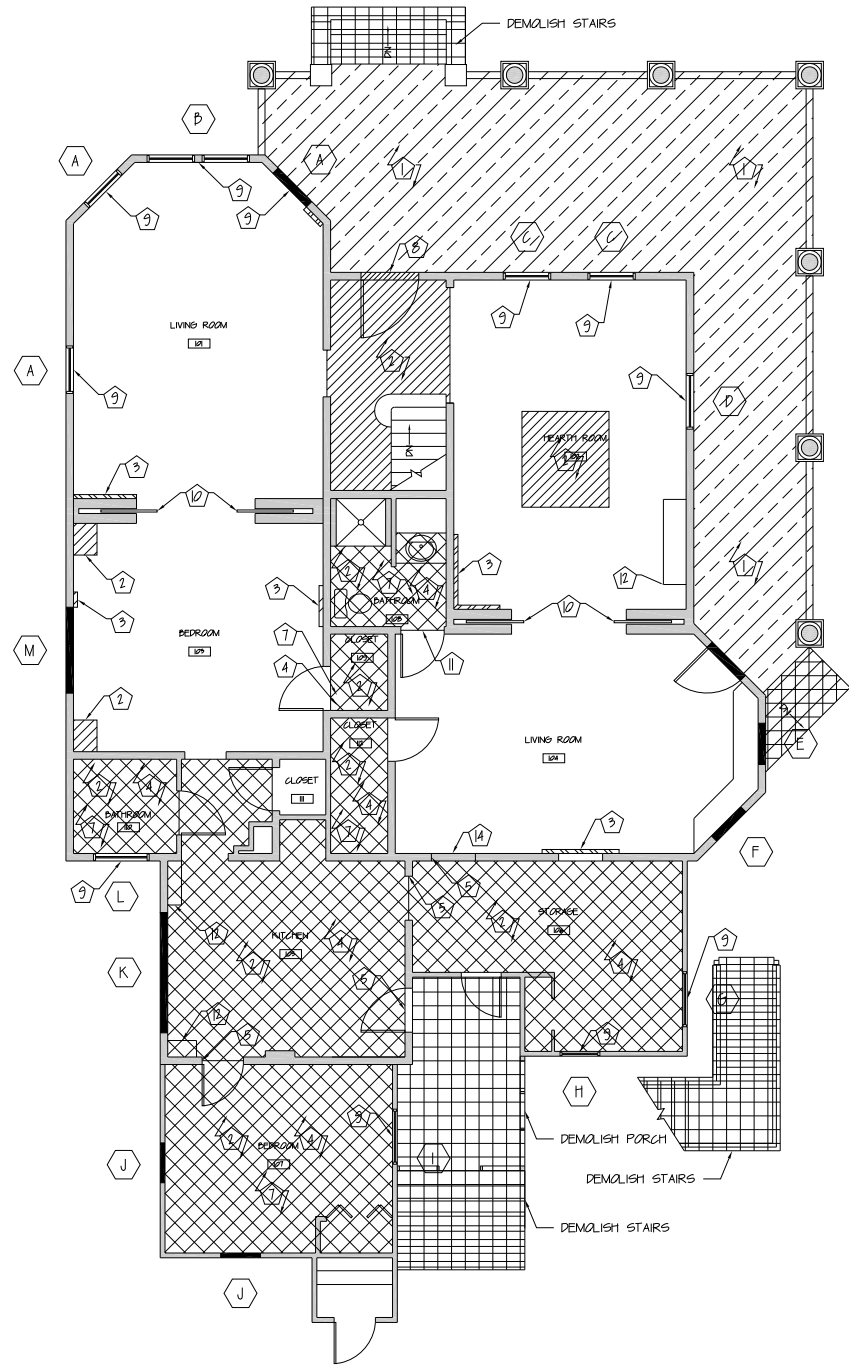
3
A101
1/8" = 1'-0"

LOWER LEVEL FLOOR PLAN



2
A101
3/16" = 1'-0"

SECOND FLOOR REPAIR PLAN



1
A101
3/16" = 1'-0"

FIRST FLOOR REPAIR PLAN

TYPICAL LATH & PLASTER REPAIR

- 1) WHERE POSSIBLE, PLASTER FINISH SHALL BE REPAIRED W/ JOINT COMPOUND AND VINYL MESH TAPE
- 2) AREAS WHERE PLASTER IS MISSING SHALL BE REPAIRED BY REMOVING LATH & PLASTER TO A CONDITION TO PROVIDE A CLEAN EDGE. THE SPACE SHALL BE INFILLED W/ FURRING STRIPS AND GYPSUM BOARD TO MATCH ADJACENT FINISH.

REPAIR LEGEND

- | | |
|--------------------|---|
| FLOORING | STAIR |
| CEILING | DECKING |
| FLOORING & CEILING | WINDOW TO BE REPLACED- SEE WINDOW SCHEDULE 1/A601 |
| WALL | |

PLAN KEY NOTES

- 1) DECKING SHALL HAVE PAINT REMOVED- DECKING SHALL BE INSPECTED BY ARCHITECT PRIOR TO FINISH APPLICATION- THE CONTRACTOR SHALL INCLUDE IN THEIR BID AN ALLOWANCE TO REPLACE 25% OF THE FLOOR AREA- UNIT PRICE FOR ADDITIONAL REPAIR SHALL ALSO BE PROVIDED- ONCE REPAIRS HAVE BEEN COMPLETED THE DECK SHALL BE COATED W/ BENJAMIN-MOORE ANTI-SLIP FLOOR COVERING OR SIMILAR
- 2) REMOVE FLOORING- INSPECT SUB-FLOOR FOR WATER DAMAGE- REPLACE SUB-FLOOR AS NECESSARY- PROVIDE NEW FLOORING- MATERIAL AND FINISH TO BE SELECTED BY INTERIOR DESIGNER
- 3) REPAIR LATH & PLASTER PER "TYPICAL LATH AND PLASTER REPAIR" NOTE
- 4) REMOVE CEILING- INSPECT STRUCTURAL MEMBERS FOR WATER DAMAGE- REPLACE AS NECESSARY- PROVIDE NEW 1/2" GYP. BD. CEILING FINISH TO BE SELECTED BY INTERIOR DESIGNER
- 5) REPAIR DOOR TRIM USING INTERIOR GRADE SANDABLE AND STAINABLE FILLERS
- 6) REPAIR DOOR TRIM USING INTERIOR GRADE SANDABLE AND STAINABLE FILLERS
- 7) REMOVE GYP. BD. WALL FINISH- PROVIDE NEW 1/2" GYP. BD. FINISH- PAINT COLOR TO BE SELECTED BY INTERIOR DESIGNER
- 8) REMOVE DOOR THRESHOLD- PROVIDE NEW WD. DOOR THRESHOLD TO MATCH EXISTING- STAIN TO MATCH EXISTING
- 9) REPAIR WINDOW TRIM USING INTERIOR GRADE SANDABLE AND STAINABLE FILLERS
- 10) REPAIR POCKET DOORS USING INTERIOR GRADE SANDABLE AND STAINABLE FILLERS
- 11) PROVIDE ADHESIVE WINDOW FILM- APPLY TO BATHROOM SIDE OF TRANSOM
- 12) REMOVE CASEWORK- PROVIDE NEW 5/8" GYP. BD. WALL FINISH- PAINT COLOR TO BE SELECTED BY INTERIOR DESIGNER
- 13) INFILL WALL WITH FURRING STRIPS AND 1/2" GYP. BD.- PREPARE EDGES OF OPENING TO ACCEPT GYP. BD.- SKIM COAT ENTIRE WALL
- 14) REMOVE GYP. BD. FINISH IN DOOR FRAME- REPAIR DOOR FRAME USING INTERIOR GRADE SANDABLE AND STAINABLE FILLERS
- 15) REMOVE GYP. BD. WALL FINISH- REPLACE MOLDED INSULATION WITH EQUIVALENT R-VALUE INSULATION- INSPECT STRUCTURAL MEMBERS FOR WATER DAMAGE- TREAT MOLDED AREAS PER GENERAL NOTE 3- REPLACE ELEMENTS AS NECESSARY- PROVIDE NEW 5/8" GYP. BD. WALL FINISH

GENERAL NOTES

- 1) ALL REPAIRS OF PAINTED SURFACES SHALL BE DONE IN ACCORDANCE WITH EPA GUIDELINES FOR LEAD PAINT REMEDIATION
- 2) ALL DEMOLITION OF EXISTING FLOORING AND CEILINGS SHALL BE DONE IN ACCORDANCE WITH EPA GUIDELINES FOR ASBESTOS REMOVAL
- 3) WHERE BUILDING FINISHES ARE REMOVED FROM THE BUILDING A VISUAL INSPECTION FOR MOLD SHALL BE CONDUCTED BY THE CONTRACTOR. ANY MOLD FOUND WILL BE REMOVED AND THE EFFECTED SURFACE TREATED WITH A 1 TO 8 PARTS BLEACH AND WATER SOLUTION. IF MOLD DAMAGE IS SO PERVASIVE THAT IT HAS ROTTED A BUILDING ELEMENT BEYOND REPAIR IT SHALL BE REMOVED AND REPLACED WITH A MATERIAL THAT MATCHES THE EXISTING MATERIALS
- 4) SHADED AREAS INDICATE EXISTING BUILDING ELEMENTS THAT ARE VISIBLY DAMAGED REMOVAL AND REPLACEMENT OF ADDITIONAL BUILDING ELEMENTS MAY BE NECESSARY AFTER INVASIVE INSPECTION
- 5) ALL WALLS, DOORS, AND WINDOWS ARE EXISTING UNLESS NOTED ON PLANS
- 6) DOOR SWINGS ARE EXISTING AND ARE CONSIDERED TO BE COMPLIANT PER IEBC CHAPTER 11
- 7) COMPONENTS NOT CALLED OUT ARE ASSUMED TO BE EXISTING COMPONENTS THAT ARE REMOVED IN NATURE AND ARE TO REMAIN- EXISTING HISTORIC COMPONENTS SHALL BE REPAIRED TO THEIR ORIGINAL CONDITION AND REFINISHED.

REVISIONS	

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CONSTRUCTION

bates & associates
architects

www.batesarchitects.com
phone no. 417.865.2065
faxisfile 417.865.5313
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EXISTING BUILDING RENOVATION

FOR

1144 E WALNUT
SPRINGFIELD, MISSOURI 65804

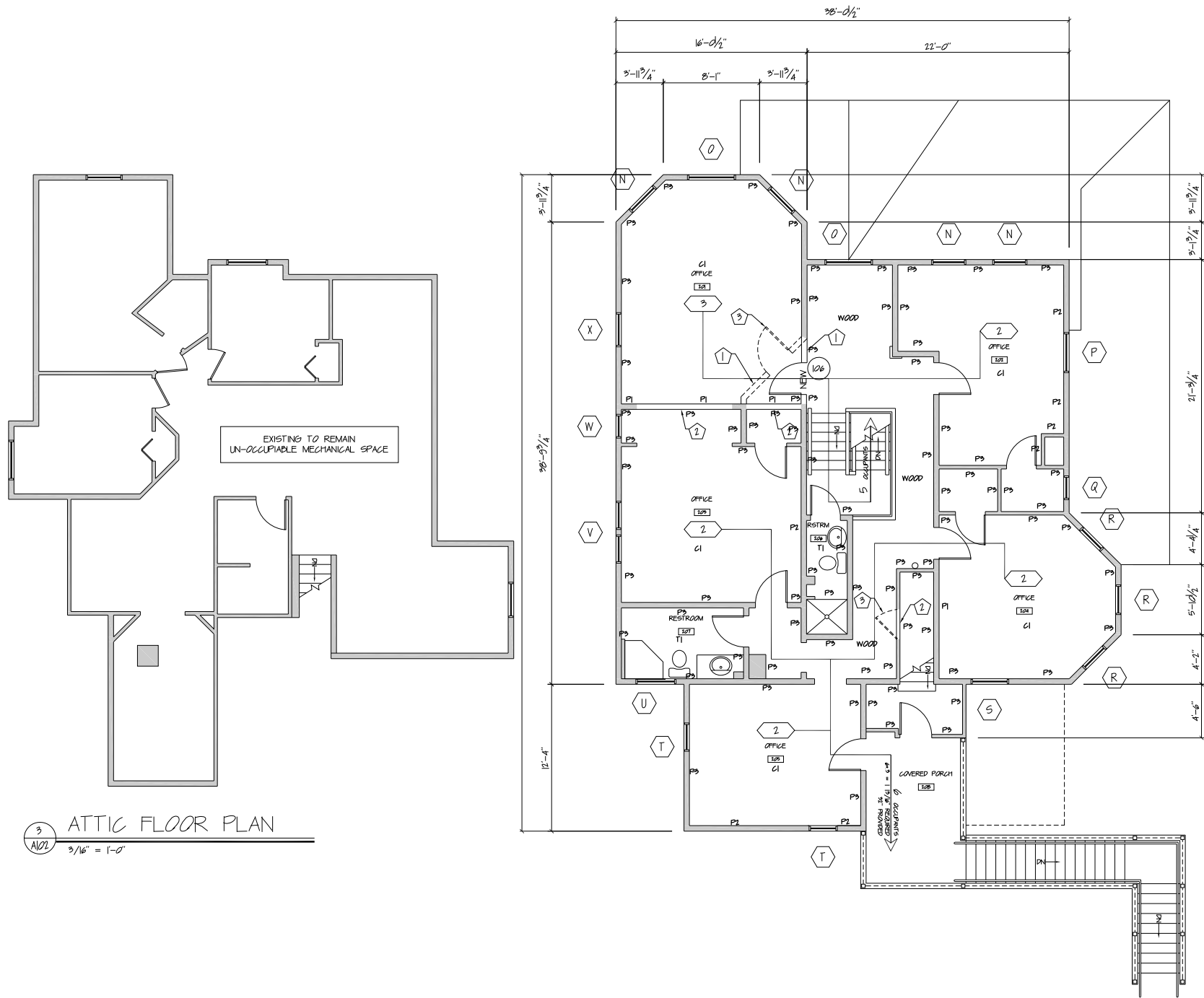
RELEASE DATE
12-6-2012

JOB NO.
2307

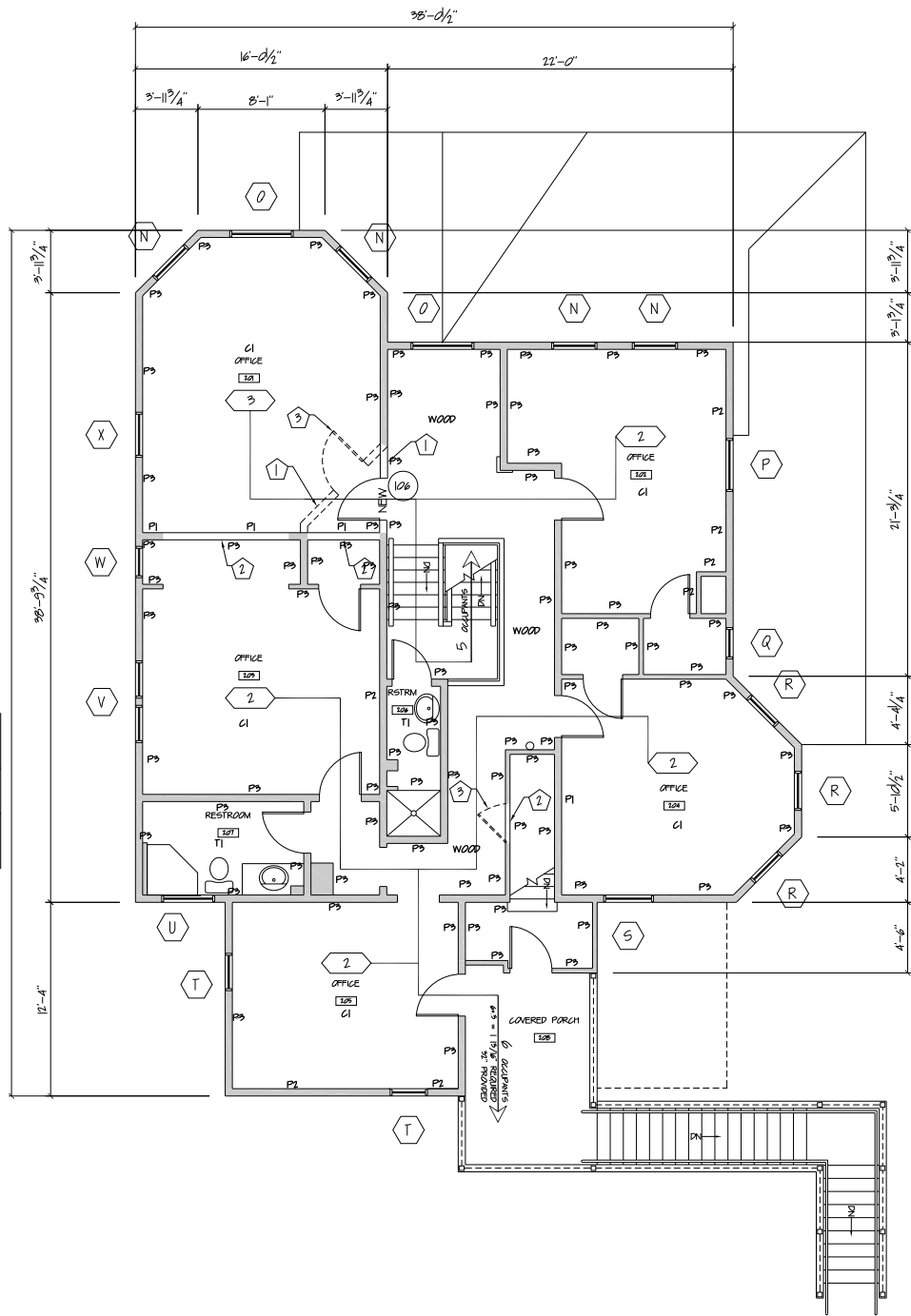
SHEET NO.

A101

SHEET DESCRIPTION
FLOOR PLANS



3 ATTIC FLOOR PLAN
3/16" = 1'-0"



2 SECOND FLOOR PLAN- PROPOSED
3/16" = 1'-0"

INTERIOR FINISH SCHEDULE

CARPET
C1- &W/INVISION CARPET, PATTERN: CITY BLOCKS MODULAR TILE, COLOR: 1904 HARVARD SQUARE, 24" x 24" TILE

TILE
T1 DAL TILE, OCTAGON & DOT MOSAIC, COLOR: MATTE WHITE #6501 WITH C1 WHITE DOT, 24" x 24" OCTAGON & 10" x 10" DOT

VINYL BASE
B1 - JOHNSONITE, 4" COVE BASE #48 GREY

VINYL TILE
LVT1 - KARDEAN - OPUS/STONE, COLOR: TERRA SP212, SIZE: 18" x 24"

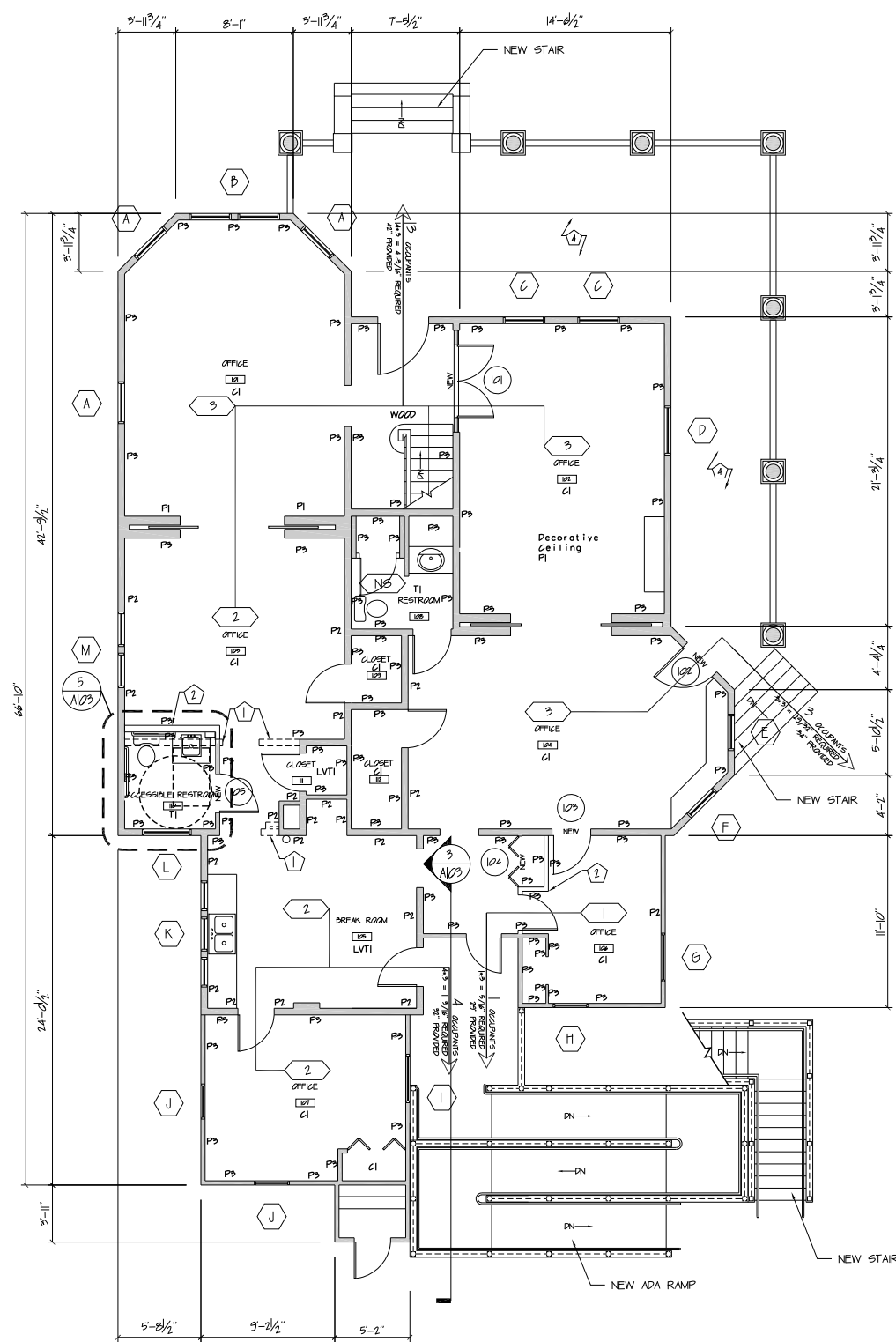
GROUT
G1 - STARQUARTZ - STAR GLASS #671 HEMATITE

PAINT
P1 - SHERWIN WILLIAMS - SW7019 - GAUNTLET GRAY, SATIN FINISH - ACCENT WALL
P2 - SHERWIN WILLIAMS - SW0012 - EMPIRE GOLD, SATIN FINISH - ACCENT WALL
P3 - SHERWIN WILLIAMS - SW0024 - CURIO GRAY SATIN FINISH - MAIN COLOR

PLASTIC LAMINATE
PL1 - WILSONART, #4872-60 WESTERN STORM

PLAN KEY NOTES

- 1 DEMOLISH EXISTING WALL
- 2 PROVIDE 2x4 WD STUDS TO FRAME NEW WALL- FINISH WITH 5/8" GYP BD- TAPE AND SKIM COAT JOINTS BETWEEN EXISTING WALL AND NEW WALL- PAINT COLOR TO BE SELECTED BY INTERIOR DESIGNER
- 3 REMOVE DOOR
- 4 NEW DECKING- SEE 1/A101



1 FIRST FLOOR PLAN- PROPOSED
3/16" = 1'-0"

GENERAL NOTES

1. ALL WALLS, DOORS, AND WINDOWS ARE EXISTING UNLESS NOTED ON PLANS
2. DOOR SWINGS ARE EXISTING AND ARE CONSIDERED TO BE COMPLIANT PER IBC, CHAPTER 10
3. COMPONENTS NOT CALLED OUT ARE ASSUMED TO BE EXISTING COMPONENTS THAT ARE HISTORIC IN NATURE AND ARE TO REMAIN. EXISTING HISTORIC COMPONENTS SHALL BE REPAIRED TO THEIR ORIGINAL CONDITION AND REFINISHED

OCCUPANCY TAG

- | | |
|-----|--|
| # | NUMBER OF OCCUPANTS IN SPACE |
| NS | NON-SIMULTANEOUS OCCUPANCY (DOES NOT INCREASE THE OCCUPANCY) |
| NON | NON-OCCUPIED SUPPORT SPACE (DOES NOT INCREASE THE OCCUPANCY) |

EXISTING BUILDING RENOVATION

FOR

1144 E WALNUT

SPRINGFIELD, MISSOURI 65804

NOT FOR CONSTRUCTION

bates & associates
architects

www.batesarchitects.com
phone no. 417.865.2065
fascille 417.865.5313
west walnut
433
springfield missouri 65806

RELEASE DATE
12-6-2012

JOB NO.
2307

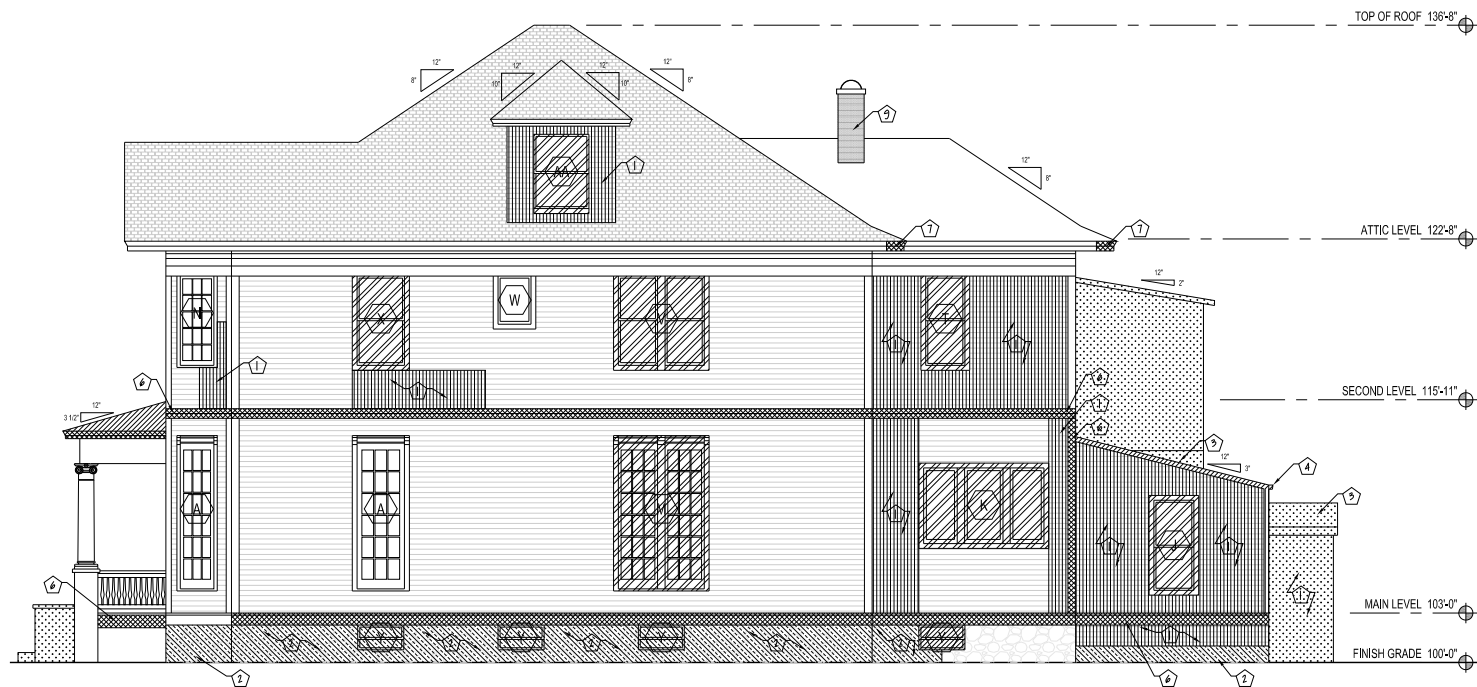
SHEET NO.

A102

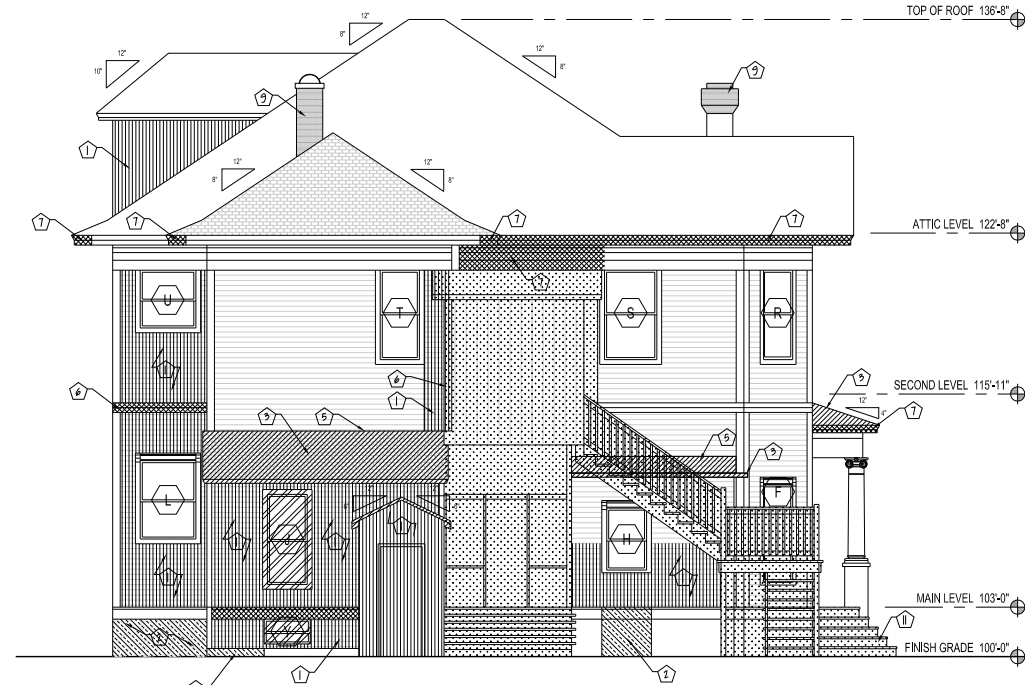
FLOOR PLANS



EAST ELEVATION
3/16" = 1'-0"



WEST ELEVATION
3/16" = 1'-0"



SOUTH ELEVATION
3/16" = 1'-0"



NORTH ELEVATION
3/16" = 1'-0"

ELEVATION KEY NOTES

- 1) REMOVE SIDING- REPLACE WITH JAMESHARDIE HARDIEPLANK CEDARMILL 125 LAP SIDING IN 6 1/4" WIDTHS
- 2) REPAIR STONE AND CMU FOUNDATION- FILL CRACKS WITH NON-SHRINKING GROUT- MATCH EXISTING GROUT COLOR
- 3) REMOVE EXISTING ROOFING INSPECT ROOF FOR DAMAGED SUBSTRATE AND REPLACE AS REQUIRED. ROOFING SHALL BE REPLACED WITH 25 YEAR ASPHALT SHINGLES TO MATCH EXISTING SHINGLES IN COLOR AND SIZE
- 4) PROVIDE NEW GUTTER TO MATCH EXISTING (PROFILE TO BE VERIFIED BY ARCHITECT PRIOR TO FABRICATION)
- 5) PROVIDE FLASHING WHERE ROOFING MEETS SIDING- TAPE FLASHING TO SHEATHING
- 6) REMOVE PAINT FROM BAND BOARD- REPAIR AS NECESSARY- PAINT COLOR TO BE SELECTED BY ARCHITECT
- 7) REMOVE PAINT FROM FASCIA - REPAIR AS NECESSARY- PAINT COLOR TO BE SELECTED BY ARCHITECT
- 8) REMOVE PAINT FROM SOFFIT- REPAIR AS NECESSARY- PAINT COLOR TO BE SELECTED BY ARCHITECT
- 9) FILL CRACKS IN BRICK COLUMN USING TYPE N MORTAR
- 10) PAINT EXISTING LATTICE- PAINT COLOR TO BE SELECTED BY ARCHITECT
- 11) REMOVE COLUMN TRIM- CAST AND CREATE MOLD FOR REPLACEMENT COLUMN TRIM
- 12) CAST REPLACEMENT COLUMN TRIM FROM MOLD- REPLACE COLUMN TRIM- PAINT TO BE SELECTED BY ARCHITECT

GENERAL NOTES

- 1) ALL REPAIRS OF PAINTED SURFACES SHALL BE DONE IN ACCORDANCE WITH EPA GUIDELINES FOR LEAD PAINT REMEDIATION
- 2) WHERE BUILDING FINISHES ARE REMOVED FROM THE BUILDING A VISUAL INSPECTION FOR MOLD SHALL BE CONDUCTED BY THE CONTRACTOR. ANY MOLD FOUND WILL BE REMOVED AND THE EFFECTED SURFACE TREATED WITH A 1 TO 3 PARTS BLEACH AND WATER SOLUTION. IF MOLD DAMAGE IS SO PERVASIVE THAT IT HAS ROTTEN A BUILDING ELEMENT BEYOND REPAIR IT SHALL BE REMOVED AND REPLACED WITH A MATERIAL THAT MATCHES THE EXISTING MATERIALS
- 3) SHADED AREAS INDICATE EXISTING BUILDING ELEMENTS THAT ARE VISIBLY DAMAGED. REMOVAL AND REPLACEMENT OF ADDITIONAL BUILDING ELEMENTS MAY BE NECESSARY AFTER INVASIVE INSPECTION
- 4) ALL EXISTING WINDOW FRAMES SHALL BE CAULKED W/ PAINTABLE URETHANE SEALANT PRIOR TO PAINTING

EXTERIOR REPAIR BID PACKAGE

- 1) BID PACKAGE 001 SHALL INCLUDE STRIPING THE EXISTING PAINT FROM ALL EXTERIOR SURFACES. THIS WORK SHALL BE PERFORMED IN ACCORDANCE W/ EPA GUIDELINES FOR LEAD PAINT REMOVAL. ONCE PAINT IS REMOVED DAMAGED MATERIALS SHALL BE REPAIRED OR REPLACED. IF MATERIALS ARE TO BE REPAIRED THEY SHALL BE REPAIRED USING EXTERIOR GRADE PAINTABLE AND SANDABLE FILLERS
- 2) BID PACKAGE 002 SHALL INCLUDE REMOVING THE EXISTING SIDING. SIDING SHALL BE REMOVED AND DISPOSED OF IN ACCORDANCE W/ EPA GUIDELINES FOR LEAD REMEDIATION GUIDELINES. THE BUILDING SHALL BE SHEATHED W/ 3/8" EXTERIOR GRADE PLYWOOD. (1) LAYER OF AIR AND VAPOR BARRIER SHALL BE APPLIED AND SHIP LAP SIDING TO MATCH EXISTING PROFILE SHALL BE INSTALLED

PAINTING

- 1) THE EXTERIOR OF THE BUILDING SHALL BE PRIMED AND PAINTED W/ (2) COATS OF 20 YEAR EXTERIOR ENAMEL
- 2) SIDING SHALL BE ONE COLOR
- 3) THREE (3) TRIM COLORS SHALL BE INCLUDED IN THE PRICE

TRIM & WINDOWS

EXISTING TRIM SHALL HAVE PAINT REMOVED. THE TRIM SHALL BE REPAIRED USING PAINTABLE & SANDABLE EXTERIOR GRADE FILLER

EXTERIOR REPAIR LEGEND

- | | |
|---|---|
| [Pattern] SIDING | [Pattern] BAND BOARDS, TRIM, SOFFIT, FASCIA |
| [Pattern] ROOFING | [Pattern] FOUNDATION |
| [Pattern] DEMOLITION | [Pattern] BRICK |
| [Symbol] WINDOW TO BE REPLACED- SEE WINDOW SCHEDULE 1/AG1 | |

REVISIONS	

NOT FOR
CONSTRUCTION

bates & associates
architects

www.batesarchitects.com
phone no. 417.865.2065
fax/no. 417.865.8313
433 west walnut,
springfield missouri 65806

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EXISTING BUILDING RENOVATION

FOR

1144 E WALNUT
SPRINGFIELD, MISSOURI 65804

RELEASE DATE
12-6-2012

JOB NO.
1207

SHEET NO.

A201

SHEET DESCRIPTION
EXIST. ELEVATIONS



3 WEST ELEVATION @ REAR PORCH
A201 1/4" = 1'-0"



4 NORTH ELEVATION @ FRONT PORCH
A201 1/4" = 1'-0"



2 EAST ELEVATION @ REAR ENTRY/EXIT
A201 1/4" = 1'-0"



1 SOUTH ELEVATION @ REAR ENTRY/EXIT
A201 1/4" = 1'-0"

REVISIONS	

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bates & associates
architects

www.batesarchitects.com
phone no. 417.865.2065
fascimile 417.865.3313
433 west walnut,
springfield missouri 65806
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EXISTING BUILDING RENOVATION

FOR

1144 E WALNUT
SPRINGFIELD, MISSOURI 65804

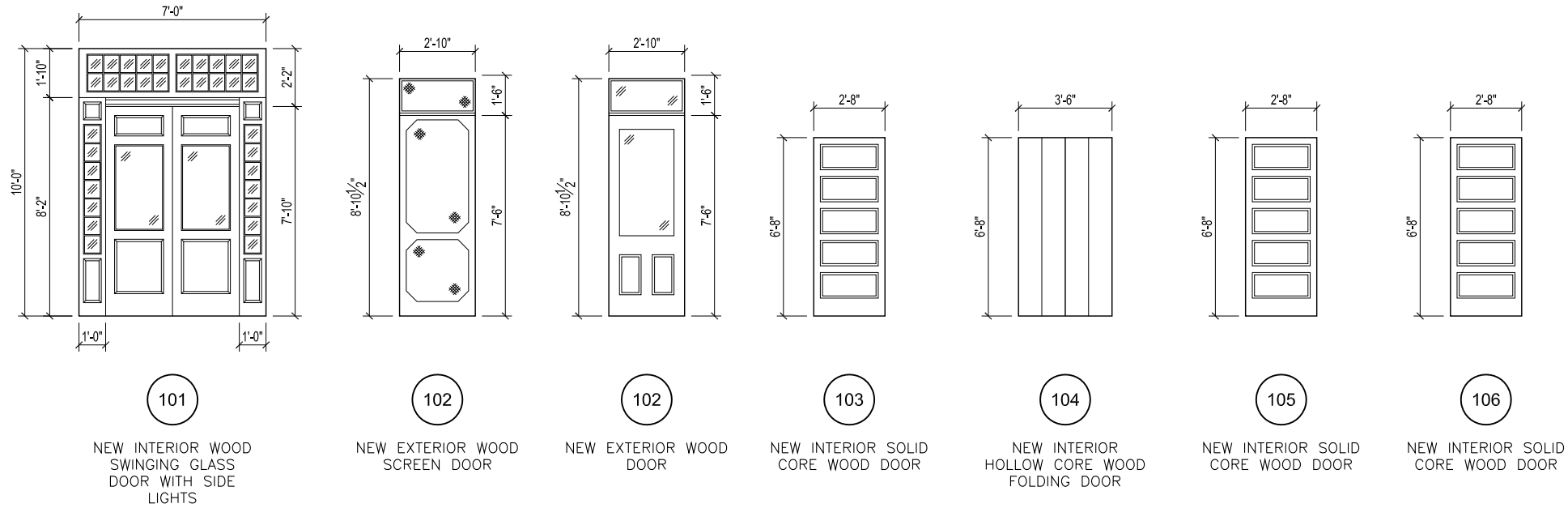
RELEASE DATE
12-6-2012

JOB NO.
2307

SHEET NO.

A202

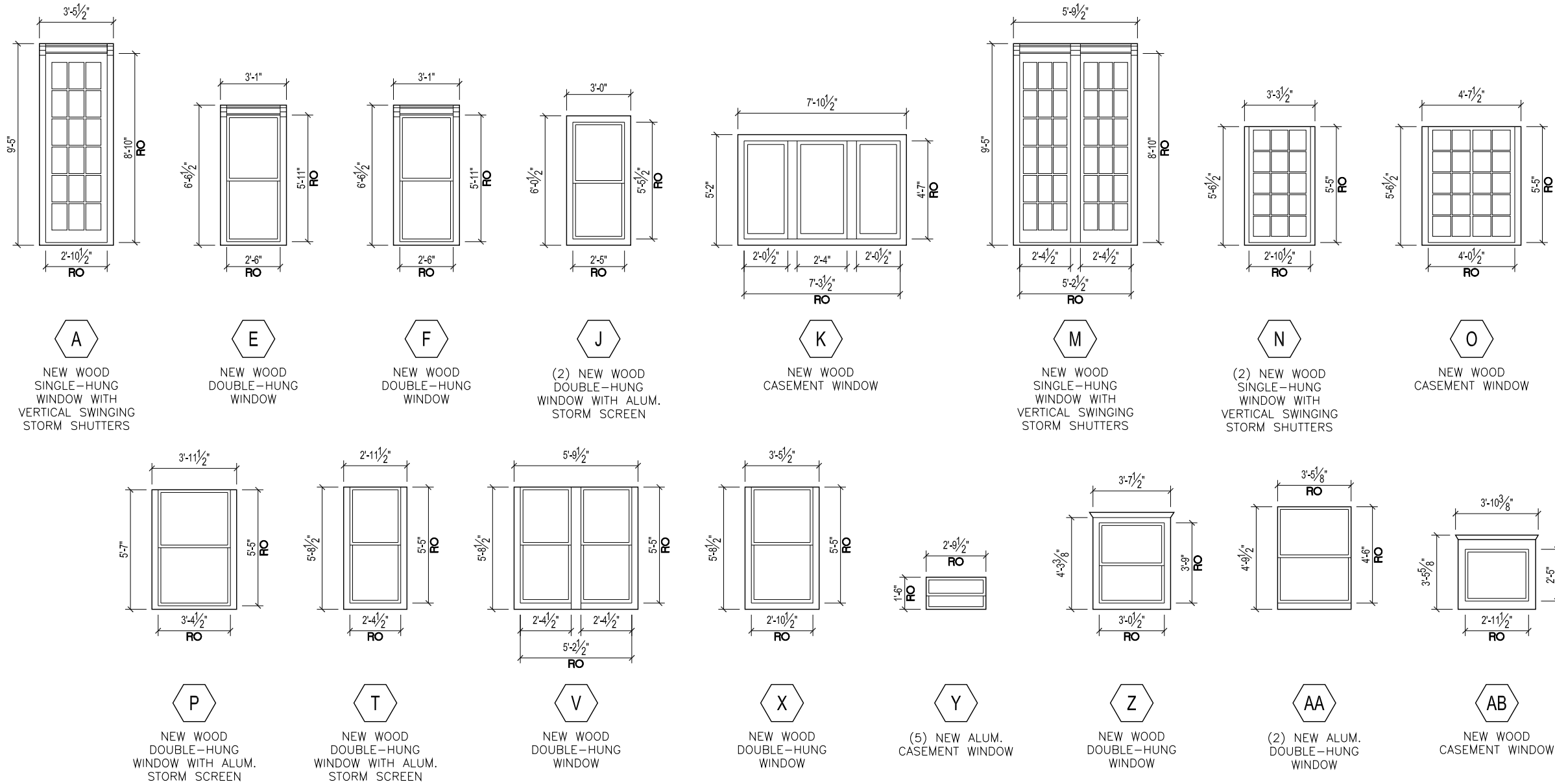
SHEET DESCRIPTION
PROP. ELEVATIONS



2
A601

DOOR SCHEDULE

3/8" = 1'-0"



1
A601

WINDOW SCHEDULE

3/8" = 1'-0"

NOTE: REPLACEMENT WINDOWS WILL HAVE INSULATED GLASS PANELS. REPLACEMENT WINDOWS TO BE LOW-E WINDOWS.

REVISIONS	

NOT FOR CONSTRUCTION

bates & associates
architects

www.batesarchitects.com
phone no. 417.865.2065
faxisfile 417.865.5313
433 west walnut,
springfield missouri 65806

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EXISTING BUILDING RENOVATION

FOR _____

1144 E WALNUT

SPRINGFIELD, MISSOURI 65804

RELEASE DATE: 12-6-2012

JOB NO: 2307

SHEET NO: A601

SHEET DESCRIPTION: WINDOW & DOOR SCHEDULE

Exhibit 1

SECTION 1 - That the following described property, is designated as Urban Conservation District Number 1, to be known as the Walnut Street-West Urban Conservation District, which district shall be subject to the provisions set forth in *Section 4-2300*, Urban Conservation District, of the Land Development Code, and the regulations set forth herein; said district shall be shown on the District maps and is described as follows:

Walnut Street-West Urban Conservation District Legal Description

Beginning at the Northwest Corner of Lot 6 E.T. Robberson's Addition, being the Southeast Corner of Walnut St. and John Q. Hammons Parkway, thence South along the East Rights-of-way of John Q. Hammons Parkway to the Northwest Corner of Lot 16 E.T. Robberson's Addition, being at a point on the South line of an existing 20 foot alley, thence East along the South line of said alley to a point on the West Rights-of-way line of National Ave. 238 feet M/L South of the Southwest Corner of Walnut St. and National Ave., thence Easterly 80 feet M/L crossing National Ave. to the Southwest Corner of Lot 4 O.H. Mitchell Addition, thence East to a point 20 feet East of the Southwest Corner of Lot 3 O.H. Mitchell Addition, being a point on the South line of Lot 3 O.H. Mitchell Addition, thence North to a point 20 feet East of the Northwest Corner of Lot 3 O.H. Mitchell Addition, thence Northeasterly across Walnut St. to the Southeast Corner of Lot 10 Hawthorne Addition, thence North to a point on the South line of Lot 9 Hawthorne Addition, thence East to the Southeast Corner of Lot 9 Hawthorne Addition, thence North along the East line of Lots 9 through 4, Hawthorne Addition to the Northeast Corner of Lot 4 of Hawthorne Addition, also being the South Rights-of-way line of McDaniel St., thence West 166 feet M/L to the Northwest Corner of Lot 4 Hawthorne Addition, thence Westerly 80 feet M/L to the Northeast Corner of Lot 41 East Side Addition also being the Southwest Corner of McDaniel St. and National Ave., thence North 160 feet M/L to the Northeast Corner of Lot 27 East Side Addition, thence West to the Northwest Corner of said Lot 27, thence continue West 15 feet across the alley to the Northeast Corner of Lot 21 East Side Addition, thence South along the East line of Lots 21 and 22 in East Side Addition to and across McDaniel St. and continue South along the East line of Lots 35 through 40 of East Side Addition to the Southeast Corner of Lot 40 East Side Addition, thence West along the South line of Lot 40 East Side Addition, to and across Florence Ave. continuing West along South line of Lot 34 East Side Addition to and across Hampton Ave. to a point on the West Rights-of-way of Hampton Ave. 182 feet M/L North of the North Rights-of-way of Walnut St., thence North 18 feet along the West Rights-of-way of Hampton Ave., thence West 150 feet, to the East line of property described in Book 2703 Page 1103, thence North along the East property line of Book 2703 Page 1103 to the South Rights-of-way line of McDaniel St. as it now exists, thence West along the South Rights-of-way line of McDaniel St. 61.4 feet, thence South 207.6 feet, thence West 63 feet, Thence South 52 feet, thence West 419 feet M/L to a point on the East line of One Parkway Place 210 feet North of the North Rights-of-way line of Walnut St., thence South along the East line of One Parkway Place 210 feet to the North Rights-of-way of Walnut St. thence continuing South Across Walnut St. to a point on the South Rights-of-way of Walnut St. and the North line of Lot 10 of E.T. Robberson's Addition, thence West along the North line of Lots 6 through 10 of E.T. Robberson's Addition to the Point of Beginning. All in the City of Springfield, County of Greene, State of Missouri.

(Location: East Walnut Street - Hammons Parkway to a point east of National and north on National to a point north of McDaniel.)

SECTION 2 - The following sub-districts are hereby established within the Walnut Street-West Urban Conservation District, to be known as Sub Areas A & B which are described as follows:

**Sub Area A
Walnut Street Area**

Beginning at the Northwest Corner of Lot 6 E.T. Robberson's Addition, being the Southeast Corner of Walnut St. and John Q. Hammons Parkway, thence South along the East Rights-of-way of John Q. Hammons Parkway to the Northwest Corner of Lot 16 E.T. Robberson's Addition, being at a point on the South line of an existing 20 foot alley, thence East along the South line of said alley to a point on the West Rights-of-way line of National Ave. 238 feet M/L South of the Southwest Corner of Walnut St. and National Ave., thence Easterly 80 feet M/L crossing National Ave. to the Southwest Corner of Lot 4 O.H. Mitchell Addition, thence East to a point 20 feet East of the Southwest Corner of Lot 3 O.H. Mitchell Addition, being a point on the South line of Lot 3 O.H. Mitchell Addition, thence North to a point 20 feet East of the Northwest Corner of Lot 3 O.H. Mitchell Addition, thence Northeasterly across Walnut St. to the Southeast Corner of Lot 10 Hawthorne Addition, thence North to a point on the South line of Lot 9 Hawthorne Addition, thence East to the Southeast Corner of Lot 9 Hawthorne Addition, thence North to the Northeast corner of said Lot 9, thence West to the Northwest corner of said Lot 9, thence West across the National Avenue right-of-way to the Northeast corner of Lot 46 of East Side Addition, thence West along the North line of said Lot 46 and across a 15 feet wide alley to the Northeast corner of Lot 40 of East Side Addition, thence South along the East line of Lot 40 of East Side Addition to the Southeast Corner of Lot 40 East Side Addition, thence West along the South line of Lot 40 East Side Addition, to and across Florence Ave. continuing West along South line of Lot 34 East Side Addition to and across Hampton Ave. to a point on the West Rights-of-way of Hampton Ave. 182feet M/L North of the North Rights-of-way of Walnut St., thence North 18 feet along the West Rights-of-way of Hampton Ave., thence West 150 feet, to the East line of property described in Book 2703 Page 1103, thence North along the East property line of Book 2703 Page 1103 to the South Rights-of-way line of McDaniel St. as it now exists, thence West along the South Rights-of-way line of McDaniel St. 61.4 feet, thence South 207.6 feet, thence West 63 feet,. Thence South 52 feet, thence West 419 feet M/L to a point on the East line of One Parkway Place 210 feet North of the North Rights-of-way line of Walnut St., thence South along the East line of One Parkway Place 210 feet to the North Rights-of-way of Walnut St. thence continuing South Across Walnut St. to a point on the South Rights-of-way of Walnut St. and the North line of Lot 10 of E.T. Robberson's Addition, thence West along the North line of Lots 6 through 10 of E.T. Robberson's Addition to the Point of Beginning. All in the City of Springfield, County of Greene, State of Missouri.

**Sub Area B
National Avenue Area**

Beginning at the Southeast corner of Lot 8 of Hawthorn Addition, thence North along

the East line of Lots 8 through 4 of Hawthorne Addition to the Northeast Corner of Lot 4 of Hawthorne Addition, also being the South Rights-of-way line of McDaniel St., thence West 166 feet M/L to the Northwest Corner of Lot 4 Hawthorne Addition, thence Westerly 80 feet M/L to the Northeast Corner of Lot 41 East Side Addition also being the Southwest Corner of McDaniel St. and National Ave., thence North 160 feet M/L to the Northeast Corner of Lot 27 East Side Addition, thence West to the Northwest Corner of said Lot 27, thence continue West 15 feet across the alley to the Northeast Corner of Lot 21 East Side Addition, thence South along the East line of Lots 21 and 22 in East Side Addition to and across McDaniel St. and continue South along the East line of Lots 35 through 39 of East Side Addition to the Southeast Corner of Lot 39 East Side Addition, thence east across a 15 feet wide alley to the Southwest corner of Lot 45 of East Side Addition, thence continuing East to the Southeast corner of said Lot 45, thence East across National Avenue right-of-way to the Southwest corner of Lot 8 of Hawthorn Addition, thence east to the Point of beginning.

SECTION 3 - DISTRICT REGULATIONS

Notwithstanding any other provision of the Springfield City Code to the contrary, the following regulations shall govern and control the enforcement, administration, interpretation, and use and development of land throughout Urban Conservation District No. 1, known as the Walnut Street-West Urban Conservation District. Unless otherwise stated herein, the minimum requirements of the applicable underlying zoning district, the Zoning Ordinance and any other provision of the Springfield City Code shall be applicable to all properties within the Walnut Street-West Urban Conservation District.

A. PERMITTED USES.

The following uses shall be permitted in the Walnut Street-West Urban Conservation District except for those properties identified in Subsection 3.C.

1. Single-family-detached dwellings.
2. Single-family-semi-detached dwellings, in accordance with *Section 3-3100* of the Zoning Ordinance, Cluster ~~Subdivisions~~ Developments.
3. Townhouses containing no more than four (4) dwelling units.
4. Duplexes.
5. Multi-family dwellings.
6. Boarding and lodging houses.
7. Nursing homes.
8. Day care homes and group day care homes in accordance with Springfield City Code.
9. Group homes, custodial.
10. Public parking areas in accordance with Subsection 4.D. or 5.D. of this UCD, except parking designed for or used for parking of trucks having a capacity of 3/4 ton or larger or the chassis thereof, or a single unit with more than one rear drive axle shall not be permitted.
11. Community centers, nonprofit.
12. Little Theater group, or dramatic clubs.
13. Art galleries, libraries or museums.

14. Offices, administrative, business, financial and professional.
15. Schools and studios for art, dancing, drama, music, photography, interior decorating or similar courses of study.
16. Day care centers in accordance with Springfield City Code.
17. Zero-lot-line construction, in accordance with *Section 3-3200* of the Zoning Ordinance.
18. The following commercial uses shall be permitted in Contributing Buildings as established in Subsection 3.D. ~~of this UCD~~, provided the existing structure is preserved and was built before January 1, 1940; the goals of historic preservation are met; and any exterior modification to the property is consistent with the Secretary of Interior's Standards for Rehabilitation and the *Walnut Street Design Guidelines*. Commercial uses are limited to the following types:
 - a. Antique shops.
 - b. Book or stationary stores.
 - c. Clothing boutique or ready-to-wear shop.
 - d. Dry goods or notion stores.
 - e. Florist or gift shop.
 - f. Tailors.
 - g. Bed and breakfast inns.
19. Outdoor display and sales. Outdoor display and sales are permitted as an accessory use subject to the following conditions:
 - a. A permitted commercial use, as established in Subsection 3.A.18 of this ~~Ordinance~~UCD, shall be operating within the building or structure; and,
 - b. Outdoor display and sales shall be limited to the side and rear yard of a lot; and on a corner lot, outdoor display and sales shall be limited to the rear yard and any side yard that does not abut a street; and,
 - c. Outdoor display and sales shall not encroach within a side or rear yard setback, shall be located a minimum of ten feet behind the front building line and shall not encroach within any required vehicular use area; and,
 - d. Outdoor sales shall be limited to hours between sunrise and sunset; and,
 - e. Outdoor display and sales shall be limited to those items that would typically be displayed outdoors, including but not limited to: birdbaths, statuettes, outdoor furniture, plants, etc.; and,
 - f. Items for outdoor display and sales shall be stored in an organized manner and must be integrated as part of a plan that shall require the issuance of a Certificate of Appropriateness from the Landmarks Board; and,

- g. When considering the issuance of a Certificate of Appropriateness for outdoor display and sales areas, the Landmarks Board shall consider whether the proposal will detract from any element that promotes the historic context of the *Walnut Street National Historic District*; and will unduly impact any adjacent residential use by increasing noise, lighting or traffic directly associated with the commercial activity.
- 20. The following commercial uses shall be permitted for the properties commonly addressed as 1041 East Walnut Street, 1050 East Walnut Street, 1108 East Walnut Street, 1111 East Walnut Street, 1112 East Walnut Street, 1129 East Walnut Street, all being in Springfield, Greene County, Missouri, and more particularly described as:

Beginning on the north side of East Walnut Street, 974.3 feet west of the range line dividing Ranges 21 and 22, being the southeast corner of Moses Levy's lot; thence east 123.3 feet to the southeast corner of the W. H. Garrett lot for a beginning point; thence east 76 feet, thence north 200 feet; thence west 76 feet, thence south 200 feet to the point of beginning being a part of the southeast quarter (SE 1/4) of the northeast quarter (NE 1/4) Section 24, Township 29, Range 22.

All of Lot 10 and Lot 11 except the east 20 feet, Ad. E. Smith's Addition.

Lot 8, Ad. E. Smith's Addition.

Lot 49 East Side Addition.

Lot 7 and west twenty-four (24) feet and two (2) inches of Lot 6, Ad. E. Smith's Addition.

All of Lot 51 and Lot 52 except the east 17.5 feet, East Side Addition.

 - a. Temporary Outdoor Green Grocer's Market limited to daylight hours, four (4) days per week. Notwithstanding other provisions of Chapter 36 of the City Code prohibiting outdoor storage and display of goods for sale, such storage and sales shall be permitted, limited to flowers, potted plants, perishable vegetables and vegetative produce, craft items and baked goods, from portable stands, stalls, or hand carts located in the front yards. Sales from trucks or other vehicles are prohibited. No overnight storage of goods, stands, stalls, or hand carts is allowed from the front yard of any premises, and all goods, stands, stalls, and hand carts must be removed from the front yard by sundown of each day of operation.
- 21. Personal Service Establishments including beauty parlors, barber shops, dry cleaning and pick-up, shoe repair, self-service laundromats, express or mailing offices, hearing aid and eye glass shops, massage therapy and spas.

B. CONDITIONAL USES.

The following conditional uses may be permitted provided they meet the provisions of, and a Conditional Use permit is issued pursuant to *Section 3-3300* of the Zoning Ordinance; and, these uses shall only be permitted in a Contributing Building as established in Subsection 2.D. of this UCD, except for such accessory outdoor uses with conditions set forth below, provided the existing structure is preserved and was built before January 1, 1940; the goals of historic preservation are met; any exterior modification to the property is consistent with the Secretary of Interior's Standards for Rehabilitation and the *Walnut Street Design Guidelines*; a Certificate of Appropriateness has been issued by the Landmarks Board indicating approval of the work; the use does not create any amplified sound outside the Contributing Building; and the use is in compliance with the noise standards of ~~the~~ Section 6-1500 of Article I of the Land Development Code ~~the Zoning Ordinance~~ and Chapter 78, Article IV, Division 2, Section 78-112, Springfield City Code.

1. Restaurants (sit down or dine in), excluding drive-in and carry-out facilities, which restaurants may include outdoor dining as an accessory use to the main structure with the following limitations:
 - A. Outdoor dining shall be limited to the hours of 11:00 a.m. and 11:00 p.m.; and
 - B. All preparation of food for outdoor dining use shall be prepared in the Contributing Building approved for restaurant use; and
 - C. Accessory structures existing at the time of the passage of this ordinance shall be used only for storage and parking accessory to the use of the Contributing Building, and dining and beverage service, including the sale of alcohol, but in no event shall the accessory structure be used for food preparation; and
 - D. All outdoor activity shall cease at 11:00 p.m. other than routine ingress and egress from the Contributing Building.

C. USE GUIDELINES FOR 1200 AND 1201 EAST WALNUT.

The following use regulations shall apply for the properties commonly addressed as 1200 East Walnut and 1201 East Walnut, more particularly described as:

All of Lot 4 and the West 20 feet of Lot 3 in O. H. Mitchell's Addition plus all of Lot 10 in Hawthorn Addition, all in the City of Springfield, Greene County, Missouri.

1. The following uses shall be permitted.
 1. Single-family-detached dwellings.
 2. Single-family-semi-detached dwellings, in accordance with *Section 3-3100* of the Zoning Ordinance, Cluster ~~Subdivisions~~ Developments.
 3. Townhouses containing no more than four (4) dwelling units.

4. Duplexes.
 5. Multi-family dwellings.
 6. Boarding and lodging houses.
 7. Nursing homes.
 8. Day care homes and group day care homes in accordance with Springfield City Code.
 9. Group homes: custodial.
2. The following conditional uses may be permitted provided they meet the provisions of, and a Conditional Use permit is issued pursuant to Section 3-3300 of the Zoning Ordinance. These uses shall only be permitted in a Contributing Building as established in Subsection 3.D. of this UCD, provided the existing structure is preserved and was built before January 1, 1940; the goals of historic preservation are met; and any exterior modification to the property is consistent with the Secretary of Interior's Standards for Rehabilitation and the *Walnut Street Design Guidelines*; and a Certificate of Appropriateness has been issued by the Landmarks Board indicating approval of the proposed work.
- a. Public parking areas, in accordance with Subsection 4.D. or 5.D. of this UCD.
 - b. Antique shops.
 - c. Bed and breakfast inns.
 - d. Book or stationary stores.
 - e. Clothing boutique or ready to wear shop.
 - f. Community centers, nonprofit.
 - g. Dry goods or notion stores.
 - h. Florist or gift shop.
 - i. Little Theater group, or dramatic clubs.
 - j. Art galleries museums or libraries.
 - k. Offices, administrative, business, financial and professional.
 - l. Schools and studios for art, dancing, drama, music, photography, interior decorating or similar courses of study.
 - m. Tailors.
 - n. Day care centers in accordance with Springfield City Code.
 - o. Zero-lot-line construction, in accordance with *Section 3-3200* of the Zoning Ordinance.

D. CONTRIBUTING BUILDINGS.

For purposes of this ordinance, Contributing Buildings shall be determined in accordance with the *Walnut Street Historic District National Register of Historic Places Nomination* as officially listed in the National Register of Historic Places on March 21, 1985, and incorporating any amendments of said nomination.

E. CERTIFICATE OF ECONOMIC HARDSHIP.

The standards contained in *Section 4-2404* of the Zoning Ordinance, and typically applicable to a Historic Landmark and Historic Districts, shall be applicable to any site or parcel in the Walnut Street-West Urban Conservation District.

F. ADDITIONAL STANDARDS REGARDING CERTIFICATES OF APPROPRIATENESS AND ECONOMIC HARDSHIP.

All sites and parcels within the Walnut Street-West Urban Conservation District and subject to the issuance of Certificates of Appropriateness and Economic Hardship shall also be subject to the standards contained in *Sections 4-2405, 4-2406, 4-2407 and 4-2408* of the Zoning Ordinance.

G. REFUSE STORAGE.

In addition to the standards of Subsection 6-1002.B of the Zoning Ordinance, refuse storage shall adhere to the following:

Waste cans, dumpster units, or other forms of litter control and refuse disposal devices, approved for use in the City of Springfield, shall be placed on the site in a location where they are least visible from a public right-of-way other than alleys. Each litter control or refuse device shall be enclosed so that no part of the device shall be visible from public right-of-way (except alleys) or from adjoining properties.

H. MINIMUM MAINTENANCE REQUIREMENTS.

1. Every owner, and every person in actual possession of property in the district, shall keep all interior and exterior portions of buildings and other structures in good repair.
 - a. Public areas. All sidewalks leading to a building, steps, driveways, parking spaces, and similar paved areas for public use shall be kept in a proper state of repair. If any sidewalk or driveway or portion thereof by virtue of its state of repair shall constitute a danger to public health and safety, the sidewalk or driveway or portion thereof shall be replaced.
 - b. Structural members. All supporting structural members of all structures shall be kept structurally sound, free of deterioration, and maintained capable of safely bearing the dead and live loads imposed upon them.
 - c. Exterior surfaces (foundations, walls, and roof). Every foundation, exterior wall, roof, and all other exterior surface shall be maintained in

a workmanlike state of maintenance and repair.

- d. Foundation walls. All foundation walls shall be maintained so as to carry the safe design and operating dead and live loads and shall be maintained plumb and free from open cracks and breaks, so as not to be detrimental to public safety and welfare.
- e. Exterior walls. Every exterior wall shall be free of holes, breaks, loose or rotting boards or timbers, and any other conditions which might admit rain or dampness to the interior portions of the walls or to the occupied spaces of the building. All exterior surface materials shall be maintained weatherproof and shall be properly surface coated when required to prevent deterioration.
- f. Roofs and drainage. The roof shall be structurally sound, tight, and not have defects which might admit rain. Roof drainage shall be adequate to prevent rain water from causing dampness or deterioration in the walls or interior portion of the building. Roof water shall not be discharged in a manner that creates a nuisance to owners or occupants of adjacent premises or that creates a public nuisance.
- g. Decorative features. All cornices, entablatures, belt courses, corbels, terra cotta trim, wall facings, and similar decorative features shall be maintained in good repair with proper anchorage and in a safe condition.
- h. Signs and awnings. All canopies, signs, awnings, stairways, fire escapes, exhaust ducts, and similar overhang extensions shall be maintained in good repair and be properly anchored so as to be kept in a safe and sound condition. They shall be protected from the elements and against decay and rust by the periodic application of a weather-coating material such as paint or other protective treatment.
- i. Chimneys. All chimneys and similar appurtenances shall be maintained structurally safe, sound, and in good repair. All exposed surfaces of metal or wood shall be protected from the elements and against decay or rust by periodic application of weather-coating materials such as paint or similar surface treatment.
- j. Stairs and porches. Every stair, porch, fire escape, balcony, and all appurtenances attached thereto shall be so constructed as to be safe to use and capable of supporting the anticipated loads and shall be maintained in sound condition and good repair.
- k. Window and door frames. Every window, door, and frame shall be constructed and maintained in such relation to the adjacent wall construction so as to exclude rain as completely as possible, and to substantially exclude wind from entering the dwelling or structure.

- l. Weather tight. Every window and exterior door shall be fitted reasonably in its frame and be weather tight. Weather stripping shall be used to exclude wind or rain from entering the dwelling or structure and shall be kept in sound condition and good repair.
 - m. Glazing. Every required window sash shall be fully supplied with approved glazing materials which are without open cracks and holes.
 - n. Door hardware. Every exterior door and its hardware shall be maintained in good condition. Door locks on all doors entering dwelling units shall be in good repair and capable of tightly securing the door.
 - o. Basement hatchways. Every basement hatchway shall be so constructed and maintained as to prevent the entrance of rats, rain, and surface drainage water into the structure.
 - p. Grading and drainage. All premises shall be graded and maintained so as to prevent the accumulation of stagnant water thereon, or within any structure located thereon. Stagnant water shall be determined as any accumulation that has not dispersed within seven days of the last recorded local rainfall.
 - q. Accessory structure. All accessory structures, including detached garages, fences, and walls, shall be maintained structurally sound and in compliance with subparagraphs a-p of Subsections this paragraph 3.H.1-a. through 3.H.1-p.
- 2. The Landmarks Board may refer violations of this section to the Director of Building Development Services for purposes of conducting such inspections and enforcement proceedings as the Director of Building Development Services may deem appropriate so that the building or structure may be preserved in accordance with the purposes of this ordinance.
 - 3. The provisions of this section shall be in addition to all other applicable provisions of the Springfield City Code relating to the construction and maintenance of buildings and structures.

SECTION 4 – AREA A REGULATIONS

A. SITE PLANS.

Any development or use requiring a site plan pursuant to *Section 3-3000* of the Zoning Ordinance, and located within the Walnut Street-West UCD, must first acquire a Certificate of Appropriateness, when required, from the Landmarks Board

in accordance with Subsection 4.B. immediately below. Site plans may also be subject to conditions by City Council in order to promote the intent of the *Walnut Street Preservation Plan*.

B. CERTIFICATE OF APPROPRIATENESS.

The standards contained in Section 4-2403 of the Zoning Ordinance, and typically applicable to a Historic Landmark and Historic Districts, shall be applicable to any site or parcel in the Walnut Street-West Urban Conservation District, unless otherwise modified herein.

1. When Required. A Certificate of Appropriateness shall be required in accordance with the standards contained in Section 4-2403-A of the Zoning Ordinance with the following modification:
 - a. Section 4-2403-A-2 shall be applicable to structures as specified in the *Walnut Street Design Guidelines* or *Historic Survey* conducted in the Walnut Street-West Urban Conservation District.
2. Review Criteria. The Board, in considering whether or not to issue a Certificate of Appropriateness, shall be guided by the standards contained in Section 4-2403-D of the Zoning Ordinance with the following modifications:
 - a. The *Walnut Street Design Guidelines* which are on file with the Director of Planning and Development shall be used to fulfill the standard referenced in Section 4-2403-D-2 of the Zoning Ordinance.
 - b. For demolition, the Board shall also consider the standards contained in Section 4-2403-D-4 with the following additions and modifications:
 1. The visual and spatial relationship of the structure to its surroundings and to the rest of the Walnut Street Urban Conservation District - West.
 2. The Board shall consult the *Walnut Street Historic Survey*, the *Walnut Street Historic District National Register Nomination* and/or the *Walnut Street Preservation Plan* in addition to those items contained in Section 4-2403-D-4-b of the Zoning Ordinance.
 3. The alternatives available to the demolition applicant including:
 - a. Donation of the subject structure or site to a public or benevolent agency.
 - b. Donation of a part of the value of the subject structure or site to a public or benevolent agency, including the

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conveyance of development rights and facade easements.

c. The possibility of sale of the structure or site, or any part thereof, to a prospective purchaser capable of preserving such structure or site.

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d. The potential of such structure or site for renovation and its potential for continuing use.

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4. The Board shall balance the interest of the public in preserving the structure, site, or portion thereof and the interest of the owner in its utilization.

3. Demolition of Contributing Buildings. The standards contained in Section 4-2403-H-G-4 of the Zoning Ordinance shall not be applicable to the Walnut Street-West Urban Conservation District. Notwithstanding any other provisions of this ordinance to the contrary, demolition of a Contributing Building as defined in Subsection 3.D. of this ordinance shall occur only in accordance with the provisions of this section. Demolition of a Contributing Building in the Walnut Street Urban Conservation District - West constitutes an irreplaceable loss to the quality and character of the district and the City of Springfield. No permit shall be issued for demolition of a Contributing Building unless a Certificate of Economic Hardship has been issued by the Board verifying that the structure has degenerated beyond feasible limits for rehabilitation, or that rehabilitation is impracticable and there is an economic hardship.

Comment [d1]: Probably, the most significant change proposed, because Section 4-2403-H does not have any standards and only refers to the Board's Action during Demolition Delay.

C. SIGNS.

All signage shall meet the standards of *Section 5-1400* of the Zoning Ordinance unless otherwise modified herein:

1. Number. Each premise shall be permitted one (1) detached sign and shall also be permitted either one (1) projecting sign or one (1) wall sign.
2. Size. A maximum of sixteen (16) square feet of background area shall be permitted for each attached or detached sign. Detached signs may be two sided, each side not to exceed sixteen (16) square feet. A single-sided detached sign shall not exceed sixteen (16) square feet.
3. Height. No part of a detached sign shall exceed a height of five (5) feet above the ground area upon which it is located.
4. Sign Lighting. No sign shall use a blinking, flashing, animated, or other illuminating device which changes in light intensity. No beacons or strobe lights shall be permitted.

5. Sign Types. Signs shall only refer to a business, person, activity, goods, products, or service located on the premises where the sign is installed and maintained. Temporary signs shall not be permitted.
6. Exempt Signs. Those signs set forth below shall also be permitted.
 - a. Address Numbers and Name Plates. Address numbers for each residential building not exceeding one (1) square foot in effective area and one name plate not exceeding two (2) square feet in effective area per dwelling unit or business.
 - b. Banner Signs. One sign composed of highly flexible lightweight material, such as a banner, per business premise, which is not over four (4) square feet in effective area, posted for not more than thirty (30) days per year.
 - c. Directional Signs. Detached on-premise directional signs which do not exceed five (5) square feet in effective area. Any logo, business name, product, or service identification, or other advertising shall not exceed twenty percent (20%) of the effective area. No part of the sign shall exceed four (4) feet in height above street grade or four (4) feet in height above the lowest level of the ground under the sign if elevation of premise at sign location is more than twelve (12) inches above street grade, excluding berms or other landscaping features. A Certificate of Appropriateness must be issued prior to installation of directional signs.
 - d. Flag. A flag or similar device identifying any person.
 - e. Government Signs. Any sign erected or maintained by or for any agency or government pursuant to and in discharge of any governmental function or required or authorized by law, ordinance, or governmental regulations.
 - f. Internal Signs. Any one-premise sign, the copy of which cannot be viewed from a street right-of-way or adjoining property.
 - g. Neighborhood Identifications Signs. A sign, masonry wall, landscaping or other similar material or features which are combined to form a display for neighborhood or tract identification, provided that the legend of such display shall consist of only the neighborhood, tract name, or historic district. A Certificate of Appropriateness must be issued prior to installation of neighborhood identification signs.
 - h. Real Estate Sale, Lease, And Construction Signs. Non-illuminated temporary on-premise signs pertaining to the construction, sale, or lease of that premise, not to exceed six (6) square feet in effective area. Such signs shall be removed within fourteen (14) days after the closing of the sale or lease or within thirty (30) days after the issuance

of an occupancy permit or erection of a permanent sign, whichever occurs first.

i. Miscellaneous Exempt Signs.

1. A temporary sign not exceeding four (4) square feet in background area advertising drives or events of a civic, philanthropic, educational, religious, political, or similar nature, provided that said sign is posted only during said drive or event for no more than thirty (30) days per year and is removed within twenty-four (24) hours after an event.
2. Attached incidental sign, which pertains to goods, products, services, or facilities that are available on the premises where the sign is located, but only tangentially related to the main activities or purposes of the business, not exceeding a total of four (4) square feet in effective area per business.

D. OFF-STREET PARKING REQUIREMENTS.

All uses shall provide off-street parking in accordance with *Section 5-1500* of the Zoning Ordinance, unless the contributing structure is intact, whereas *Section 5-1500* of the Zoning Ordinance is otherwise modified herein:

1. Parking Spaces Required.

- a. Non-residential uses shall have at least one (1) parking space for each three hundred fifty (350) square feet of gross leasable area, excluding outdoor display and sales areas. However, parking requirements may be reduced for uses that demonstrate ~~a~~ sensitivity to historic preservation. The applicant may submit a parking plan to the Administrative Review Committee for modification to the requirements. The Administrative Review Committee shall consult with the Landmarks Board for overall sensitivity to historic preservation.
- b. Residential uses shall have at least one and one-half (1.5) parking spaces for each dwelling unit.

2. Parking Lot Surface. Parking lots and driveways shall be surfaced with ~~either asphalt~~ asphalt, concrete or pavers so as to provide a permanent surface capable of withstanding the type of vehicular traffic to which such area is likely to be subjected.

SECTION 5 – AREA B REGULATIONS.

A. SITE PLANS.

All development and uses shall comply with the site plan requirements of *Section 3-3000* of the Zoning Ordinance.

B. CERTIFICATE OF APPROPRIATENESS.

1. When Required. A Certificate of Appropriateness shall be required when a contributing structure is proposed to be demolished.
2. Review Criteria. The Board, in considering whether or not to issue a Certificate of Appropriateness, shall be guided by the ~~standards-review criteria~~ contained in Section 4-2403-D-4 of the Zoning Ordinance with the following modifications:
 - a. For demolition, the Board shall also consider the standards contained in Section 4-2403-D-4 with the following additions and modifications:
 1. The visual and spatial relationship of the structure to its surroundings and to the rest of the Walnut Street Urban Conservation District - West.
 2. The Board shall consult the *Walnut Street Historic Survey*, the *Walnut Street Historic District National Register Nomination* and/or the *Walnut Street Preservation Plan* ~~in addition to those items contained in Section 4-2403-D-4-b of the Zoning Ordinance.~~
 3. The alternatives available to the demolition applicant including:
 - a. Donation of the subject structure or site to a public or benevolent agency.
 - b. Donation of a part of the value of the subject structure or site to a public or benevolent agency, including the conveyance of development rights and facade easements.
 - c. The possibility of sale of the structure or site, or any part thereof, to a prospective purchaser capable of preserving such structure or site.
 - d. The potential of such structure or site for renovation and its potential for continuing use.
 4. The Board shall balance the interest of the public in preserving the structure, site, or portion thereof and the interest of the owner in its utilization.

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3. Demolition of Contributing Buildings. The standards contained in Section 4-2403-H-G-4 of the Zoning Ordinance shall not be applicable to the Walnut Street-West Urban Conservation District. Notwithstanding any other provisions of this ordinance to the contrary, demolition of a Contributing Building as defined in Subsection 23.D. of this ordinance shall occur only in accordance with the provisions of this section. Demolition of a Contributing Building in the Walnut Street Urban Conservation District - West constitutes an irreplaceable loss to the quality and character of the district and the City of Springfield. No permit shall be issued for demolition of a Contributing Building unless a Certificate of Economic Hardship has been issued by the Board verifying that the structure has degenerated beyond feasible limits for rehabilitation, or that rehabilitation is impracticable and there is an economic hardship.

C. SIGNS.

All signage shall meet the standards of *Section 5-1400* of the Zoning Ordinance unless otherwise modified herein:

1. Number. Each premise shall be permitted one (1) detached sign and shall also be permitted either one (1) projecting sign or one (1) wall sign.
2. Size. A maximum of fifty (50) square feet of background area shall be permitted for each attached or detached sign. Detached signs may be two sided, each side not to exceed fifty (50) square feet. A single-sided detached sign shall not exceed fifty (50) square feet.
3. Height. No part of a detached sign shall exceed a height of ten (10) feet above the ground area upon which it is located.
4. Sign Lighting. No sign shall use a blinking, flashing, animated, or other illuminating device which changes in light intensity. No beacons or strobe lights shall be permitted.
5. Sign Types. Signs shall only refer to a business, person, activity, goods, products, or service located on the premises where the sign is installed and maintained. Temporary signs shall not be permitted.
6. Exempt Signs. Those signs set forth below shall also be permitted.
 - a. Address Numbers and Name Plates. Address numbers for each residential building not exceeding one (1) square foot in effective area and one name plate not exceeding two (2) square feet in effective area per dwelling unit or business.
 - b. Banner Signs. One sign composed of highly flexible lightweight material, such as a banner, per business premise, which is not over

four (4) square feet in effective area, posted for not more than thirty (30) days per year.

- c. Directional Signs. Detached on-premise directional signs which do not exceed five (5) square feet in effective area. Any logo, business name, product, or service identification, or other advertising shall not exceed twenty percent (20%) of the effective area. No part of the sign shall exceed four (4) feet in height above street grade or four (4) feet in height above the lowest level of the ground under the sign if elevation of premise at sign location is more than twelve (12) inches above street grade, excluding berms or other landscaping features. A Certificate of Appropriateness must be issued prior to installation of directional signs.
- d. Flag. A flag or similar device identifying any person.
- e. Government Signs. Any sign erected or maintained by or for any agency or government pursuant to and in discharge of any governmental function or required or authorized by law, ordinance, or governmental regulations.
- f. Internal Signs. Any one-premise sign, the copy of which cannot be viewed from a street right-of-way or adjoining property.
- g. Neighborhood Identifications Signs. A sign, masonry wall, landscaping or other similar material or features which are combined to form a display for neighborhood or tract identification, provided that the legend of such display shall consist of only the neighborhood, tract name, or historic district. A Certificate of Appropriateness must be issued prior to installation of neighborhood identification signs.
- h. Real Estate Sale, Lease, And Construction Signs. Non-illuminated temporary on-premise signs pertaining to the construction, sale, or lease of that premise, not to exceed six (6) square feet in effective area. Such signs shall be removed within fourteen (14) days after the closing of the sale or lease or within thirty (30) days after the issuance of an occupancy permit or erection of a permanent sign, whichever occurs first.
- i. Miscellaneous Exempt Signs.
 - 1. A temporary sign not exceeding four (4) square feet in background area advertising drives or events of a civic, philanthropic, educational, religious, political, or similar nature, provided that said sign is posted only during said drive or event for no more than thirty (30) days per year and is removed within twenty-four (24) hours after an event.
 - 2. Attached incidental sign, which pertains to goods, products, services, or facilities that are available on the premises where

the sign is located, but only tangentially related to the main activities or purposes of the business, not exceeding a total of four (4) square feet in effective area per business.

D. OFF-STREET PARKING REQUIREMENTS.

All uses shall provide off-street parking in accordance with *Section 5-1500* of the Zoning Ordinance, unless the contributing structure is intact, whereas *Section 5-1500* of the Zoning Ordinance is otherwise modified herein:

1. Parking Spaces Required.
 - a. Non-residential uses, except restaurant uses which shall follow the Zoning Ordinance requirements, shall have at least one (1) parking space for each three hundred fifty (350) square feet of gross leasable area, excluding outdoor display and sales areas. However, parking requirements may be reduced for uses that demonstrate ~~a~~ ~~sensitivity~~sensitivity to historic preservation. The applicant may submit a parking plan to the Administrative Review Committee for modification to the requirements.
 - b. Residential uses shall have at least one and one-half (1.5) parking spaces for each dwelling unit.
2. Parking Lot Surface. Parking lots and driveways shall be surfaced with ~~either asphalt~~asphalt, concrete or pavers so as to provide a permanent surface capable of withstanding the type of vehicular traffic to which such area is likely to be subjected.

SECTION 6 - DEFINITIONS.

The Walnut Street-West Urban Conservation District shall be subject to all applicable definitions found in Division II of the Zoning Ordinance. Any definition found in Division II of the Zoning Ordinance and referencing historic structures, Historic Sites, Historic Landmarks or Historic Districts shall also be deemed applicable to any building or property within the Walnut Street-West Urban Conservation District.