



LANDMARKS BOARD

CITY OF SPRINGFIELD
P.O. BOX 8368
SPRINGFIELD, MISSOURI 65801
417-864-1031

City of Springfield

INTEROFFICE MEMORANDUM

DATE: February 13, 2014

RE: Landmarks Board meeting

Please find attached the agenda for the Landmarks Board meeting on **February 19, 2014**. A tour will be held on Wednesday afternoon at 4:30 p.m. We will meet in front of the Busch Municipal Building.

A handwritten signature in cursive script, reading 'Daniel Neal', written over a horizontal line.

Daniel Neal
Senior Planner

Landmarks Board

City of Springfield - Historic City Hall - Council Chambers
830 Boonville Avenue

February 19, 2014

5:30 p.m.



Laurel Bryant
Real Estate Representative
Chair

Monica Stegall
Commercial Street
Representative
Vice-Chair

David Eslick
Historian Representative

Ann Bayliff
At-Large Representative

Len Eagleburger
At-Large Representative

Gary Bishop
Walnut Street Representative

David Brown
Mid-Town Representative

Joel Thomas
Architect Representative

- I Roll Call**
- II Minutes**
 - A. December 4, 2013**
- III Unfinished Business**
 - A. Certificate of Appropriateness**
 - 1. 1110 N. Jefferson: Demolish historic structure**
 - B. Certified Local Government Review**
 - C. Pre-Application Review**
- IV New Business**
 - A. Certificates of Appropriateness**
 - 1. 1108 E. Walnut: Construct a new sign along Walnut Street**
 - 2. 224 E. Commercial: Construct a new garage addition**
 - B. Certified Local Government Review**
 - C. Pre-Application Review**
- V Communications**
- VI Reports**
 - A. Report on committees**
 - 1. Application**
 - 2. Demolition**
 - 3. Historic Sites and Districts**
 - a. Mid-Century Modern – Potential Historic Structures**
 - 4. Communications**
 - 5. Awards and Recognition**
 - a. Historic Preservation Month (May)**
 - 6. Design Guidelines**
 - a. Commercial Street Design Guidelines**
 - B. Administrative approval of C of A's**
- VII Any other matters that fall under the jurisdiction of the Board**
- VIII Adjournment**

Note: In accordance with ADA guidelines, if you need special accommodations when attending any City meeting, please notify the City Clerk's office at 864-1443 at least 3 days prior to the scheduled meeting.

MINUTES OF THE LANDMARKS BOARD

DATE: December 4, 2013

TIME: 5:30 pm

The regular meeting and public hearing of the Landmarks Board was held on the above date and time in City Council Chambers, third floor of Historic City Hall with the following members and City of Springfield staff in attendance: David Eslick (Chair), Laurel Bryant, Ann Bayliff, Len Eagleburger, Monica Stegall, David Brown, and Joel Thomas; Daniel Neal, Senior Planner, Duke McDonald, Assistant City Attorney; Sandy Goddard Administrative Assistant. Absent: Todd Smith.

ROLL CALL:

APPROVAL OF MINUTES: The minutes of October 30, 2013 were approved unanimously with changes.

NEW BUSINESS:

COMMUNICATIONS:

Any other matters that fall under the jurisdiction of the Board

1. 2014 Chair and Vice-Chair Nominations

Mr. Eslick noted Ms. Monica Stegall has been elected as Vice-Chair and has no opposition and is automatically elected, but it will require a vote by the Board.

The nomination for Vice-Chair of Monica Stegall was unanimous.

Mr. Eslick called for secret ballot as there are two members nominated for Chair, Laurel Bryant and Ann Bayliff.

By a vote of four (4) to three (3), Ms. Laurel Bryant was elected as Chair of the Landmarks Board.

Mr. Neal noted that the Board might want to start working on the Commercial Street Design Guidelines as a long term project and Mr. McDonald can express his opinion. Mr. Neal stated that he has done some research on the Historic District Development Plan which includes the Commercial Street Design Guidelines and in July 1982 it was prepared by a company out of Kansas City. The draft plan was prepared and submitted for review by the Commercial Club and eventually in October 1982 the Planning and Zoning Commission and Landmarks Board, or the Historic Districts Board, at that time, both approved the plan. It was forwarded on to City Council from the implementation plan that is shown in the minutes but Mr. Neal stated he cannot find any information that City Council ever approved this Historic District

Development Plan as part of the Master Plan for Springfield. Mr. Neal stated there is more research to be done and if the vote was delayed for a time.

Ms. Stegall stated that Ms. Collette is on the committee to refresh the guidelines and she doesn't remember.

Mr. McDonald stated that he recommends that Ms. Stegall get with the committee and redline all the changes they recommend and present it to the Landmarks Board and if it is determined to accept the changes, then a resolution will be passed to that effect and forwarded to the Planning and Zoning Commission and City Council to amend the guidelines.

Mr. Neal stated that if they come upon anything in the meantime that Council did approve this as part of the master plan they can go from there, but it's all microfilm now. Ms. Mary Lilly Smith has said that she thought it was approved by City Council, but she could not remember as it has been approximately twenty-five (25) years.

Mr. Eslick stated that there are people they can check with to verify the information.

Mr. Neal stated that because the implementation process was to take it to Council, he would say that the Landmarks Board should do the same.

Mr. Eslick stated that if they change the guidelines, it has to go forward to City Council anyway. Mr. Eslick asked if the document with the Commercial Street name on it is the report of the review board and is that where the Commercial Street Guidelines came from that study.

Mr. Neal stated yes, this is the entire plan for the District including the guidelines.

Ms. Stegall noted that Mr. Neal had located the digital file as well of the guidelines.

Mr. Neal clarified that there is a way they can redline the guidelines because it is in a word document. Mr. Neal stated that the first thing is to see what the group comes up with, discuss it as there has to be a public hearing here with the Landmarks Board because we are making a recommendation that goes forward, so we would first want to see what the changes are and iron out the details.

Ms. Stegall stated the group is proposing to give it a new look with imagery and a layout. There are specific portions that they want to add to and they are not removing anything, going into more detail and example images and such. They also discussed having workshops with the Commercial Club and inviting the public.

Mr. Eslick stated they still have workshop to do with Missouri Preservation and May is Preservation month. Mr. Eslick stated that he will take on the project of doing a display and could work with realtors and neighborhoods.

Ms. Bryant asked what a 106 Review is.

Mr. Neal stated a 106 review is Federal Guidelines on analysis and documentation of structures and Historic Preservation.

Mr. Neal stated he would put that on the agenda and then we can give a progress report at the meetings.

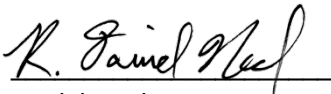
Mr. Eslick updated the Board about the house that the Springfield Public School is going to demolish. Mr. Straw from Building Development Services determined that the house is so deteriorated that there is not a way to restore the structure.

Mr. Neal stated that the School took the Mid Town group though the structure as well and Mid Town and will come back with a response and the School will come back to the Board with their final report and final decision on the demolition permit.

Ms. Stegall stated she has put together a document of some of the buildings she was hoping to nominate, asking if it could be put on the agenda at a later date for discussion.

Mr. Neal noted that he had noticed that some of the structures are not at the fifty (50) year mark, so there can be discussion on what to do with those.

There being no further business, the meeting was adjourned at 6:10 p.m.


Daniel Neal



LANDMARKS BOARD

CITY OF SPRINGFIELD
P.O. BOX 8368
SPRINGFIELD, MISSOURI 65801
417-864-1031

STAFF REPORT

HISTORIC SITE

DATE: July 3, 2013

PROPOSAL:

1. Demolish historic structure.

BACKGROUND:

LOCATION: 1110 N. Jefferson Avenue

HISTORIC DESIGNATION: Historic site – Collins/Culler House

APPLICANT: Springfield Public Schools

RECOMMENDATION:

Staff recommends the applicant pursue other alternatives before demolition of the structure.

FINDINGS:

1. The Collins/Culler House at 1110 N. Jefferson Avenue is considered a contributing structure in the Midtown National Historic District and is a registered local historic site.
2. The City has not found where the applicant has requested to acquire and change the use of the property.

PROJECT COORDINATOR:
Daniel Neal
Senior Planner
864-1036

ATTACHMENT A
BACKGROUND REPORT
Historic Site
1110 N. Jefferson

APPLICANT'S PROPOSAL:

The applicant is requesting to demolish the existing historic structure and expand the Central High School off-street parking lot. The applicant says that the structure is currently in a state of disrepair.

STAFF COMMENTS:

1. The Landmarks Subsection 4-2403.H. of the Zoning Ordinance regarding the Board's action during demolition delay recommends that the Board shall take such steps as it deems necessary to preserve the structure concerned in accordance with the purposes of this section. Such steps shall include, but shall not be limited to, consultation with civic groups, public agencies, and interested citizens, recommendations for acquisition of property by public or private bodies or agencies and exploration of the possibility of moving one or more structures or other features to an appropriate location with respect to the integrity of the structure or features. However, because this is only classified as a local historic site, a demolition permit will be issued to the applicant, even if the Board denies the application, sixty (60) days from the date of the application for the demolition permit
2. The Springfield School District applied for a demolition permit on June 20th and the board has sixty (60) days to pursue alternatives or approve the demo. Building Development Services has deemed this structure a Dangerous Building.
3. The City has not found a master plan amendment or property acquisition that has been approved by City Council or Planning and Zoning Commission which is required prior to a change of use as proposed.

ATTACHMENT B
PERTINENT DESIGN GUIDELINES
Historic Site
1110 N. Jefferson

ZONING ORDINANCE

The Board has the authority to approve or disapprove the proposed application. A building permit will be issued to the applicant, even if the Board denies the application, sixty (60) days from the date of the application for the building/demolition permit.

SECRETARY OF THE INTERIOR'S STANDARDS:

The following standards would apply to the proposed application:

2. The historic character of a property shall be retained and preserved. The removal of historic materials or alterations of features and spaces that characterize a property shall be avoided.
4. Most properties change over time; those changes that have acquired historic significance in their own right shall be retained and preserved.
5. Distinctive features, finishes, and construction techniques or examples of craftsmanship that characterize a property shall be preserved.
9. New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.

ATTACHMENT C
ARCHITECTURAL SIGNIFICANCE
Historic Site
1110 N. Jefferson

1. The house was constructed around 1894 by Tom Collins, weather observer for the U.S. Weather Bureau. George Culler and Caroline Schmook married and purchased the house in 1900. George was an engineer and was the Greene County surveyor 1908-12 and Mayor of Springfield 1912-14. Caroline lived in the house until 1972.
2. The site was nominated to the local historic register by City Council on March 26, 1990.
3. The brief description of the local nomination for the Collins/Culler House states:

Queen Anne details are used on this on and on-half story house. Chamfered corners are used on the projecting gables on the front and south side. Decorative brackets and drop pendants are located at the top of the chamfered corners and a sunburst pattern and decorative bargeboards are used in both gable fields. Small gable dormers have decorative cutout trim boards. The rear portion of the house appears to be older than the main structure because it has four-over-four light windows and the flooring uses six inch wide planks.



Office Use Only

Date Filed: _____

Received By: _____

Review:

☐ Administrative

☐ Landmarks Board

Application for Certificate of Appropriateness

City of Springfield, Missouri

The applicant seeks to show the following.

1. That the proposed work will be done in conformance with the Secretary of Interior's Standards for Rehabilitation.
2. That the proposed work will be done in conformance with any applicable design guidelines or standards that the Landmarks Board has established and adopted. (Commercial Street and Walnut Street Districts and Mid-Town Neighborhood historic sites only).
3. That the proposed work will be done in conformance with all other relevant requirements of the Springfield Zoning Ordinance.

THEREFORE, applicant requests that the Certificate of Appropriateness be approved for the property as proposed in this submittal.

We, the signers of this application, do attest to the truth and correctness of all facts and information presented with this application and understand that, if approved, all work must be done under a building permit issued by the Department of Building Development Services. Approval of this application does not constitute approval of a building permit, nor does it certify that the zoning is appropriate for the proposed uses. These are separate processes that must be initiated by the applicants. We further understand that approval of this application does not constitute approval for tax certification under the Tax Reform Act of 1986 or amendments thereto.

Signature(s) Date:

x [Signature]
[Signature]

x 6/26/13
6/26/13

Please type or print name(s) clearly:

x Norman F. REEDER

Mike Tomblason

Exhibit A.

Request for Certificate of Appropriateness

Please use this form only. Form may be photocopied. Please type or print.

For instructions, see pages 5-8.

1. PROPERTY ADDRESS:

1110 N. JEFFERSON AVE.

2. APPLICANT:

Name(s): SPRINGFIELD PUBLIC SCHOOLS R-12

If corporation: Corporate official: _____

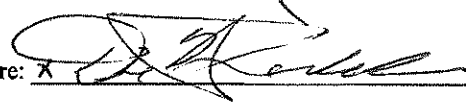
(corporate seal)

Mailing address: 1359 E. ST. LOUIS, SPFD, MO Zip Code: 65802

Telephone number: 523-0159 Fax number: 895-2007

e-mail: _____

3. AUTHORIZED REPRESENTATIVE: (The representative should have the authority to commit the applicant to changes that may be suggested by the Board).

Name: NORMAN F. PIPER Signature: X 

Address: 1359 E. ST. LOUIS, SPFD MO 65802 Telephone: _____ Fax: _____

e-mail: _____

4. BUILDING DEVELOPMENT SERVICES DISCUSSION: (Before submitting this application, the applicant should discuss the project with BDS. Their phone number is 864-1055.)

Date of discussion: 6/26/13

NOTE: The property owner must either sign this application or give City staff a power of attorney showing that another person is authorized to sign.

→ Mike Tomblinson 
1458 E. CHESTNUT EXPY. SPFD. MO 65802
T: 523-0411
F: 523-0495
mtomblinson@spsmail.org

Exhibit B.

Description of Proposed Work & Supporting Information

Please use this form only. Form may be photocopied. Please type or print.

1. TYPE OF WORK PROPOSED: *(Check all that apply. All work items require a written description of the proposed work. Additional required supporting information is denoted after each item and must be attached. See Instructions, page 5. Maximum size for drawings: 11 x 17 inches. NOTE: Even though you check the "Other" or the "New Construction" box, you must still give information on individual features such as windows, doors, etc., included in a large project.)*

- | | | |
|---|--|---|
| ☐ Addition (1, 2, 3, 7) | ☐ Handicapped Ramp (1, 2, 3) | ☐ Sidewalk (1, 3) |
| ☐ Awnings (2, 3, 4 or 5, 6) | ☐ New Construction (1, 2, 3, 7) | ☐ Siding (3, 4 or 5) |
| ☐ Building Relocation (1, 2, 3, 7) | ☐ Parking (1, 3) | ☐ Sign (1, 2, 3, 6) |
| ☒ Demolition (1, 2, 3, 7) | ☐ Porch (1, 2, 3) | ☐ Window (2, 3, 4 or 5, 6) |
| ☐ Door (2, 3, 4 or 5, 6) | ☐ Retaining Wall (1, 2, 3) | ☐ Archeological Site (1, 3, 8) |
| ☐ Fence (1, 2, 3, 5) | ☐ Roof-New (3, 4 or 5, 7) | |
| ☐ Guttering (2, 3, 4 or 5, 6) | ☐ Re-roof (3, 4) | |

☐ Other (Specify) _____

- 1-Site plans
- 2-Elevations
- 3-Photographs
- 4-Sample of materials to be used

- 5-Product literature
- 6-Drawing
- 7-Exhibit C-Why proposed work should be approved
- 8-State Historic Preservation Officer Comments

2. DESCRIPTION OF PROPOSED WORK: *(Attach additional pages if necessary.)*

DEMOLITION

NOTE: An application is considered incomplete until all supporting materials, as specified in Item 1 above, are attached. Incomplete applications will not be processed or scheduled for a public hearing.

Exhibit C.

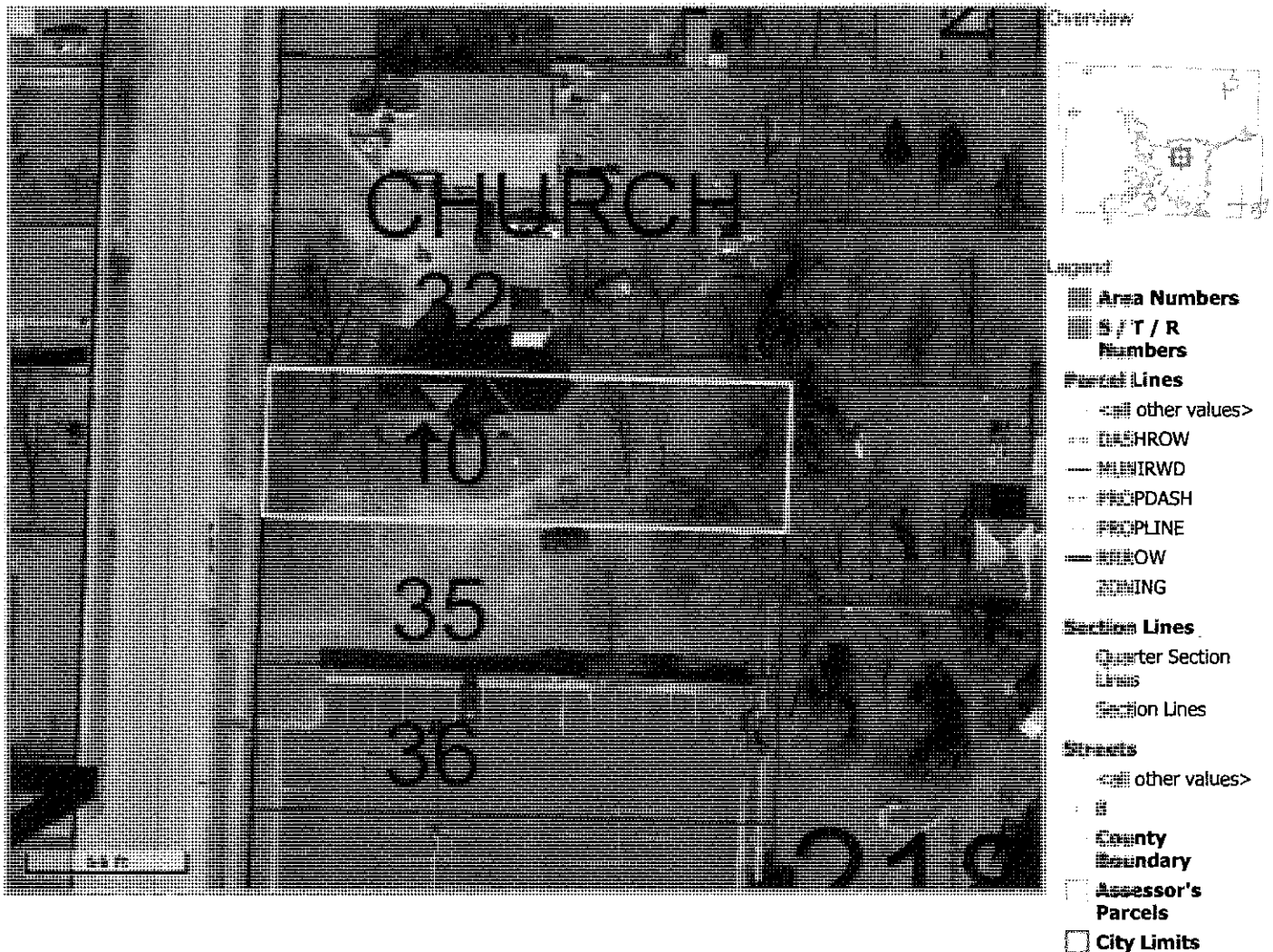
WHY PROPOSED WORK SHOULD BE APPROVED

Please use this form only. Form may be photocopied. Please type or print.

When proposing a major project, please use this page to give information in support of your request. (See Exhibit B, item 1, above: "Type of Work Proposed," key # 7. Suggested items of discussion are included in the Instructions, page 7.)

PROPERTY WAS PURCHASED WITH THE INTENT
OF EXPANDING PARKING AT CENTRAL HIGH SCHOOL
STRUCTURE IS CURRENTLY IN A STATE OF
DISREPAIR.

Date Created: 9/5/2012



Parcel ID 881313218010
Sec/Twp/Rng 13-29-22
Property Address 1110 N JEFFERSON AVE
 SPRINGFIELD

Alternate ID n/a
Class R
Acreage 0.20

Owner Address BALDWIN, RANDALL S
 1119 N JEFFERSON AVE
 SPRINGFIELD MO 65802

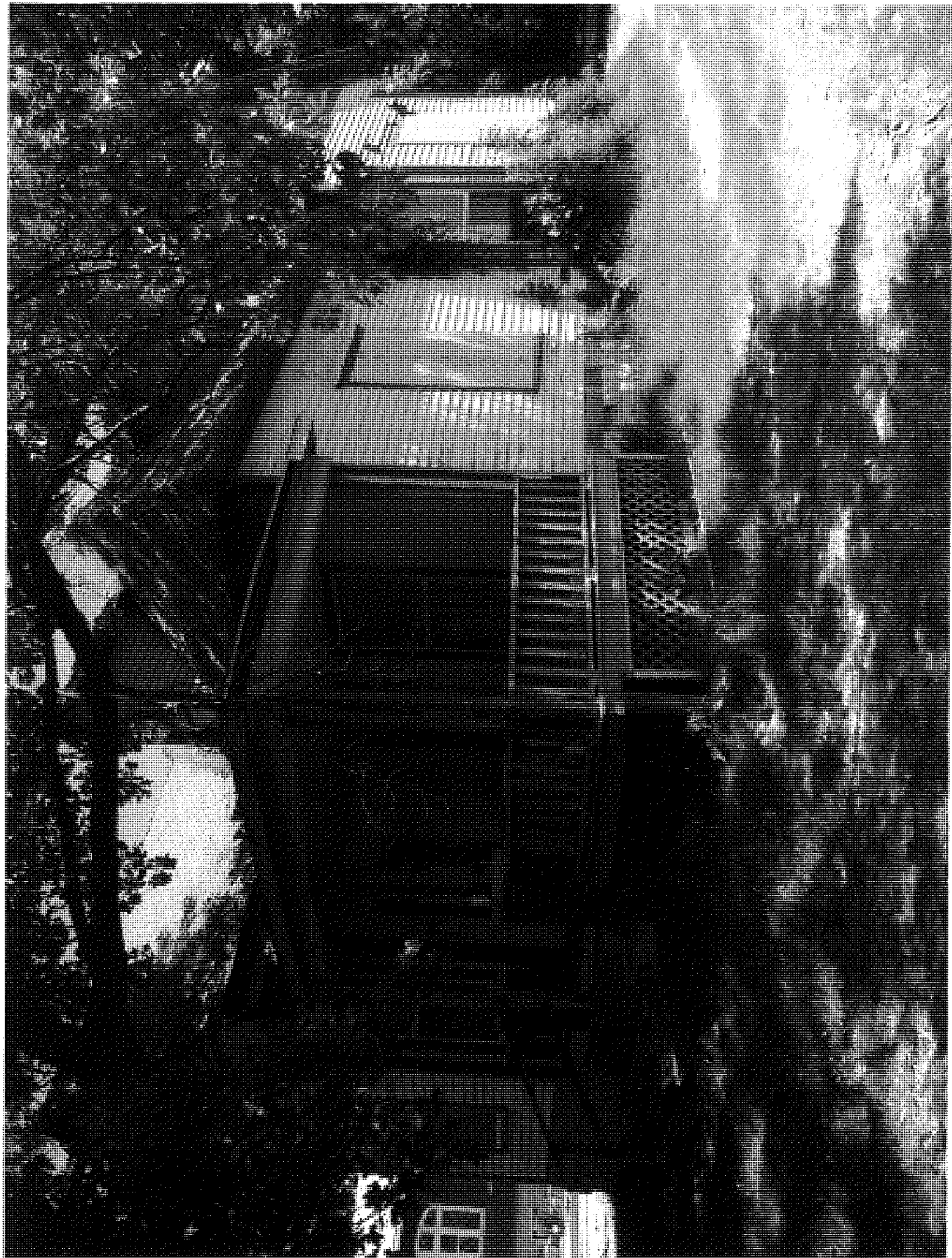
District 105
Brief Tax Description ROOT & BOWERMAN ADD E OF JEFFERSON AVE N1/2 LOT 5
 (Note: Not to be used on legal documents)

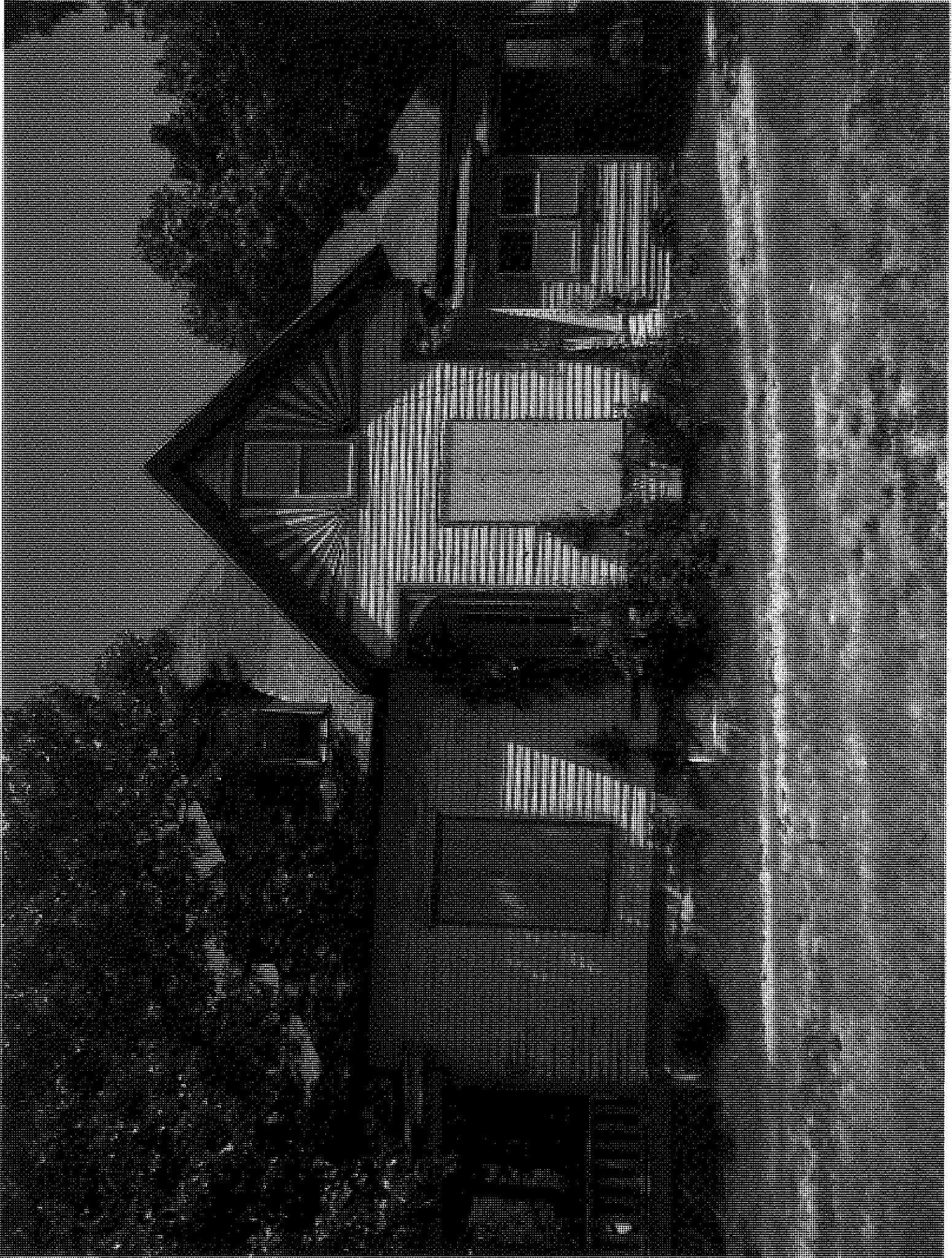
Last Data Upload: 9/4/2012 11:52:09 PM

The sinkhole layer on the map is only intended to show a general location of sink holes and cannot be used to determine the exact locations. Confusion over this has necessitated the removal of this layer. At sometime in the future we hope to

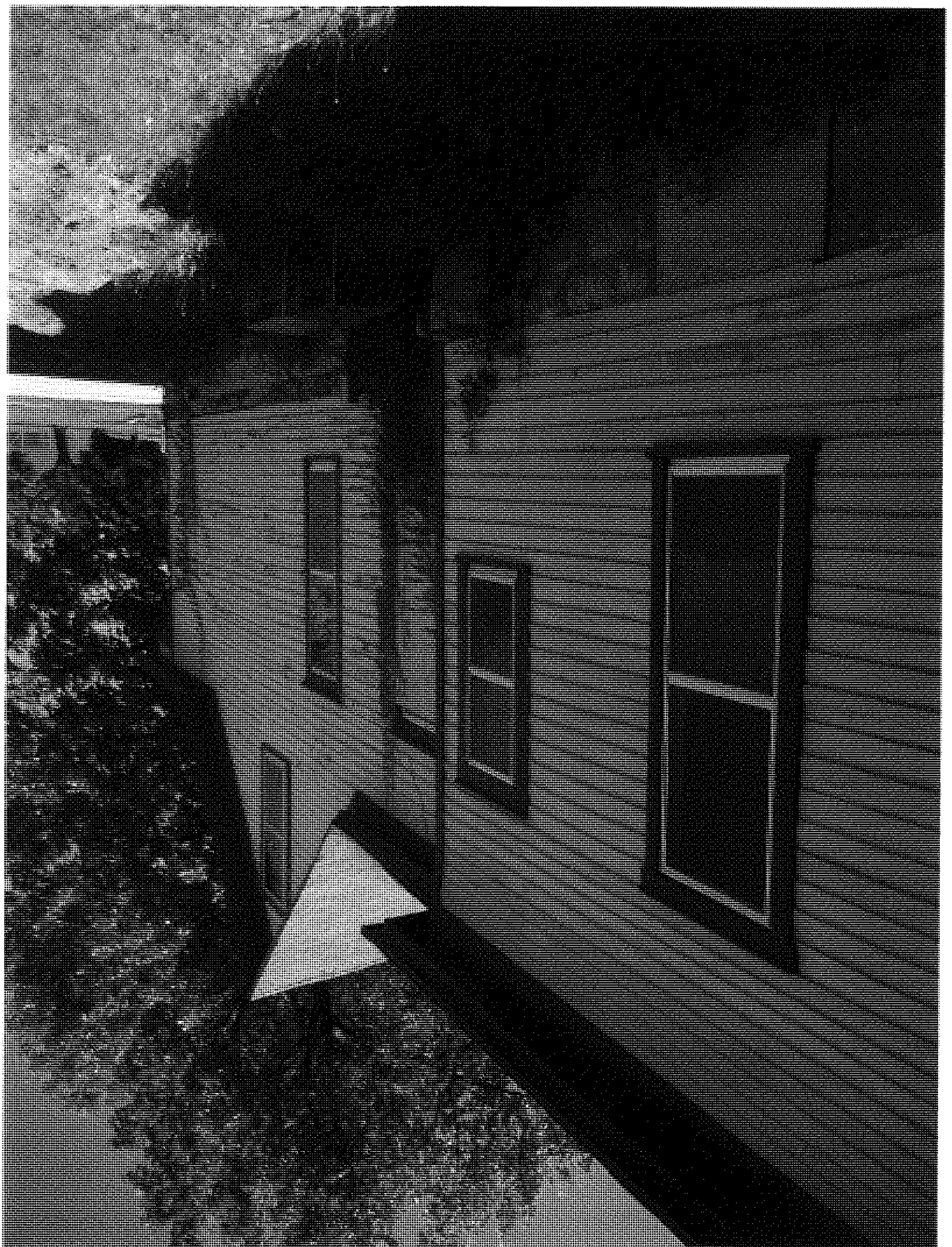


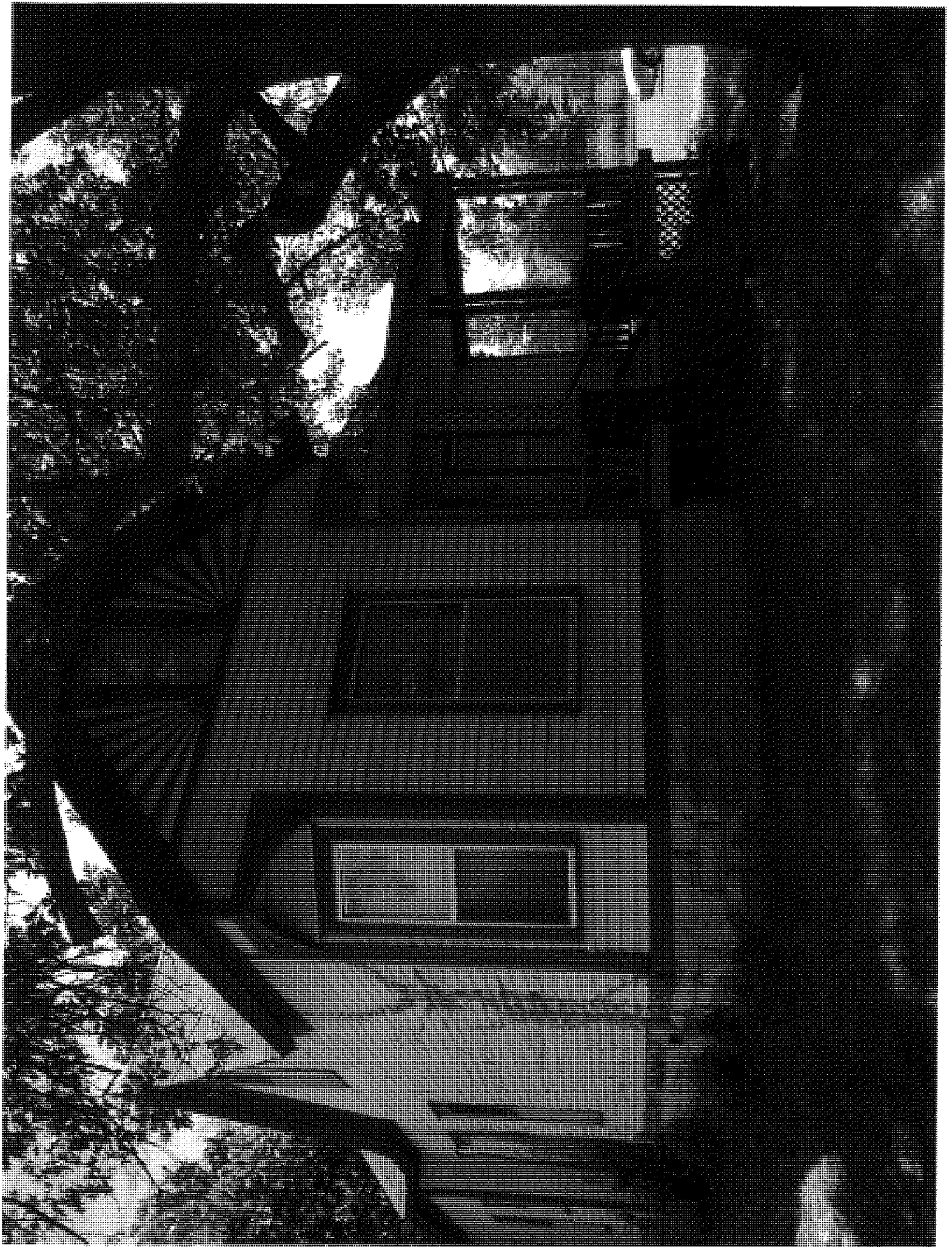
developed by
 The Schneider Corporation
www.schneidercorp.com













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11/08/2013



LANDMARKS BOARD

CITY OF SPRINGFIELD
P.O. BOX 8368
SPRINGFIELD, MISSOURI 65801
417-864-1031

STAFF REPORT

WALNUT STREET URBAN CONSERVATION DISTRICT – WEST

DATE: January 28, 2014

PROPOSAL:

1. Furnish and install a new double faced wooden sign

BACKGROUND:

LOCATION: 1108 E. Walnut Street

APPLICANT: B&S Investments, LLC

RECOMMENDATION:

Staff recommends **approval** of this request.

FINDINGS:

1. The house at 1108 E. Walnut Street is a contributing structure in the Walnut Street National Historic District.
2. The proposed sign is consistent with the Walnut Street Urban Conservation District –West requirements and Walnut Street Historic District Design Guidelines.

STAFF CONTACT:

Daniel Neal
Senior Planner
864-1036

ATTACHMENT A
BACKGROUND REPORT
1108 E. Walnut Street

APPLICANT'S PROPOSAL:

The applicant is requesting to furnish and install a new double faced wooden sign, mounted on wooden posts. The sign is 13.66 square feet in size and sign and posts shall be no taller than five (5) feet above grade level.

STAFF COMMENTS:

1. The Walnut Street Design Guidelines state that the applicant should consider signs that are consistent in scale and proportion to the building. Staff believes that the proposed sign meets all of the Walnut Street Design Guidelines and UCD requirements (see applicant's attachments for more detail).
2. All proposed work is required to receive a building permit to be issued by Building Development Services. All other requirements of the Walnut Street UCD, Zoning Ordinance and Building Code shall apply.

ATTACHMENT B
DESIGN STANDARDS & GUIDELINES
1108 E. Walnut Street

PERTINENT SECRETARY OF THE INTERIOR'S STANDARDS (FOR REHABILITATION)

2. The historic character of a property will be retained and preserved. The removal of historic materials or alteration of features, spaces, and spatial relationships that characterize a property will be avoided.
9. New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work will be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.

PERTINENT WALNUT STREET DESIGN GUIDELINES

SIGNAGE:

The Applicant Should Consider:

1. Using signs that are consistent in scale and proportion to the building.
2. Using flush-mounted signs.
3. Using hanging signs on post or lamp-pole.
4. Using lettering on awnings.
5. Using applied or painted lettering on porch cornice.
6. Painting a small sign on glazed areas of door or window.

The Applicant Should Avoid:

1. Using exterior neon signs.
2. Using moving or flashing signs.
3. Using interior-lit plastic signs.
4. Installing signs on the roof area.
5. Installing signs that are out of scale with the building.

ORDINANCE REVIEW

In addition, General Ordinance No. 3549 & 3560, which created the Walnut Street Urban Conservation district-East states:

In the event the Board concludes that the request, if granted, will have a detrimental effect upon the Urban Conservation District (UCD) or any adverse effect on an historical or architectural resource, then the Board shall deny the request for a certificate.

ATTACHMENT C
ARCHITECTURAL SIGNIFICANCE
1108 E. Walnut Street

ARCHITECTURAL SIGNIFICANCE:

1. The architectural survey that was completed on this property stated the following:

Hip dormers on the north and south roof faces. Projecting house roof eaves with simple cornice and frieze board which doubles as the head to the window openings at the second story. Three bay façade with one over one window sash in all windows. The corner boards on the house have a simple bead running the length. One story hipped porch runs the entire length of the front elevation. Over the entry in the first bay there is a gabled pediment on the porch with a continuous cornice. The face of the pediment is covered with butt shingles. Narrow round wooden columns with Tuscan capitals support the porch. The porch structure is of wood. Most of the porch has been filled in to add a room to the first story. The window originally opening onto the porch was moved to become the center window of this addition. All window openings on the side and rear elevations have a simple narrow moulding applied to the windows heads. On the rear is a one-story hipped roofed sun porch with multiple windows which appears to be original.



Application for Certificate of Appropriateness

E-PLANS INSTRUCTIONS

PLEASE FOLLOW STEPS 1 & 2 BEFORE SUBMITTING THIS APPLICATION

1. Pre-apply online at:
<https://www.springfieldmo.gov/payments/PLNPermitInfo.aspx?ptype=8005>
2. Wait for a "pre-screen complete" e-mail from the City of Springfield with instructions for e-plans review process.
3. Complete this application and upload a digital (pdf) copy through e-plans.

Office Use Only

Date Filed:	
Received By:	
Review:	
☐ Administrative	
☐ Landmarks Board	

The applicant seeks to show the following:

1. That the proposed work will be done in conformance with the Secretary of Interior Standards for Rehabilitation.
2. That the proposed work will be done in conformance with any applicable design guidelines or standards that the Landmarks Board has established and adopted. (Commercial Street and Walnut Street Districts and Mid-Town Neighborhood historic sites only)
3. That the proposed work will be done in conformance with all other relevant requirements of the Springfield Zoning Ordinance.

THEREFORE, applicant requests that the Certificate of Appropriateness be approved for the property as proposed in this submittal.

We, the signers of this application, do attest to the truth and correctness of all facts and information presented with this application and understand that, if approved, all work must be done under a building permit issued by the Department of Building Development Services. Approval of this application does not constitute approval of a building permit, nor does it certify that the zoning is appropriate for the proposed uses. These are separate processes that must be initiated by the applicants. We further understand that approval of this application does not constitute approval for tax certification under the Tax Reform Act of 1986 or amendments thereto.

Signature(s):



Date:

01/20/2012

Please type or print name(s) clearly:

MARK G. MILLS

Exhibit A: REQUEST FOR CERTIFICATE OF APPROPRIATENESS

Please use this form only. Form may be photocopied. Please type or print.

For instructions, see pages 5-8

1. Property address: 1108 E. WALNUT ST., SPRINGFIELD, MO

APPLICANT INFORMATION:

2. Name of current property owner: B+S INVESTMENTS LLC

If corporation: Corporate Official: (OWNER)

Mailing Address: 1112 E. WALNUT

Zip Code: 65807 Telephone: 877-9138 Fax: 877-0469

E-mail: BS@MANAWATERLAW.COM

3. AUTHORIZED REPRESENTATIVE:

(The representative should have the authority to commit the applicant to changes that may be suggested by the Board):

Name: MARK G. MILLS

Signature: Mark G Mills

Mailing Address: 501 N. NATIONAL AVE, SPFLD Zip Code: 65802 Fax: 862-0357

Telephone: (417) 862-4335 E-mail: MMILLS@PAYNESIGNCOMPANY.COM

(Corporate Seal)

4. BUILDING DEVELOPMENT SERVICES DISCUSSION: (Before submitting this application, the applicant should discuss the project with BDS. Their phone number is 417-864-1055.)

Date of discussion: 01/17/2014

NOTE: The property owner must either sign this application or give City staff a power of attorney showing that another person is authorized to sign.

OWNER HAS CONTRACT TO SELL TO AMY CAKES, LLC.
APPLICANT IS BUYER AMY CAKES, LLC,

1/20/14 B+S Investments, LLC
by Paul F. Sherry
PAUL F. Sherry, member

Exhibit B: DESCRIPTION OF PROPOSED WORK & SUPPORTING INFORMATION

Please use this form only. Form may be photocopied. Please type or print.

1. **TYPE OF WORK PROPOSED:** (Check all that apply. All work items require a written description of the proposed work. Additional required supporting information is denoted after each item and must be attached. See Instructions, page 5. **Maximum size for drawings: 11 x 17 inches.** NOTE: Even though you check the "Other" or the "New Construction" box, you must still give information on individual features such as windows, doors, etc., included in a large project.)

- | | | |
|---|--|---|
| ☐ Addition (1, 2, 3, 7) | ☐ Handicapped Ramp (1, 2, 3) | ☐ Sidewalk (1, 3) |
| ☐ Awnings (2, 3, 4 or 5, 6) | ☐ New Construction (1, 2, 3, 7) | ☐ Siding (3, 4 or 5) |
| ☐ Building Relocation (1, 2, 3, 7) | ☐ Parking (1, 3) | ☒ Sign (1, 2, 3, 6) |
| ☐ Demolition (1, 2, 3, 7) | ☐ Porch (1, 2, 3) | ☐ Window (2, 3, 4 or 5, 6) |
| ☐ Door (2, 3, 4 or 5, 6) | ☐ Retaining Wall (1, 2, 3) | ☐ Archeological Site (1, 3, 8) |
| ☐ Fence (1, 2, 3, 5) | ☐ Roof-New (3, 4 or 5, 7) | |
| ☐ Guttering (2, 3, 4 or 5, 6) | ☐ Re-roof (3, 4) | |

☐ Other (specify): _____

- 1 – Site Plans
2 – Elevations
3 – Photographs
4 – Sample of materials to be used

- 5 – Product literature
6 – Drawings
7 – Exhibit C – Why proposed work should be approved
8 – State historic Preservation Officer Comments

2. **DESCRIPTION OF PROPOSED WORK:** (attach additional pages if necessary)

FURNISH AND INSTALL 1 (ONE) DOUBLE FACED WOODEN SIGN, MOUNTED ON WOODEN POSTS - SIGN IS 13.66 SQ FT - SIGN AND POSTS SHALL BE NO TALLER THAN 5'-0" ABOVE GRADE LEVEL

NOTE: An application is considered incomplete until all supporting materials, as specified in Item 1 above, are attached. Incomplete applications will not be processed or scheduled for a public hearing.

Exhibit C: WHY PROPOSED WORK SHOULD BE APPROVED

Please use this form only. Form may be photocopied. Please type or print.

When proposing a major project, please use this page to give information in support of your request. (See Exhibit B, item 1, above: "Type of Work Proposed," key # 7. Suggested items of discussion are included in the Instructions, page 7.)

THE PROPOSED SIGN IS TO BE PLACED IN THE SAME AREA THE PREVIOUS SIGN UTILISED. NO CHANGES WILL BE MADE TO THE BUILDING, DRIVEWAYS, PARKING AREA ETC.

THE PROPOSED SIGN CONFORMS TO THE REQUIREMENTS OF THE HISTORICAL DISTRICT.

THIS SIGN IS NOT INTERNALLY ILLUMINATED

THE SIGN HAS BEEN DESIGNED TO COMPLIMENT HISTORICAL STYLES AND CONSTRUCTION

NO HISTORICAL MATERIALS SHALL BE REMOVED OR ALTERED

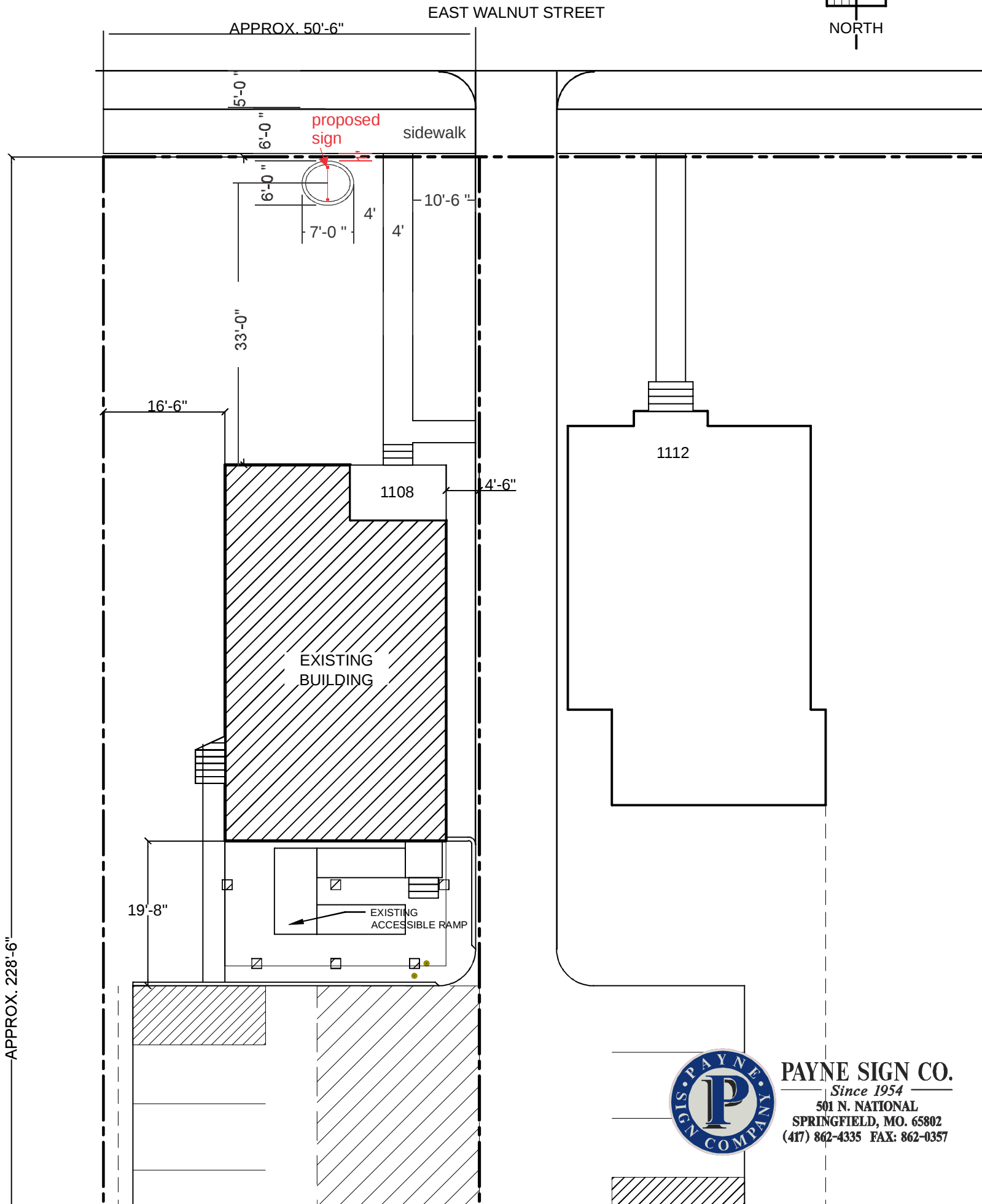
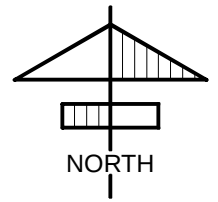
ANY FUTURE CLEANING OF THIS STRUCTURE WOULD REQUIRE ONLY WATER AND VERY MILD DETERGENTS

THIS SIGN IS TO BE NO LESS THAN 30' FROM THE HISTORICAL BUILDING AND WILL NOT DESTROY OR ALTER ANY MATERIALS THAT CHARACTERIZE THE PROPERTY

SHOULD THIS SIGN REQUIRE FUTURE REMOVAL, ONLY THE DIRT INSIDE THE EXISTING LANDSCAPED OVAL WOULD BE DISTURBED. THE HISTORICAL PROPERTY AND ENVIRONMENT WOULD BE UNIMPAIRED

USE PERMIT SITE PLAN

1/16"=1'-0"



PAYNE SIGN CO.
Since 1954
501 N. NATIONAL
SPRINGFIELD, MO. 65802
(417) 862-4335 FAX: 862-0357



PAYNE SIGN CO.
Since 1954
501 N. NATIONAL
SPRINGFIELD, MO. 65802
(417) 862-4335 FAX: 862-0357



1/2" DOUBLE FACED
PLYWOOD SIGN WITH
PAINTED AND VINYL
GRAPHICS

4'-0"

3'-5"

1'-6"

6"

4"X4" PAINTED
WOOD POSTS

5'-0"



1" = 1' SCALE

ALL SKETCHES AND DESIGNS, OR ANY FACSIMILE THEREOF ARE THE
PROPERTY OF PAYNE SIGN CO. IF USED OR CONSTRUCTED BY OTHERS,
PAYNE SIGN CO. SHALL BE DULY PAID FOR DESIGNS AND ARTWORK.



PAYNE SIGN CO.
Since 1954
501 N. NATIONAL
SPRINGFIELD, MO. 65802
(417) 862-4335 FAX: 862-0357

Amycakes
BAKERY

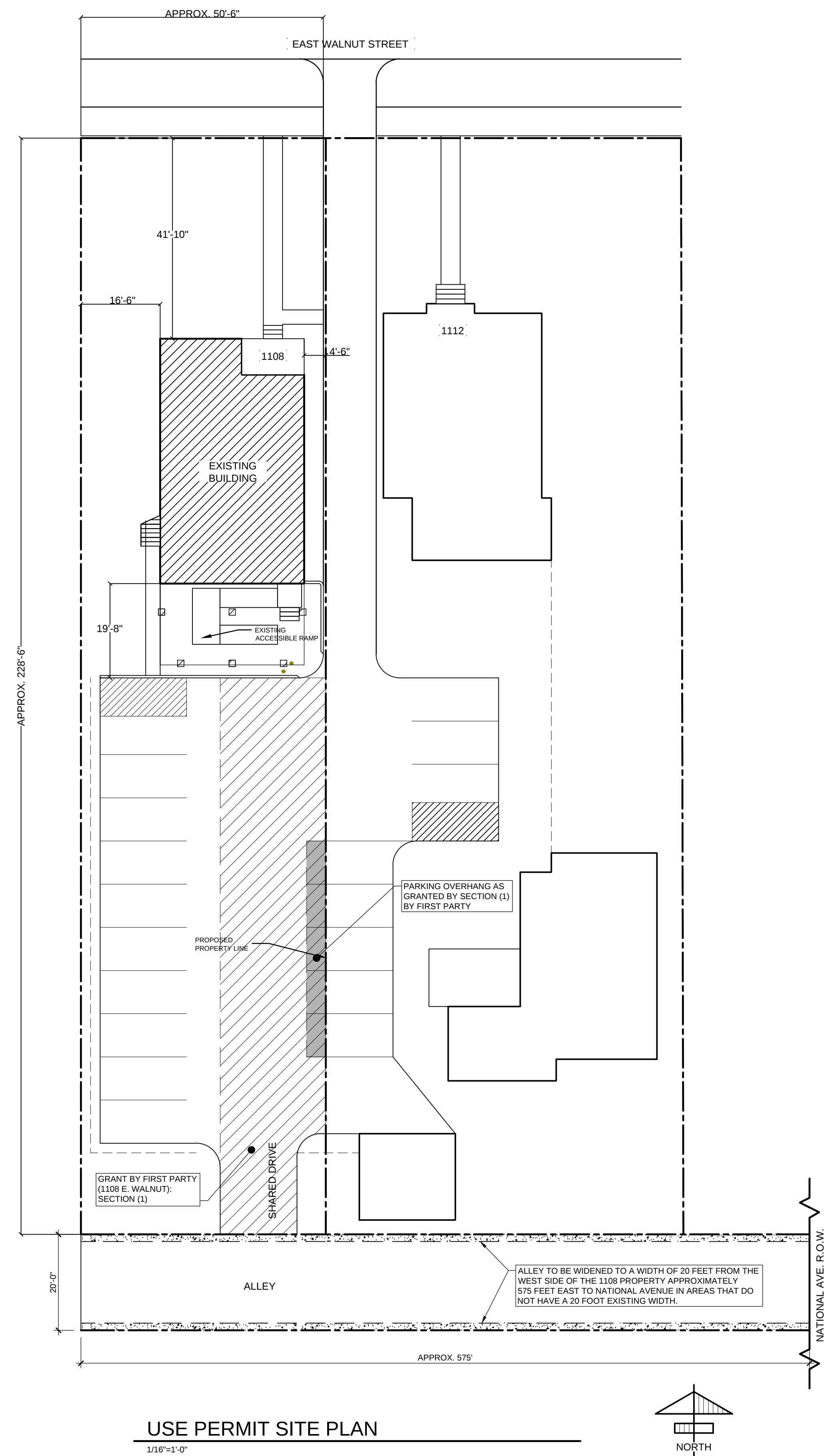
TRI-STATE
SIGN ASSOCIATION



I.B.E.W.
LOCAL 453

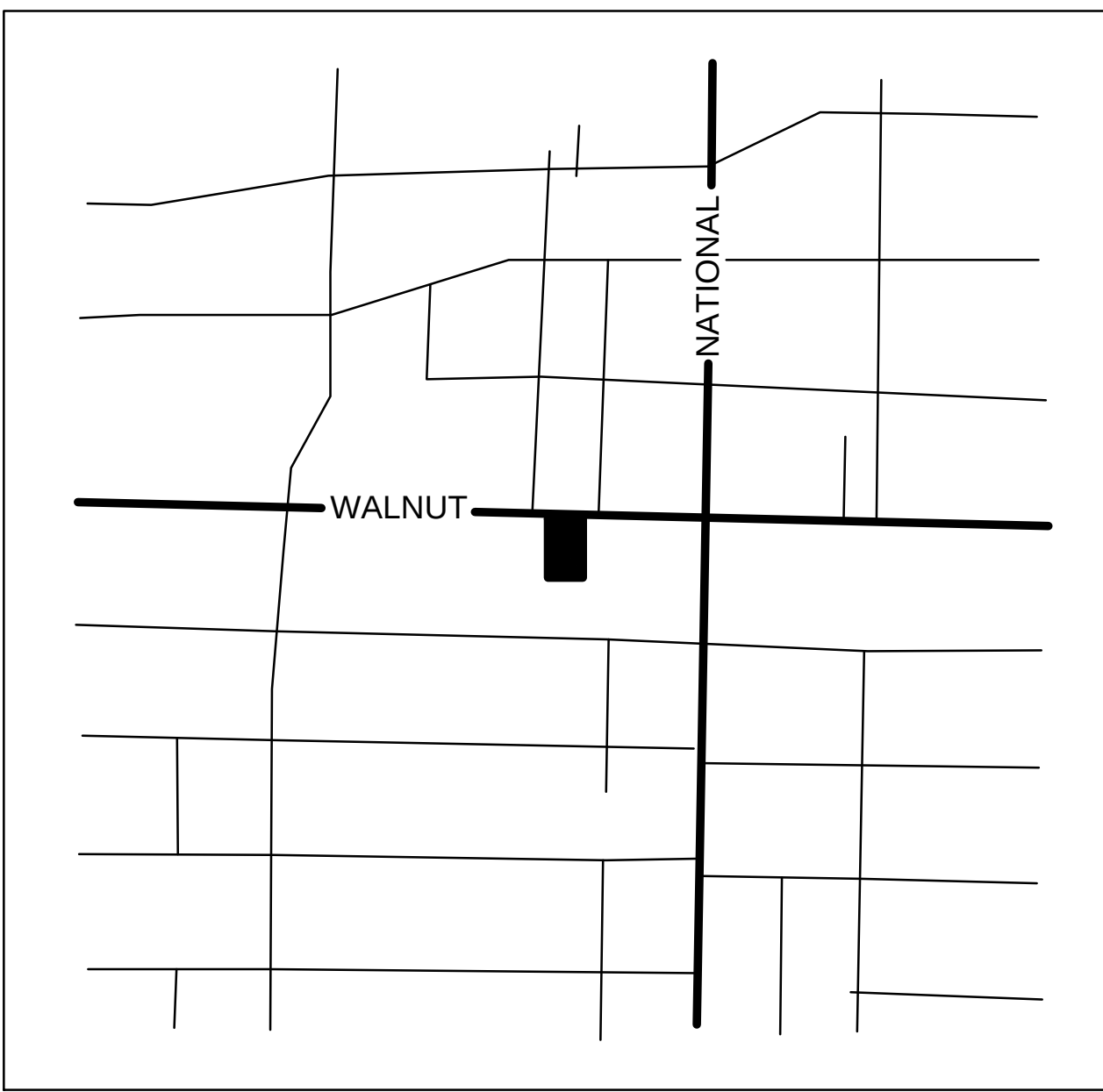
MEMBER





CONDITIONAL USE PERMIT FOR AMY MCGEHEE ON BEHALF OF B&S INVESTMENTS, LLC

1108 EAST WALNUT STREET SPRINGFIELD, GREENE COUNTY, MISSOURI



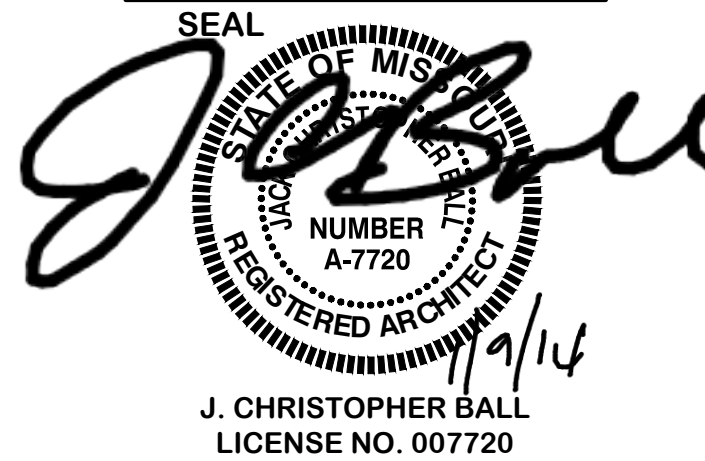
BUILDING - ZONING INFORMATION

- 1. ZONING:
 - a. CURRENT ZONING: R-HD
 - b. URBAN CONSERVATION DISTRICT NO. 1
- 2. CONDITIONAL USE BEING REQUESTED:
 - a. RESTAURANT- CATERING
- 3. SITE AREA:
 - a. 11,539.25 SQ. FT. OR 0.26 ACRES
- 4. BUILDING AREAS:
 - a. BASEMENT: 826 SQ. FT.
 - b. FIRST FLOOR PLAN: 1,435 SQ. FT.
 - c. SECOND FLOOR PLAN: 1,815 SQ. FT.
 - d. COMBINED AREA: 4,076 SQ. FT.

JACK BALL ARCHITECTS, PC



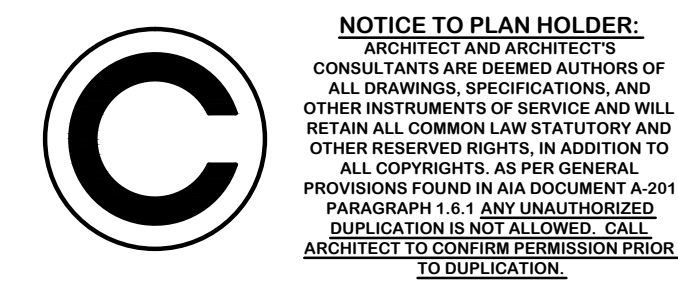
444. S. CAMPBELL AVE
SPRINGFIELD, MO 65806
P: 417.866.1904 F: 417.866.3695
www.jbapc.com
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REVISIONS

- ☐ ORIGINAL PRINTS
- ☒ REVISIONS 1/9/14

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QUALITY CONTROL

PHASE	CHK'D BY	DATE
15%		
30%		
60%		
90%		

CONDITIONAL USE PERMIT
FOR
AMY MCGEHEE
ON BEHALF OF
B&S INVESTMENTS, LLC
1108 EAST WALNUT ST.
SPRINGFIELD, MO 65806

DATE 1/9/14

COMM. NO. 1179-13

SHEET CUP1
OF 1



LANDMARKS BOARD

CITY OF SPRINGFIELD
P.O. BOX 8368
SPRINGFIELD, MISSOURI 65801
417-864-1031

STAFF REPORT

COMMERCIAL STREET HISTORIC DISTRICT

DATE: January 29, 2014

BACKGROUND:

LOCATION: 224 E. Commercial Street

APPLICANT: DWM Properties, LLC c/o Ellen McLean

PROPOSAL:

1. Demolish rear wall of the courtyard and replace with a new four (4) car garage addition including a new single ply membrane roof and guttering system as shown and described on attached elevations and product literature.
2. Construct a new balcony over the courtyard and deck over the new garage addition with access from the adjacent building as shown and described on the attached elevations. The balcony and deck will be trimmed with dark bronze metal fascia and a dark bronze guardrail system.
3. Remove existing wooden gate and replace with a new decorative wood door on the north façade that faces towards the courtyard and Commercial Street as shown on attached elevations and product literature.

RECOMMENDATION:

The request be **approved**.

FINDINGS:

1. The request is consistent with the Commercial Street Design Guidelines and

Secretary of Interior Standards of Rehabilitation.

2. The general design concepts of the garage addition have remained the same since the previous certificate of appropriateness which was approved in 2009.

PROJECT COORDINATOR:

Daniel Neal
Senior Planner

ATTACHMENT A
BACKGROUND REPORT
224 E. Commercial

APPLICANT'S PROPOSAL:

The applicant is requesting a revised certificate of appropriateness for a new four (4) car garage with a new balcony and deck from a previously approved C of A that was approved and expired in 2009.

STAFF COMMENTS:

1. The proposed new addition will be placed at the rear of the lot and will not alter the view from Commercial Street. After review of the proposal, there do not appear to be any significant changes that cause staff's recommendation of approval to be altered from 2009.
2. The Secretary of Interior Standards state that any new work will be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the historic integrity of the property and its environment. Staff believes that the proposed garage, balcony and deck materials will not damage or destroy the historic character of the district and can easily be differentiated from the F.W. Woolworth's Building in the future.
3. The Secretary of Interior's Standards for Rehabilitation Guidelines shall be used for all methods of removal, replacement and repair. Any attachments to the building wall shall be made to the mortar joints and not the brick.
4. All proposed work is required to receive a building permit to be issued by Building Development Services. All other requirements of the COM-1 District, Zoning Ordinance and Building Code shall apply.

ATTACHMENT B
PERTINENT DESIGN GUIDELINES
224 E. Commercial

SECRETARY OF THE INTERIOR'S STANDARDS FOR REHABILITATION:

2. The historic character of a property will be retained and preserved. The removal of historic material or alteration of features, spaces, and spatial relationships that characterize a property will be avoided.
5. Distinctive features, finishes, and construction techniques or examples of craftsmanship that characterize a historic property will be preserved.
9. New addition, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work will be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the historic integrity of the property and its environment.

ORDINANCE REVIEW

In addition, the Zoning Ordinance states:

In the event the Board concludes that the request, if granted, will have a detrimental effect upon the Historic Landmark or Historic District or any adverse effect on an historical or architectural resource, then the Board shall deny the request for a certificate.

ATTACHMENT C
ARCHITECTURAL SIGNIFICANCE
224 E. Commercial

ARCHITECTURAL SIGNIFICANCE:

1. The Architectural Survey that was prepared for this building stated the following:

This building is a two story wood frame and masonry load bearing structure. The exterior is typical of many others on Commercial Street except the storefront was constructed of marble and framed glass. The glass frame is covered with sheet copper and above the storefront is a frieze which appears to be copper.

2. The narrative accompanying the Commercial Street district's National Register nomination stated the following about this property:

Constructed between 1902 and 1910. Although modified at street level, 224 East Commercial was not altered above ground level; the corbelled second story is evenly fenestrated with segmental arched windows capped by brick hood moldings.



Office Use Only

Date Filed: _____

Received By: _____

Review:

☐ Administrative

☐ Landmarks Board

Application for Certificate of Appropriateness

City of Springfield, Missouri

The applicant seeks to show the following.

1. That the proposed work will be done in conformance with the Secretary of Interior's Standards for Rehabilitation.
2. That the proposed work will be done in conformance with any applicable design guidelines or standards that the Landmarks Board has established and adopted. (Commercial Street and Walnut Street Districts and Mid-Town Neighborhood historic sites only).
3. That the proposed work will be done in conformance with all other relevant requirements of the Springfield Zoning Ordinance.

THEREFORE, applicant requests that the Certificate of Appropriateness be approved for the property as proposed in this submittal.

We, the signers of this application, do attest to the truth and correctness of all facts and information presented with this application and understand that, if approved, all work must be done under a building permit issued by the Department of Building Development Services. Approval of this application does not constitute approval of a building permit, nor does it certify that the zoning is appropriate for the proposed uses. These are separate processes that must be initiated by the applicants. We further understand that approval of this application does not constitute approval for tax certification under the Tax Reform Act of 1986 or amendments thereto.

Signature(s) Date:

Matthew A. Capen

1-13-14

Ellen S. McLean

1-13-14

Please type or print name(s) clearly:

Matthew A. Capen

ELLEN S. MCLEAN

Exhibit A.

Request for Certificate of Appropriateness

Please use this form only. Form may be photocopied. Please type or print.

For instructions, see pages 5-8.

1. PROPERTY ADDRESS:

224 E. Commercial

2. APPLICANT:

Name(s): Ellen McLean; DWM Properties, LLC

If corporation: Corporate official: _____

Mailing address: 224 E. Commercial (corporate seal)
Springfield, MO Zip Code: 65803

Telephone number: (417) 848-8845 Fax number: (417) 312-2517

e-mail: esmclean@gmail.com

3. AUTHORIZED REPRESENTATIVE: *(The representative should have the authority to commit the applicant to changes that may be suggested by the Board).*

Name: Matthew A. Capen Signature: Matthew A. Capen

Address: 5051 S. National Ave. #7a Spfld, MO Telephone: 881-6595 Fax: 881-6921

e-mail: matt@hdesigngroup.com 65810

4. BUILDING DEVELOPMENT SERVICES DISCUSSION: *(Before submitting this application, the applicant should discuss the project with BDS. Their phone number is 864-1055.)*

Date of discussion: Plans were submitted to BDS on 12/16/13 for permitting
Another meeting took place with Rick Gardner and Kimberly
Bartson with BDS on 1/8/14.

NOTE: The property owner must either sign this application or give City staff a power of attorney showing that another person is authorized to sign.

Exhibit B.

Description of Proposed Work & Supporting Information

Please use this form only. Form may be photocopied. Please type or print.

1. TYPE OF WORK PROPOSED: *(Check all that apply. All work items require a written description of the proposed work. Additional required supporting information is denoted after each item and **must** be attached. See Instructions, page 5. Maximum size for drawings: 11 x 17 inches. NOTE: Even though you check the "Other" or the "New Construction" box, you must still give information on individual features such as windows, doors, etc., included in a large project.)*

- | | | |
|---|---|---|
| ☒ Addition (1, 2, 3, 7) | ☐ Handicapped Ramp (1, 2, 3) | ☐ Sidewalk (1, 3) |
| ☐ Awnings (2, 3, 4 or 5, 6) | ☒ New Construction (1, 2, 3, 7) | ☐ Siding (3, 4 or 5) |
| ☐ Building Relocation (1, 2, 3, 7) | ☒ Parking (1, 3) | ☐ Sign (1, 2, 3, 6) |
| ☒ Demolition (1, 2, 3, 7) | ☐ Porch (1, 2, 3) | ☐ Window (2, 3, 4 or 5, 6) |
| ☒ Door (2, 3, 4 or 5, 6) | ☐ Retaining Wall (1, 2, 3) | ☐ Archeological Site (1, 3, 8) |
| ☐ Fence (1, 2, 3, 5) | ☒ Roof-New (3, 4 or 5, 7) | |
| ☒ Guttering (2, 3, 4 or 5, 6) | ☐ Re-roof (3, 4) | |

☐ Other (Specify) _____

- 1-Site plans
- 2-Elevations
- 3-Photographs
- 4-Sample of materials to be used

- 5-Product literature
- 6-Drawing
- 7-Exhibit C-Why proposed work should be approved
- 8-State Historic Preservation Officer Comments

2. DESCRIPTION OF PROPOSED WORK: *(Attach additional pages if necessary.)*

See Attached

NOTE: An application is considered incomplete until **all** supporting materials, as specified in Item 1 above, are attached. Incomplete applications will **not** be processed or scheduled for a public hearing.

Exhibit C.

WHY PROPOSED WORK SHOULD BE APPROVED

Please use this form only. Form may be photocopied. Please type or print.

When proposing a major project, please use this page to give information in support of your request. (See Exhibit B, item 1, above: "Type of Work Proposed," key # 7. Suggested items of discussion are included in the Instructions, page 7.)

See Attached



Exhibit B:

The proposed building addition, which will serve as a private garage for the property owners of the F.W. Woolworth Building, will set back from Commercial Street as it was proposed and approved by the Landmarks Board back in 2009. The renovated courtyard space will stay intact and not be disturbed, and the general design concepts of the garage addition have remained the same with some slight improvements.

The existing courtyard shall remain as the owners utilize this outdoor space to host various social gatherings; predominantly wedding receptions. The existing brick half wall separating the courtyard from Commercial Street shall remain. At the South end of the existing courtyard exists another brick half wall with a wood gate that will be removed to provide access for the new garage addition. While in the courtyard looking to the West, a new balcony and deck will be provided with access from the adjacent building. The balcony and deck will be trimmed with dark bronze metal fascia and a dark bronze guardrail system.

The North façade of the garage shall be constructed with red brick matching the adjacent historic building in color and size. This façade will extend up high enough above the grade to serve as a parapet wall and hide the sloped roof from the courtyard and Commercial Street. There shall be one single decorative door located centrally that will serve as a backdrop for wedding pictures. See attached door cut sheet for reference.

The South façade of the building addition consists mostly of the four new garage doors, but will also have the matching red brick. The roof shall be visible from the South and will drain to a continuous gutter with three downspouts.

Architectural Feature: DEMOLITION

The only demolition shall be the brick half wall on the South end of the existing courtyard. Refer to attached site plan, elevations, photos, and attached Exhibit C.

Architectural Feature: NEW CONSTRUCTION

The proposed garage addition shall be considered new construction. Refer to attached site plan, elevations, photos, and attached Exhibit C.

Architectural Feature: ADDITION

The proposed garage building shall be considered an addition to the adjacent F.W. Woolworth Building to the West. Refer to attached site plan, elevations, photos, and attached Exhibit C.

Architectural Feature: DOOR

A new decorative wood door has been proposed on the North façade that faces towards the courtyard and Commercial Street, as well as four new overhead garage doors on the South façade. Refer to attached product literature and elevation drawings.

Architectural Feature: GUTTERING

A new guttering system for the garage building addition has been proposed on the South façade and will be bronze in color to match the guardrail system. Refer to attached product literature and elevation drawings.

Architectural Feature: PARKING

The proposed garage addition shall be considered parking for the adjacent building to the West. Refer to attached site plan and photos.

Architectural Feature: ROOF-NEW

The proposed garage addition shall have a new single ply membrane roof, which shall only be visible from the South. Refer to attached product literature and attached Exhibit C.



Exhibit C:

The revitalization of Commercial Street has brought back the interest of social and economic stimulation to a portion of the Springfield community. With several improvements to both the interior and exterior of buildings on Commercial Street as well as outdoor spaces, the historic appearance has been preserved through proper consideration.

The proposed new garage will be clearly differentiated from the historic buildings directly adjacent to the East and West by size and placement. The garage will not destroy, damage, or obscure the historic character of the district. It will be compatible in size, color, material and massing with the other buildings, and will be structural independent from the adjacent buildings so that each building can maintain it's historic qualities if the new addition is to ever be removed in the future.

The only construction demolition on the site will solely be the existing brick half wall on the South side of the existing courtyard. This will not impact the historic nature of the site and the adjacent buildings.

In conclusion, this Certificate of Appropriateness should be considered for approval based on a previous approval by the Landmarks Board review, as well as the consistent design intent to have this new garage addition be differentiated from the existing historic buildings by locating the building towards the rear portion of the site. The garage addition has been designed and will be constructed so there will be no loss of historic material and the character defining features will not be obscured, damaged, or destroyed.

Photo 1: Commercial Street looking towards the courtyard and the East wall of the F.W. Woolworth Building.

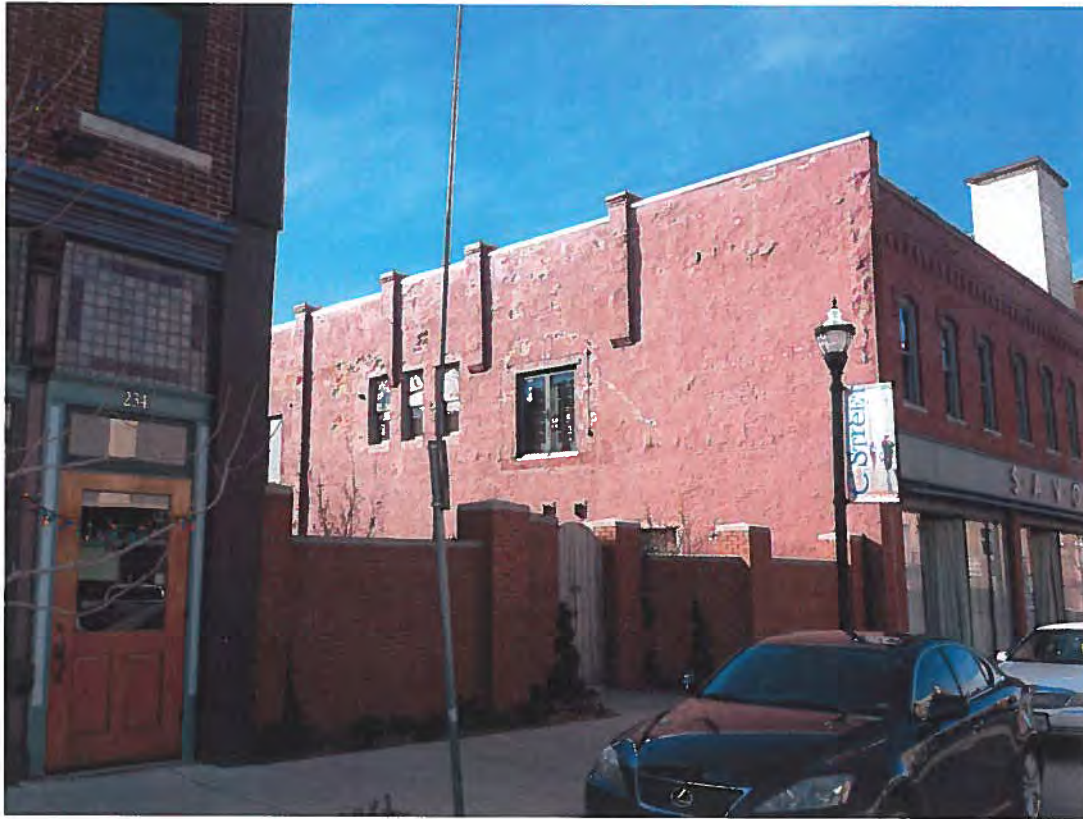


Photo 2: Blaine Street looking towards the courtyard and the East wall of the F.W. Woolworth Building. The existing brick half-wall and wood gate shall be removed.



Photo 3: Looking North at the existing courtyard space and the full brick half-wall and gate to be removed.



Photo 4: In the courtyard space looking at the East wall of the F.W. Woolworth Building.



Photo 5: Blaine Street looking towards the adjacent building and existing brick half-wall to be removed.



Photo 6: Aerial photo of the site and adjacent buildings.



Aluminum Railing Styles

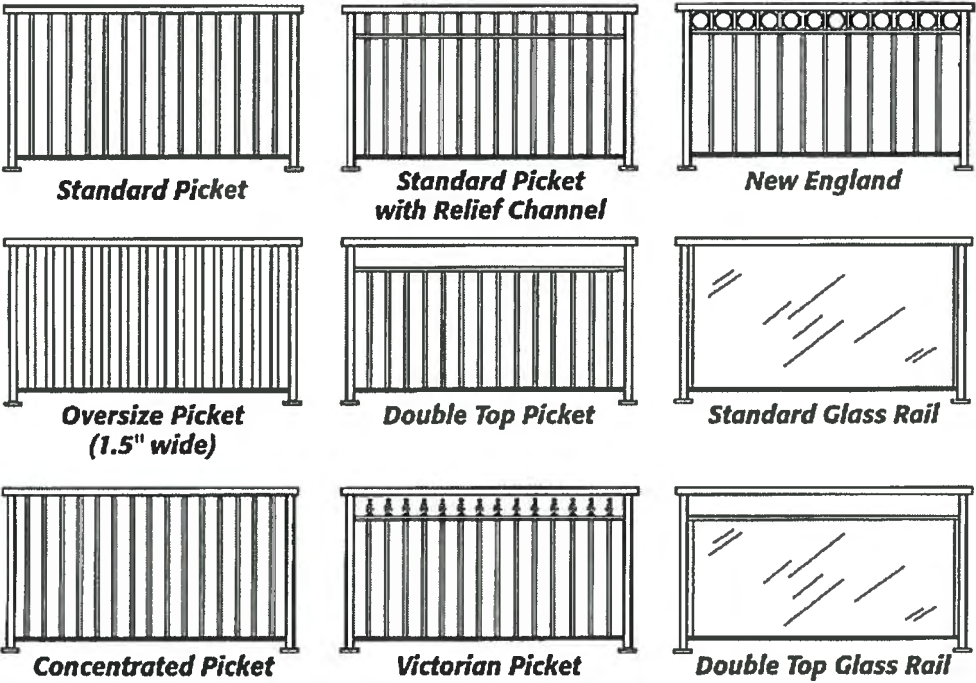


Aluminum Railing Systems

MAINTENANCE FREE

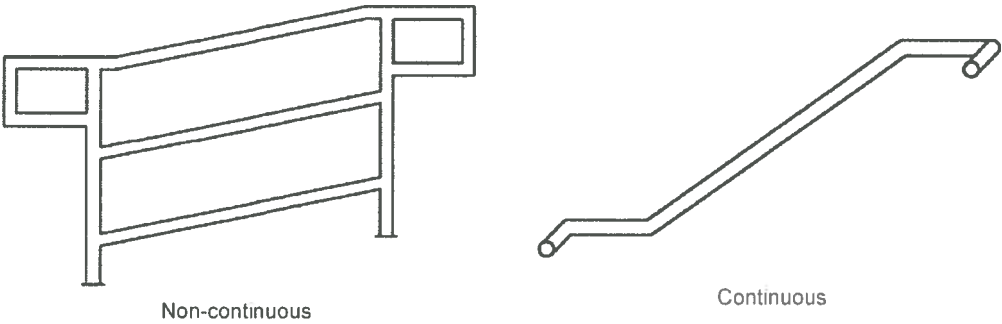
Weather Proof; Rust-Rot-Corrosion Resistant; Lifetime Powder Coat Finish

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- Custom Items
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- Stair Treatments
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- Colors
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Interior or Exterior available in Continuous or Non-continuous.



Choose From a Variety of Styles and Applications.

Engineered to meet today's demanding Code requirements. Large commercial complexes to superior custom homes. Efficient and timely installation; experienced crews; professional management.

These are the

Railworks Top Rail Profiles

Custom Colors

The color charts below show colors available in powder coat. Use of these colors may add to the production time and adds custom color charges that will be dependent on the color chosen and the size of the project.

Many builders are matching their exterior siding or trim colors to the existing powder-coat colors. This is an excellent way to match colors and save time and money, since matching an exterior house paint or siding color is much less expensive than custom matching your powder-coat finish.

Colors will appear differently on different browsers, and are approximate renditions.

FURNITURE WHITE P.751-9	GLOSS BROWN P.132-9	TURQUOISE P.3164-7	PY GREEN P.5285-9	ANSI 70 GREY P.297-8
ALMOND P.142-8	ROSEWOOD P.6153-9	AQUA P.5282-9	TIDAL GREEN P.5026-7	ANSI 89 GREY P.2010-5
BAILING BEGE P.1068-8	EVERGLADE P.5283-9	BURGUNDY P.6007-7	PENCE GREEN P.5010-9	CHARCOAL P.2012-9
SABLE P.1270-9	OYSTER GREY P.210-8	MAROON P.686-6	EVERGREEN P.5152-3	MIRROR BLACK P.281-9
MOCHA P.1272-8	SLATE BLUE P.391-3	TELCO GREEN P.5011-9	SEAL BEACH GREEN P.8229-9	METALLIC SILVER P.278-BM
METRO BROWN P.128-8	GLOSS BLUE P.382-9	SEAFOAM GREEN P.580-9	GLOSS GREEN P.5085-8	LT. BRONZE METALLIC P.1269-BM
ROSLAU BROWN P.1271-9	DARK BLUE P.307-8	ARCADIA GREEN P.5284-9	EQUIPMENT GREEN P.5009-8	DK BRONZE METALLIC P.1241-9M

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Email: info@railworks.net

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Web design by: weiselcreative.com

TECHNICAL INFORMATION SHEET

2015MP
5/18/2012**Firestone**
METAL PRODUCTS**UNA-CLAD****Kynar 500®/Hylar 5000™
Pre-Finished Galvanized Steel
Architectural Sheet & Coil****DESCRIPTION:**

Firestone UNA-CLAD PVDF Coated Galvanized Steel Architectural Sheet & Coil is AISI-G90 extra smooth, minimum spangle, tension leveled, hot-dipped galvanized steel that is primed and coated on one side with UNA-CLAD full strength Hylar 5000™/Kynar 500® (contains a minimum of 70% Hylar /Kynar polyvinylidene fluoride (PVDF) resins) premium fluoropolymer coating system of 1.0 (±0.1) mil total dry film thickness. For additional protection a wash coat of 0.3 – 0.4 mil dry film thickness is applied to the reverse side. An optional strippable protection film is applied for protection during fabrication and installation. Firestone UNA-CLAD PVDF Coated Galvanized Steel Architectural Sheet & Coil is for general sheet metal use in building applications and can be utilized for fascia panels, soffits, gravel stops, copings, and roofing such as flat seam, standing seam, batten seam, and mansards.

METHOD OF APPLICATION:

1. Install in accordance with recognized sheet metal practices.
2. UNA-CLAD can be cut, formed, and fastened using conventional hand or power tools.
3. For best results cutting tool edges should be kept sharp, clean, properly dressed, and closely aligned.
4. Fabrication and erection can be accomplished with strippable plastic film in place. Film should be removed from areas of concealed or joined pieces.

STORAGE & PACKAGING:

1. Firestone metal sheet and coil should be stored in a well ventilated, dry place where no moisture can contact the sheet. Moisture (from rain, snow, condensation, etc.) trapped between layers of material may cause water stains or white rust, which can affect the service life of the material and will detract from its appearance.
2. If outdoor storage cannot be avoided, protect the sheet and coil with a ventilated canvas or waterproof paper cover. Do not use plastic, which can cause condensation. Keep the material off the ground in an inclined position with an insulator such as wood.
3. Maximum 2,000 lb of sheets per pallet.

PRECAUTIONS & LIMITATIONS:

1. Protective film may degrade or become brittle with exposure to direct sunlight.
2. The performance of this material in the field depends substantially on the integrity of the paint film and on the underlying coating of zinc being intact. Therefore, this UNA-CLAD product should not be used in areas of high abrasion or where it is subject to mechanical damage.
3. Product is pre-finished material; care must be exercised during fabrication and erection to avoid surface damage.
4. Attention should be paid to good house-keeping practices
5. Tools must be clean and properly dressed.
6. Avoid dragging sheets over surfaces which may scratch or mar the finish.
7. For general sheet metal use in building applications.
8. Do not cut with power saws or abrasive blades.

PRODUCT DATA

Color:	31 Standard Colors; See current UNA-CLAD Color Chart	
Finish:	Extra Smooth Matte – Low to Medium Gloss	
Optional Finish:	Extra Low Gloss* High Gloss* Stucco Embossed (Mechanical Finish)*	
Wash Coat:	Polyester	
Weight:		
Gauge:	lb/SF:	kg/SM
26	0.775	4.42
24	1.000	5.64
22	1.406	6.85
Dimensions:		
Gauge:	Slit Coil:	Sheet:
26	4.0" - 48.0"* (0.1 m -1.2 m)	48" x 96" , 120" , & 144"* (1.2 m x 2.4, 3.1, & 3.7 m)
24	4.0" - 48.0"* (0.1 m -1.2 m)	48" x 96" , 120" , & 144"* (1.2 m x 2.4, 3.1, & 3.7 m)
22	4.0" - 48.0"* (0.1 m -1.2 m)	48" x 96" , 120" , & 144"* (1.2 m x 2.4, 3.1, & 3.7 m)

Physical Properties of Fluoropolymer Coating:

Property	Test Method	Typical
Abrasion Resistance	ASTM D 968, Method A	Coefficient of sand abrasion 65±10 Liters
Accelerated Weathering	ASTM D 4587 Condition B or ASTM G 23 Method 1 or 2, type EH apparatus, Hours: 5000	<u>Chalk:</u> Rating of 8 or better per ASTM D 4214 <u>Color:</u> ≤2ΔE color change per ASTM D 2244
	ASTM D 4587 Condition B or ASTM G 53, Method 1 or 2, type EH apparatus or ASTM G154, Hours: 5000	<u>Chalk:</u> Rating of 8 or better per ASTM D 4214 <u>Color:</u> ≤2ΔE color change per ASTM D 2244
	ASTM D 4587 Condition B or ASTM G 23 Method 1 or 2, type EH apparatus or ASTM G151, Hours: 2000	<u>Chalk:</u> Rating of 8 or better per ASTM D 4214 <u>Color:</u> ≤2ΔE color change per ASTM D 2244

*May not be available in all colors, gauges, or widths.
Additional lead times may apply. Contact Firestone Metal Products for additional information.

S723-RFS-284MP

TECHNICAL INFORMATION SHEET

 2015MP
5/18/2012

Firestone
METAL PRODUCTS
UNA-CLAD

Kynar 500®/Hylar 5000™ Pre-Finished Galvanized Steel Architectural Sheet & Coil

PRODUCT DATA (cont.)

Accelerated Weathering (Cont.)	ASTM D 3361 Hours: 1000	Acceptable – No cracking, peeling, blistering, loss of adhesion of the protective coating, or corrosion of the base metal <u>Chalk</u> : Rating of 8 or better per ASTM D 4214, Method A (ASTM D 659) <u>Color</u> : <5ΔE Hunter Units per ASTM D 2244
Adhesion	ASTM D 3359, Method B	No loss of adhesion
Chalk Resistance	ASTM D 659	No Chalk; Rating 9-10
Chemical/Acid Pollution Resistance	ASTM D 1308, Procedure 7.2	Pass; No color change
Cyclic Salt Fog	ASTM D 5894 Hours: 3000	<u>Scribe</u> : Rating of 8, 1/32" creepage from scribe per ASTM D 1654, procedure A <u>Field</u> : Rating of 10, no blistering per ASTM D 1654, Procedure B
Formability	ASTM D 522	No cracking, no loss of adhesion to the point of metal rupture
Specular Gloss	ASTM D 523	25-35 at 60 degrees
Hardness	ASTM D 3363	HB to 2H
Humidity Resistance	ASTM D 2247 Hours: 2000	Rating of 10; No blistering
	ASTM D 1735 Hours: 1000	No blistering, no loss of adhesion

This sheet is meant only to highlight Firestone's products and specifications. Information is subject to change without notice. Firestone takes responsibility for furnishing quality materials, which meet Firestone's published product specification. As neither Firestone itself nor its representatives practice architecture, Firestone offers no opinion on, and expressly disclaims any responsibility for the soundness of any structure on which its products may be applied. If questions arise as to the soundness of a structure, or its ability to support a planned installation properly, the Owner should obtain opinions of competent structural engineers before proceeding. Firestone accepts no liability for any structural failure or for resultant damages, and no Firestone Representative is authorized to vary this disclaimer.

PRODUCT DATA (cont.)

Impact Resistance	ASTM D 2794	Reverse & Direct Impact: No cracking & no loss of adhesion
Salt Spray Resistance	ASTM B 117, Hours: 2000	<u>Scribe</u> : Rating of 7, 1/16" creepage <u>Field</u> : Rating of 10
Tunnel Test	ASTM E84	Class A Coating
UV Exposure	ASTM G 154 Hours: 2016	<u>Chalk</u> : Rating of 8 or better per ASTM D 4214, Method A (ASTM D 659) <u>Color</u> : <5ΔE Hunter Units per ASTM D 2244
Wet Adhesion	Water Immersion Hours: 1500	No loss of adhesion

Physical Properties of Base Metal:

Base Metal:	AISI G90 – Hot dipped galvanized steel sheet, commercial weight, meeting ASTM A653/A653M-10 CS Type B for Zinc coated (galvanized) steel sheets & coil
Minimum Yield:	33 to 45 KSI (227 to 310 MPa)
Coefficient of Thermal Expansion:	06.7 x 10 ⁻⁶ in/in/F° (13.9 m/m.K x 10 ⁻⁶)
Modules of Elasticity:	29.0 x 10 ⁶ x KSI (200 GPa)
Specification:	ASTM E111-04

Compliance:

Kynar 500/Hylar 5000 Paint Finish: AAMA 621-02

Galvanized Steel Recycled Content:

7.3% Post-Industrial; 23.0% Post-Consumer

Manufacturing Locations: Anoka, MN
College Park, GA
Las Vegas, NV
Warren, MI

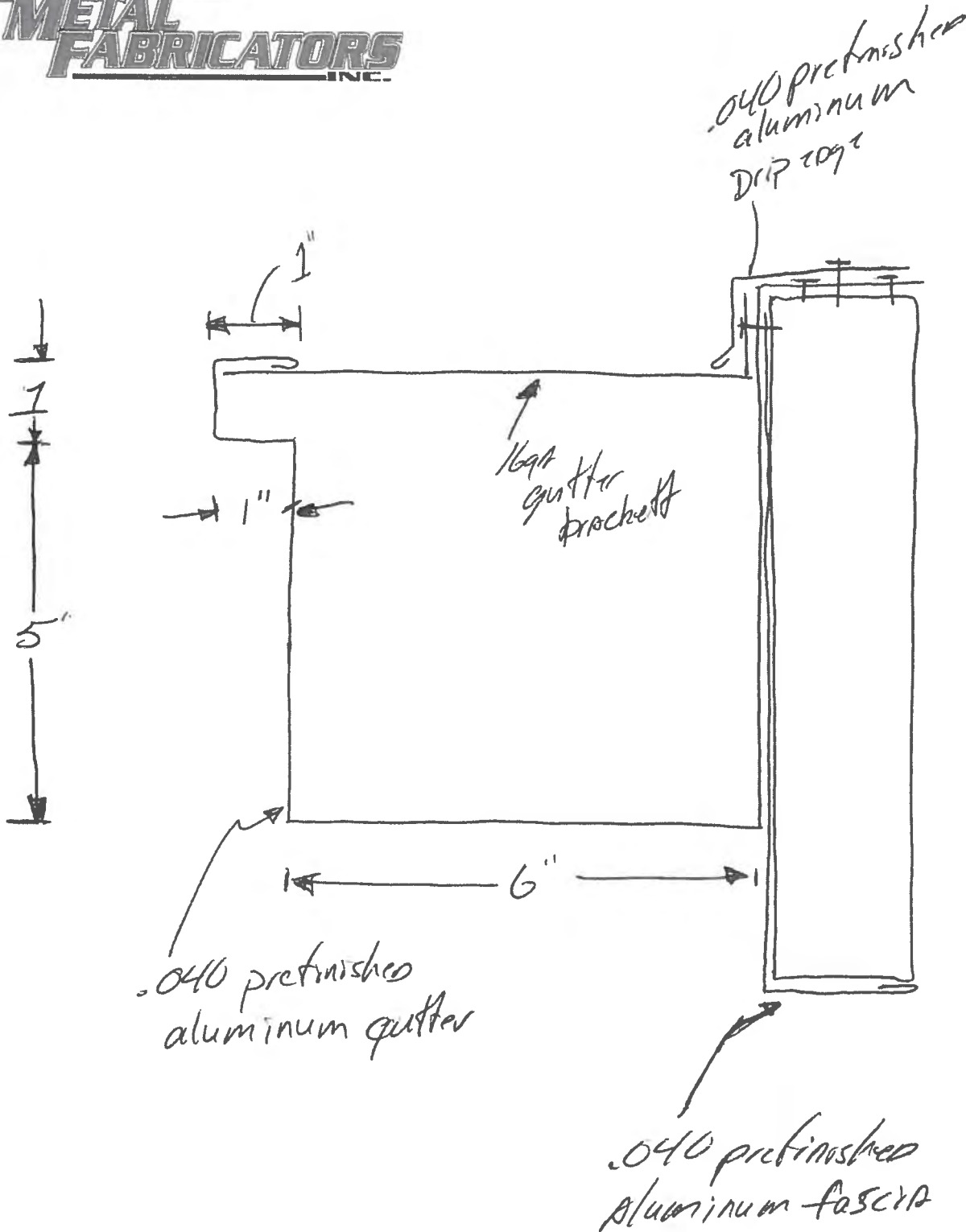


Firestone Metal Products

1001 Lund Blvd • Anoka, MN 55303
800-428-7737 • 763-576-9595 • FAX 763-576-9596
www.firestonemetal.com

S723-RFS-284MP

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ALUMINUM
STAINLESS
COPPER
VENTS
FINALS
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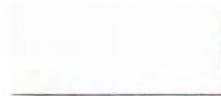
Firestone
METAL PRODUCTS
UNA-CLAD Color Selection Guide

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ENERGY STAR




STONE WHITE SR



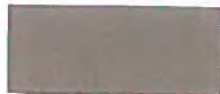
BONE WHITE SR



ALMOND SR



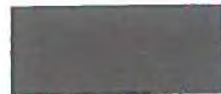
SANDSTONE SR



SLATE GRAY SR



CITYSCAPE SR



CHARCOAL GRAY SR



SIERRA TAN SR



MEDIUM BRONZE SR

DARK BRONZE SR*

EXTRA DARK BRONZE



MATTE BLACK SR*



BRANDYWINE SR



COLONIAL RED SR



TERRA COTTA SR



MANSARD BROWN SR



REGAL RED SR



AVALARD BLUE



SKY BLUE SR



ELECTRIC BLUE



REGAL BLUE



TEAL



PATINA GREEN SR



DARK IVY SR



SHERWOOD GREEN SR



HARTFORD GREEN



HEMLOCK GREEN SR



TROPICAL PATINA SR



SILVER METALLIC SR*



CLASSIC COPPER SR*



CHAMPAGNE METALLIC SR*

For a true color representation,
please call or write for actual
metal sample(s)

* = Premium Color

SR = Solar Reflectant color

*SR values qualify in Steel only

Oil canning is not a cause for rejection.

Protective film must be removed immediately after installation.

* COLOR FOR ALL FASCIA, TRIM, & FLASHING

Product Data Sheet

GENFLEX™ EZ TPO MEMBRANE



Description

GenFlex EZ TPO is a flexible Thermoplastic Polyolefin (TPO) roofing membrane that is produced with polyester weft-inserted reinforcement. GenFlex EZ TPO membrane meets or exceeds all requirements for ASTM D 6878 Specification. This heat weldable TPO membrane is available in 45 mil (1.14 mm) and 60 mil (1.52 mm) thicknesses. This reflective membrane is suitable for a variety of low-slope applications.

Method of Application

1. Substrates must be clean, dry, smooth, and free of sharp edges, fins, loose or foreign materials, oil, grease, and other materials that may damage the membrane.
2. All roughened surfaces that can damage the membrane shall be repaired as specified to offer a smooth substrate.
3. All surface voids greater than 1/4" (6.3 mm) wide shall be properly filled with an acceptable fill material.
4. GenFlex EZ TPO membrane is installed as continuous roofing or waterproofing layer on the roof. Rolls are overlapped (side laps and end laps) prior to the heat welding of the seam areas.
5. Install the GenFlex EZ TPO Roofing System in accordance with current GenFlex EZ TPO specifications, details and workmanship requirements.

Product Data

	45 MIL	60 MIL
Membrane Thickness	0.045" (1.14 mm)	0.060" (1.52 mm)
Membrane Weight	0.23 lb/ft ² (1.1 kg/m ²)	0.31 lb/ft ² (1.5 kg/m ²)
Available Sizes	5'x100' (1.5x30.5 m)	5'x100' (1.5x30.5 m)
	6'2"x100' (1.9x30.5 m)	6'2"x100' (1.9x30.5 m)
	8'x100' (2.4x30.5 m)	8'x100' (2.4x30.5 m)
	10'x100' (3.0x30.5 m)	10'x100' (3.0x30.5 m)
	12'4"x100' (3.8x30.5 m)	12'4"x100' (3.8x30.5 m)
Available Colors	White	White
	Tan	Tan
	Gray	Gray

LEED® Information

Recycled Content

Post Consumer	0%
Pre Consumer	15%
Manufacturing Location	Muscle Shoals, AL

Storage

Store away from sources of punctures and physical damage.

Assure that structural decking will support the loads incurred by material when stored on rooftop. The deck load limitations should be specified by the project designer.

Store away from ignition sources as membrane will burn when exposed to open flame.

Precautionary Data

Refer to Material Safety Data Sheets (MSDS) for safety information.

Exercise caution when lifting, moving, transporting, storing or handling membrane rolls to avoid sources of punctures and possible physical damage.

Contact your Roof Systems Advisor at 1-800-428-4511 for specific recommendations regarding chemical or waste product compatibility with GenFlex EZ TPO Membrane.



ICC-ES
ESR-2831

CCMC 13348-R

Product Data Sheet

GENFLEX™ EZ TPO MEMBRANE



Physical Properties

Meets or exceeds ASTM D 6878 Specification

PROPERTY	ASTM STANDARD	PERFORMANCE MINIMUM
Overall Thickness:	D 751	0.039" (1 mm)
Coating over Scrim:	D 7635	0.015" (0.38 mm)
Breaking Strength:	D 751, Grab Method	220 lbf (979 N)
Elongation of Reinforcement Break:	D 751, Grab Method	15%
Tearing Strength:	D 751	55 lbf (245 N)
Brittleness Point:	D 2137	-40 °F (-40 °C)
Ozone Resistance, No Cracks:	D 1149	Pass (No Cracks)

PROPERTY	TYPICAL PERFORMANCE: 45 MIL	TYPICAL PERFORMANCE: 60 MIL
Overall Thickness:	0.045" (1.14 mm) ± 10%	0.060" (1.52 mm) ± 10%
Coating Over Scrim:	0.017" (0.43 mm)	0.021" (0.53 mm)
Breaking Strength:	340 lbf (1,512 N)	390 lbf (1,735 N)
Elongation of Reinforcement Break:	25%	25%
Tearing Strength:	120 lbf (534 N)	120 lbf (534 N)
Brittleness Point:	Pass	Pass
Ozone Resistance, No Cracks:	Pass	Pass

Properties After Heat Aging (Retained Values) (ASTM D 573 670 h at 240° F (116° C))

PROPERTY	ASTM STANDARD	PERFORMANCE MINIMUM
Breaking Strength:	D 751, Grab Method	90% Minimum
Elongation at Break:	D 751, Grab Method	90% Minimum
Tearing Strength:	D 751	60% Minimum
Weight of Change:		± 1% Maximum
Linear Dimension Change:	D 1204, 6 h at 158 °F (70 °C)	± 1% Maximum
Water Absorption:	D 471	± 3% Maximum
Weather Resistance, 80 °C Black Panel, no cracking, crazing when wrapped around a 3" mandrel and inspected at 7X magnification:	G 155	10,800 kJ/m ² Minimum
Puncture Resistance:	FTM 101C, Method 2031	—
Dynamic Puncture Resistance MD:	D 5635	—
Dynamic Puncture Resistance CD:	D 5635	—
Static Puncture Resistance:	D 5602	—

Product Data Sheet

GENFLEX™ EZ TPO MEMBRANE



PROPERTY	TYPICAL PERFORMANCE: 45 MIL	TYPICAL PERFORMANCE: 60 MIL
Breaking Strength:	> 90%	> 90%
Elongation at Break:	> 90%	> 90%
Tearing Strength:	> 60%	> 60%
Weight of Change:	< 1%	< 1%
Linear Dimension Change:	< 1%	< 1%
Water Absorption:	< 3%	< 3%
Weather Resistance, 80 °C Black Panel, no cracking, crazing when wrapped around a 3" mandrel and inspected at 7X magnification:	> 20,160 kJ/m ²	> 20,160 kJ/m ²
Puncture Resistance:	265 (1,180)	300 (1,300)
Dynamic Puncture Resistance MD:	Pass (20 J)	Pass (40 J)
Dynamic Puncture Resistance CD:	Pass (35 J)	Pass (50 J)
Static Puncture Resistance:	Pass (25 kg)	Pass (25 kg)

Radiative Properties Cool Roof Rating Council

INITIAL/ 3YR	WHITE	TAN	GRAY
Solar Reflectance	0.79 / 0.68	0.61 / 0.55	0.34 / Pending
Thermal Emittance	0.85 / 0.83	0.81 / 0.84	0.89 / Pending
Solar Reflectance Index (SRI)	98 / 81	71 / 63	37 / Pending
Rated Product ID	0008		
Licensed Manufacturer ID	0608		
Classification	Production Line		

Energy Star®

INITIAL / 3 YR	WHITE	TAN
Solar Reflectance	0.79 / 0.78*	0.60 / 0.54
Thermal Emittance	0.85	0.81

*White membrane sample cleaned prior to age test.

LEED®

	WHITE	TAN	GRAY
Solar Reflectance – ASTM E 903	0.81	0.63	0.37
Thermal Emittance – ASTM E 408	0.95	0.95	0.95
Solar Reflectance Index (SRI) – ASTM E 1980	102	77	43



ENERGY STAR is only valid in the United States



OV-25
Short panel stamp with optional Stockton design trim insert.



Long panel stamp with optional Waterton design trim insert.

Prestige Plus

Delden's premium low maintenance doors are engineered to last. Choose from three different panel designs to create the steel garage door that enhances the beauty of your home. The *Prestige Plus* provides a heavier gauge steel with elegant "colonial style" embossments in a variety of colors. The *Ovation Plus* features elegant, contemporary styling at an economical price.

Ovation Plus

Enhanced safety features create a safe, secure and beautiful complement to your home.



"Experience the Quality"



Prestige Plus – Ovation Plus

- Delden's section interfaces are designed to reduce the risk of serious finger and hand injuries.
- All quality Delden hardware is hot-dip galvanized, including adjustable track, hinges, top and bottom fixtures and preformed aircraft-quality cable. Torsion and extension spring wire is tempered for long cycle life.
- Door sections are furnished with a baked-on polyester top coat over hot-dip galvanized steel.
- "Ruf-Tex" woodgrain finish simulates the beauty of real wood.
- Continuous U-shaped weatherstrip, applied to heavy-duty G-60 galvanized steel bottom retainer, conforms to out-of-level conditions and seals against inclement weather.
- Maintenance-free "finish" paint coating, available in 6 colors.
- Keyed lock system optional.

OPTIONS



SERIES 1000 Single-Layer: Steel

- Heavy-Duty Exterior Steel
- Durable, Reliable, Low Maintenance



SERIES 2000 Double-Layer: Steel + Insulation

- Heavy-Duty Exterior Steel
- Durable, Reliable, Low Maintenance
- Environmentally Safe Polystyrene Insulation with Vinyl Backing
- Energy Efficient

	PR-24 Plus Series 1000	PR-24 Plus Series 2000	OV25 Plus Series 1000	OV25 Plus Series 2000
Panel				
Short	✓	✓	✓	✓
Long	✓	✓	✓	✓
Flush	✓	✓	✓	✓
Door Thickness	2"	2"	2"	2"
Insulation	N/A	1 1/2" Polystyrene (R Value = 6.84)	N/A	1 1/2" Polystyrene (R Value = 6.84)
Steel Thickness (actual)	24 ga	24 ga	25 ga	25 ga
End Sills				
Galvanized	N/A	N/A	✓	✓
Painted	✓	✓	N/A	N/A
Exterior Color Options				
True White	✓	✓	✓	✓
Almond	✓	✓	✓	✓
Sandtone	✓	✓	✓	✓
Wicker Tan	N/A	N/A	✓	✓
Dark Brown	✓	✓	✓	✓
Terratone	N/A	N/A	✓	✓
Warranty				
Paint Finish	Lifetime	Lifetime	10 Year	10 Year
On Door Hardware	1 Year	1 Year	1 Year	1 Year

KANSAS CITY, MISSOURI

DEL DEN GARAGE DOORS

"Experience the Quality"

www.deldenmfg.com

WIND LOAD APPROVED
DOORS AVAILABLE

PLAIN



Short Panel



Long Panel

STOCKTON



SHERWOOD



SUNRISE



- Windows are available in a wide variety of design options, or "plain" (without design).
- Delden garage door exterior finish is easily painted if custom color matching is required. Consult factory for specific instructions.
- Series 1000 is uninsulated and Series 2000 is insulated.

Available Door Widths	Number of Panels Available for Window Installation	
	Short Panel Design	Long Panel Design
8', 9'	4	2
10'	5	2
12'	6	3
15'	6	4
16', 18'	8	4

PR-24 plus is available in heights from 6'-10' in 3" increments (except 7'3")

OV-25 plus is available in heights from 6'-8' in 3" increments (except 7'3")

COLORS

(Delden steel doors arrive pre-painted; for custom colors, exterior latex paint must be used. Ask your Delden dealer for instructions on painting.)



*NOT ALL COLORS AVAILABLE. SEE CHART FOR REFERENCE

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French / Patio Doors

Transoms

Jambs and Trims

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Builders & Volume Buyers



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Tuscan Style Hand Carved Double Door in Solid Mahogany

Model: Model 33-2 - Tuscany

Brand: AAW Doors Inc.

Customize and Buy

Double Door Size (WxH)

2 x 30"x80" (2 x 2'-6"x6'-8")

Pre-Hanging :

No

What's This?

Your price:

\$1,960.00

Ground Shipping: \$230.00

Add to Cart

Shipping rates are \$195 for the first door and \$35 for each additional door or sidelite

TOP BRANDS



TRUSTED STORE



Description Pre-Hanging Factory Finish Shipping Reviews Warranty & Care

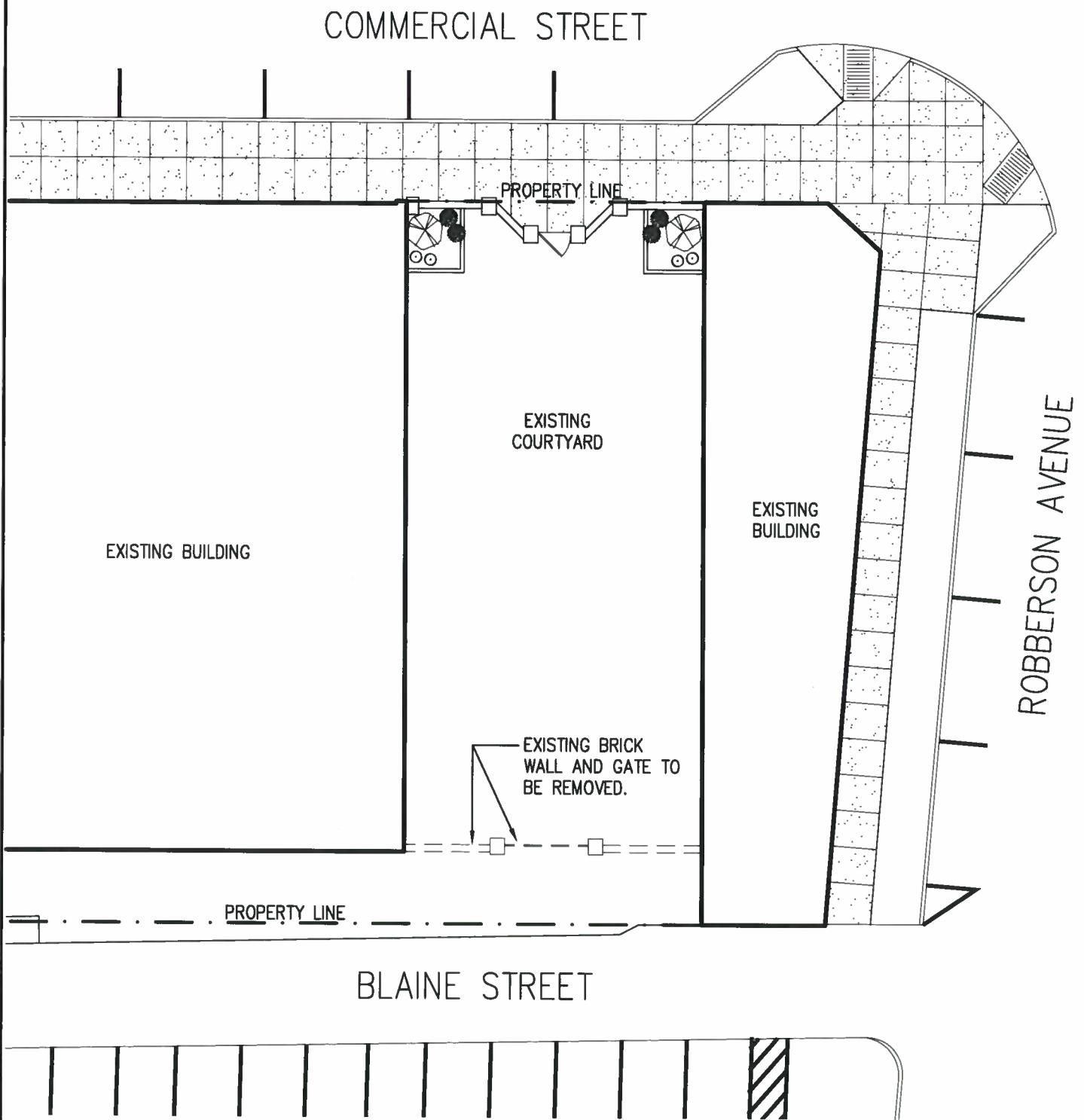
Crafted from hand-selected Mahogany of the highest quality to ensure optimal performance and unmatched beauty

True Mahogany wood door(no thin veneer over particle board)

Old world mortise and tenon joinery

Wood is carefully kiln-dried for trouble free use and is ready for staining or painting

Each door is hand carved by renowned master carvers



C1.1

EXISTING SITE PLAN LAYOUT

scale: 1" = 20'-0"



Garage Addition for: C-Street Savoy

224 E. Commercial Street
Springfield, MO 65803

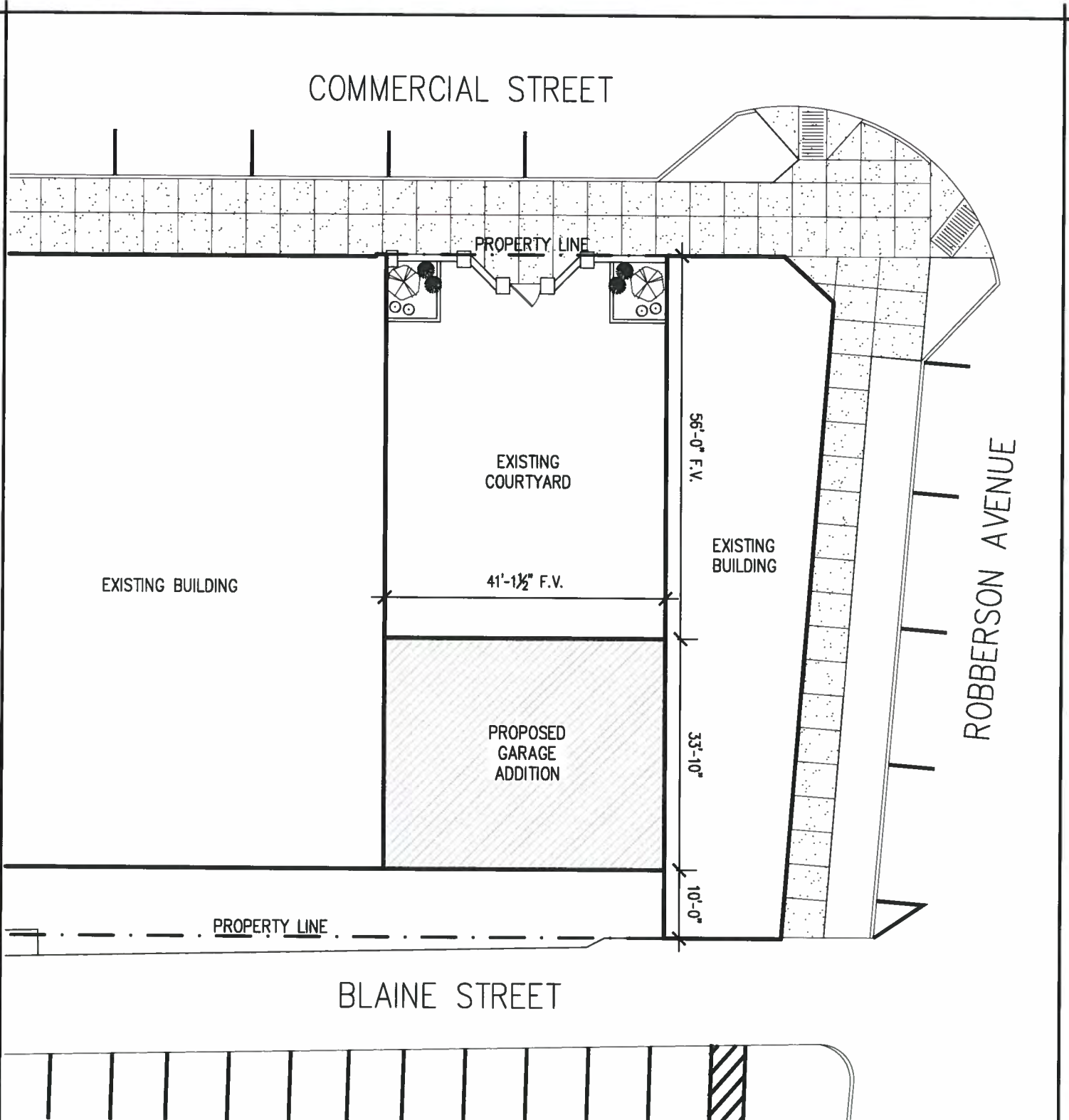


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pg 1



C1.1

PROPOSED SITE PLAN LAYOUT

scale: 1" = 20'-0"



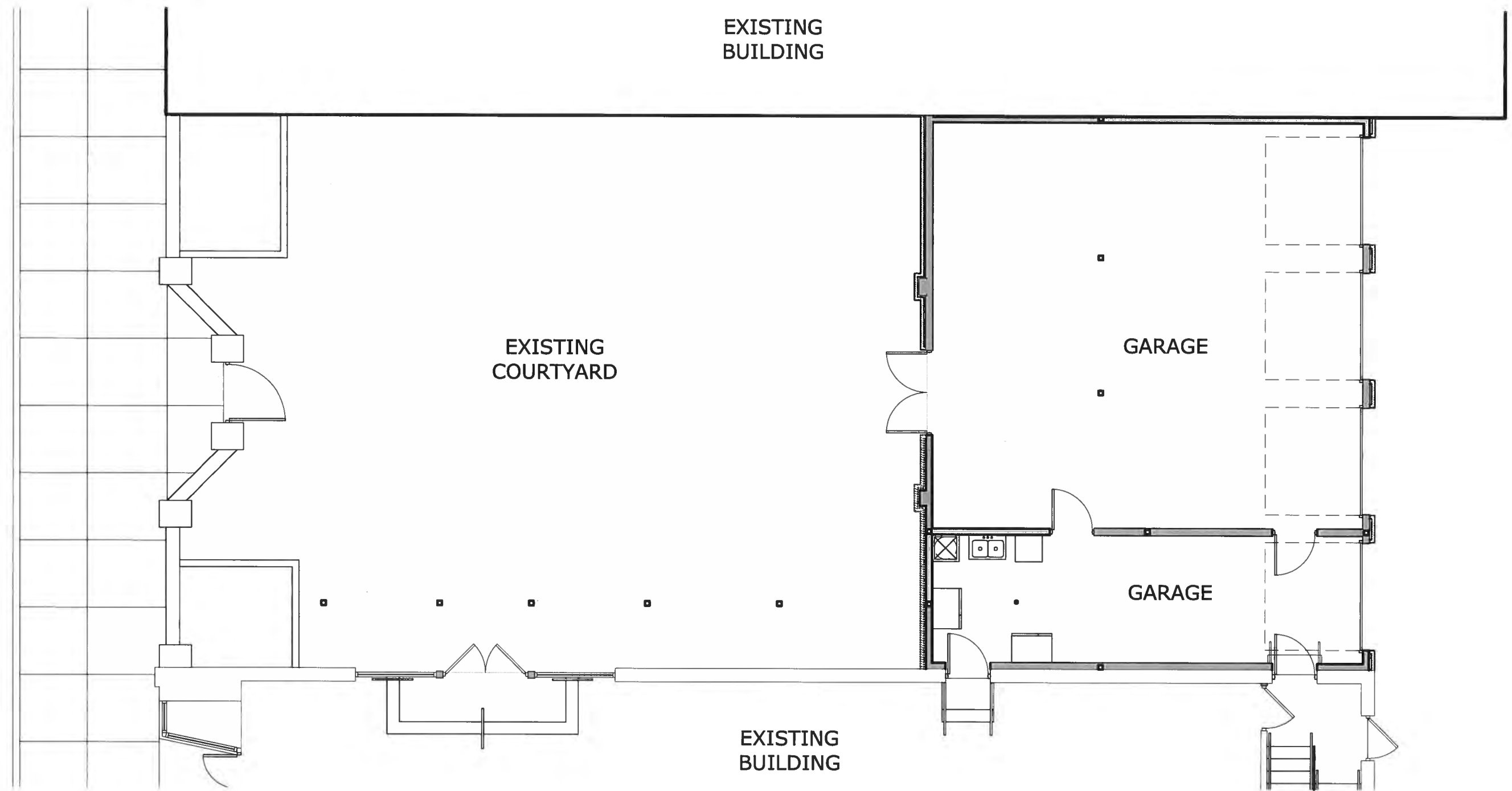
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pg 2



1A **MAIN LEVEL FLOOR PLAN**
A1.1 scale: 1/8" = 1'-0"



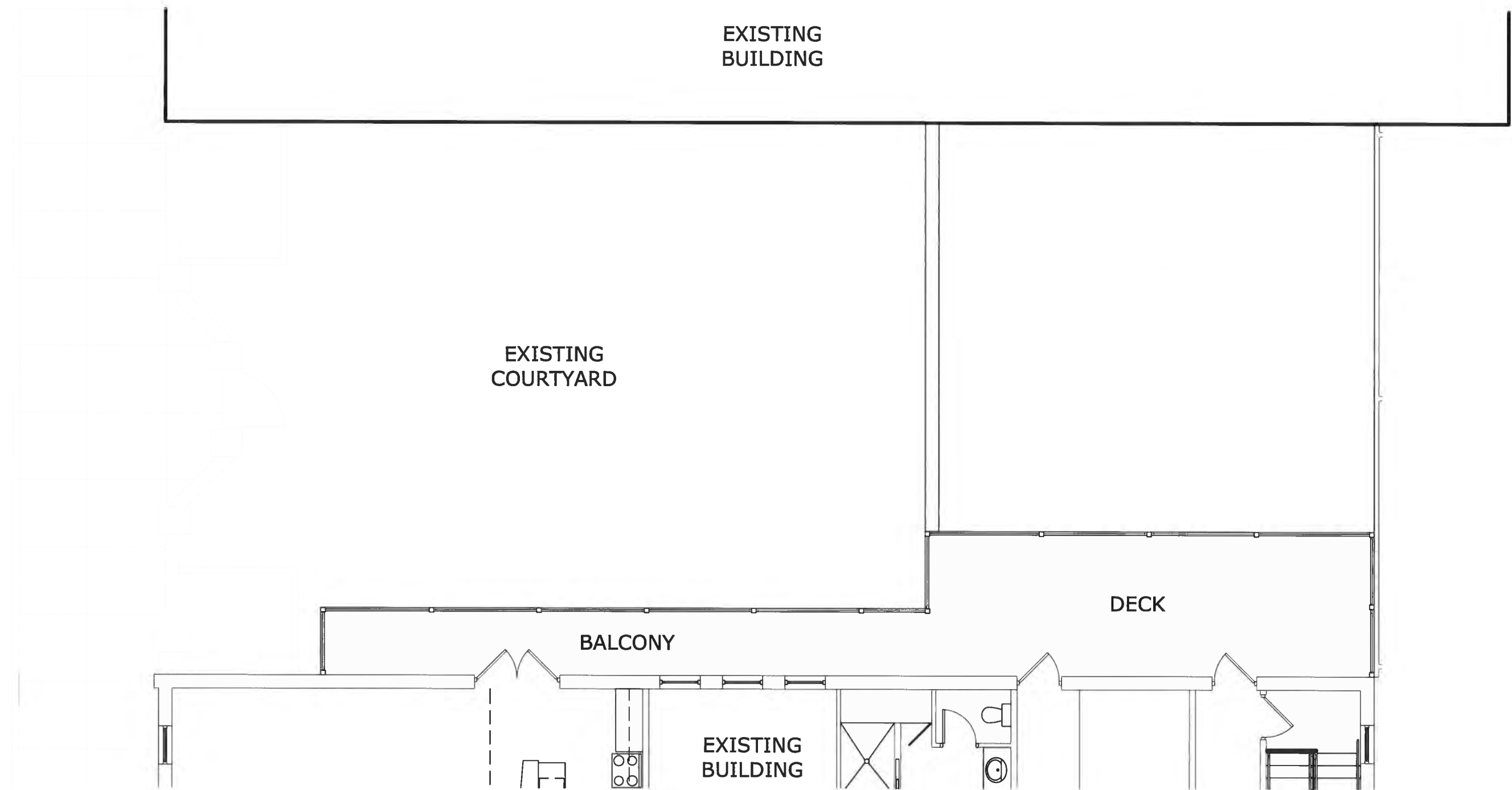
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pg 3



1A **SECOND LEVEL FLOOR PLAN/ROOF PLAN**
A1.2 scale: 1/8" = 1'-0"



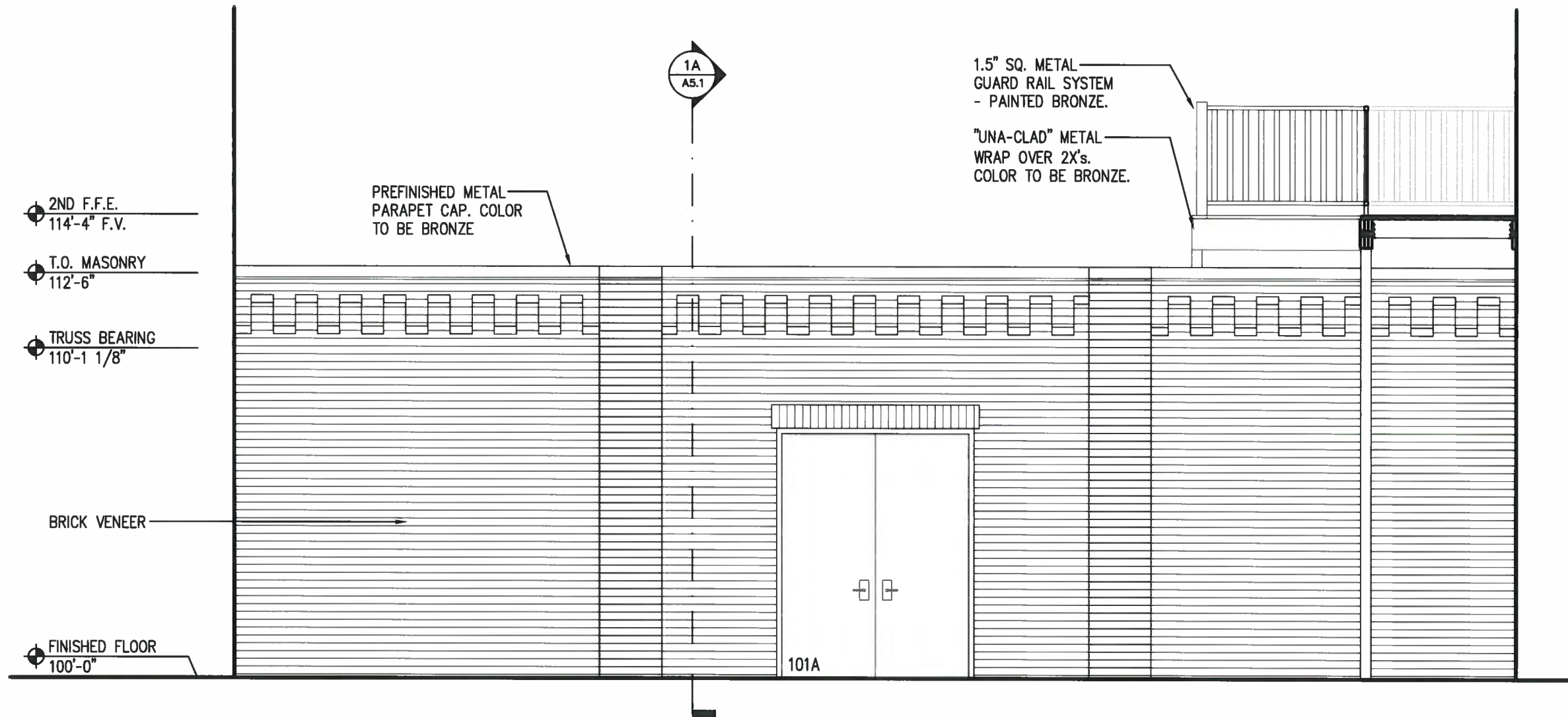
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pg 4



7G **EXTERIOR BUILDING ELEVATION - NORTH**
A1.2 scale: 1/4" = 1'-0"

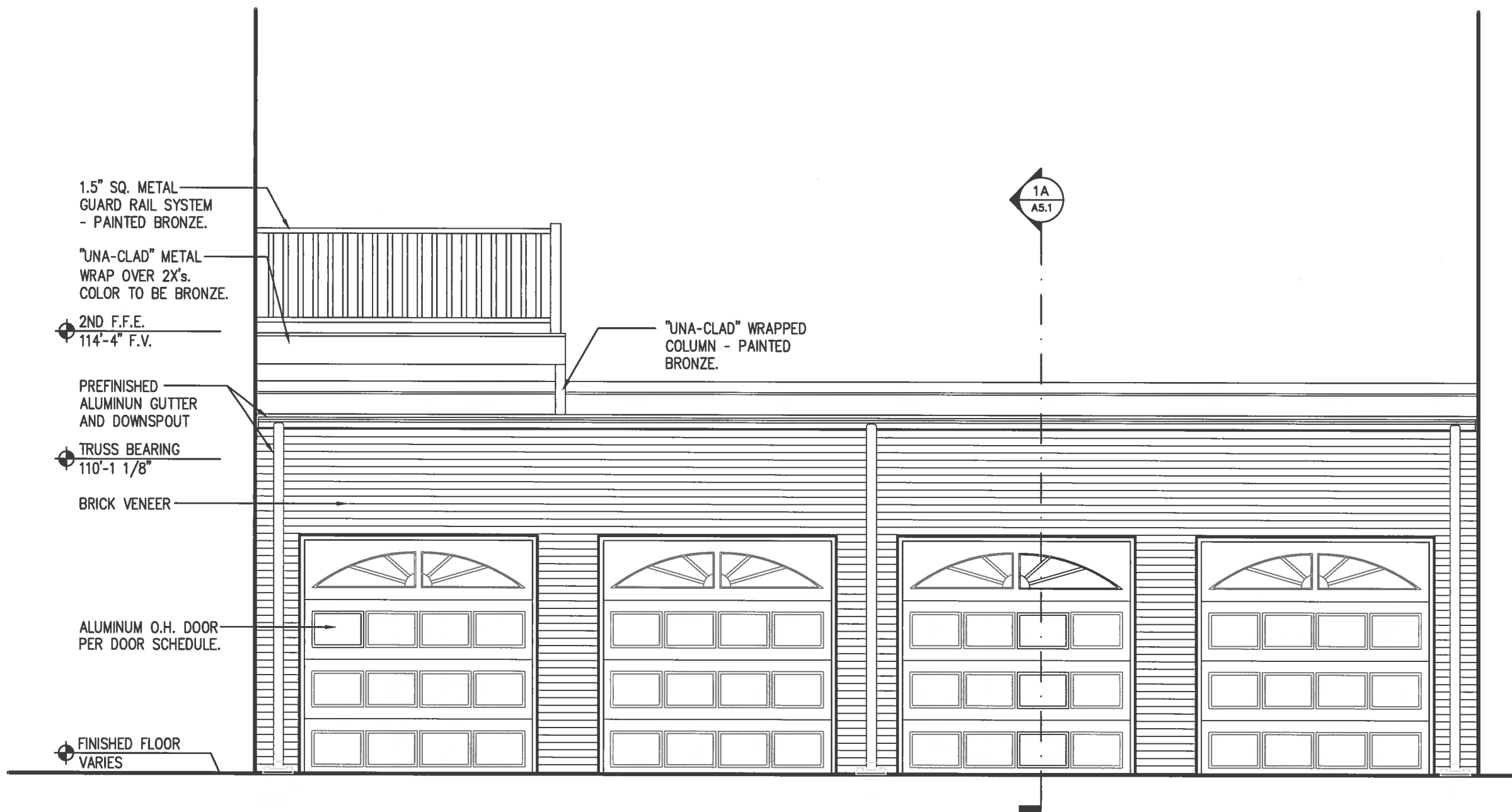
Garage Addition for: C-Street Savoy

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pg 5



7A EXTERIOR BUILDING ELEVATION - SOUTH
A1.2 scale: 1/4" = 1'-0"

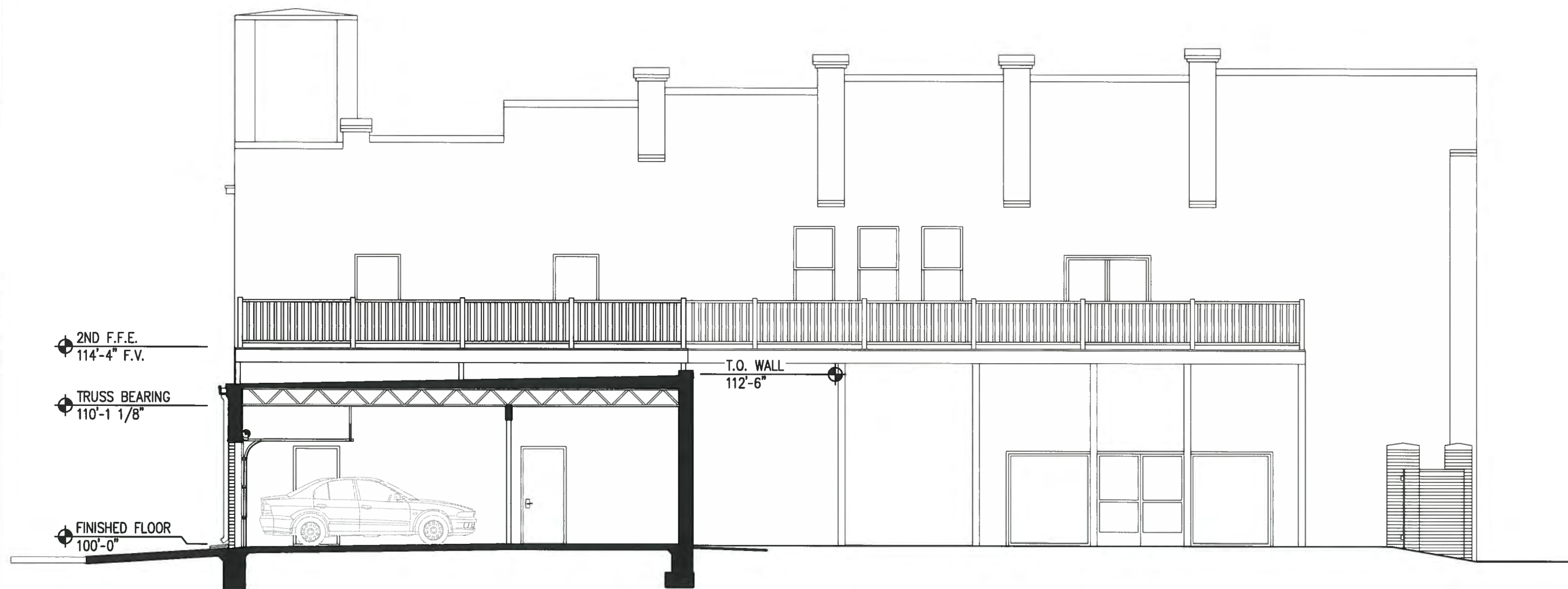
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pg 6



1A **OVERALL BUILDING SECTION**
A5.1 scale: 1/8" = 1'-0"

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pg 7

Mid-Century Modern Evaluation

Potential Structures:

- 1) Trinity Luthern Church - Dick Stahl (year)
- 2) Kingsway Church - Dick Stahl (year)
- 3) Bank - Corner of Walnut & Park Central Square - Dick Stahl (year)
- 4) Groce & DeArmon, P.C. Office - 1705 N. Jefferson Ave. - attorney office(architect, year built)
- 5) Empire Insurance Agency- 1436 S. Glenstone Ave. - SOM
- 6) Empire Bank - 1800 S. Glenstone Ave. - SOM
- 7) US Bank Building - 405 E. St. Louis St. (architect, year built)
- 8) UMB Bank - 1804 E. Turner St. (architect, year built)
- 9) Olsson Associates - 550 E. St. Louis 65806 (architect, year built)
- 10) Lohmeyer Herman H Funeral Home (addition) - 500 E. Walnut St. 65806 (architect, year built)
- 11) St. Joseph Catholic School - 515 W. Scott St. (architect, year built)
- 12) Jimmy Johns - 322 W. Walnut. (architect, year built)

University Structures:

- U1) MSU - Sunvilla Towers - Dick Stahl (year)
- U2) MSU Pummill Hall - Dick Stahl (year)
- U3) MSU Alumni Building - Jefferson - Dick Stahl w/ Dennis Spencer (year)
- U4) Bay Hall - Drury University - Dick Stahl (year)
- U5) Breech School of Business - Dick Stahl (year)
- U6) Congregational Hall - Dick Stahl (year)

Housing:

1



2



3



4



5



6



7



8



9



10



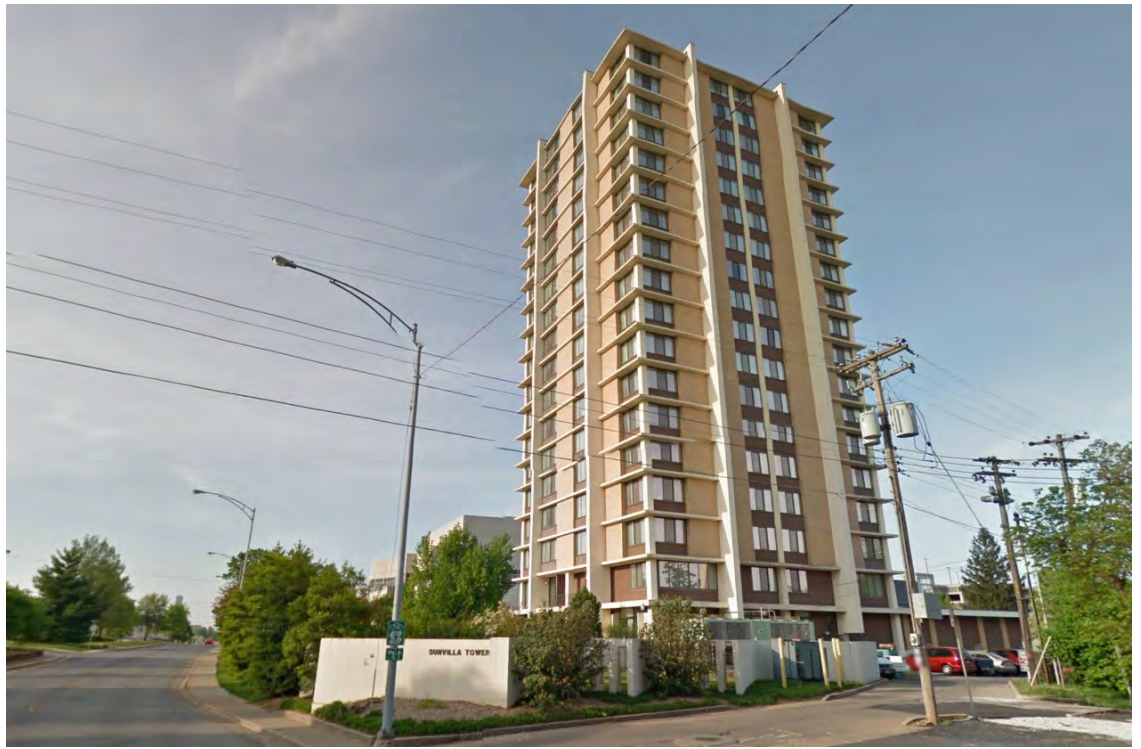
11



12



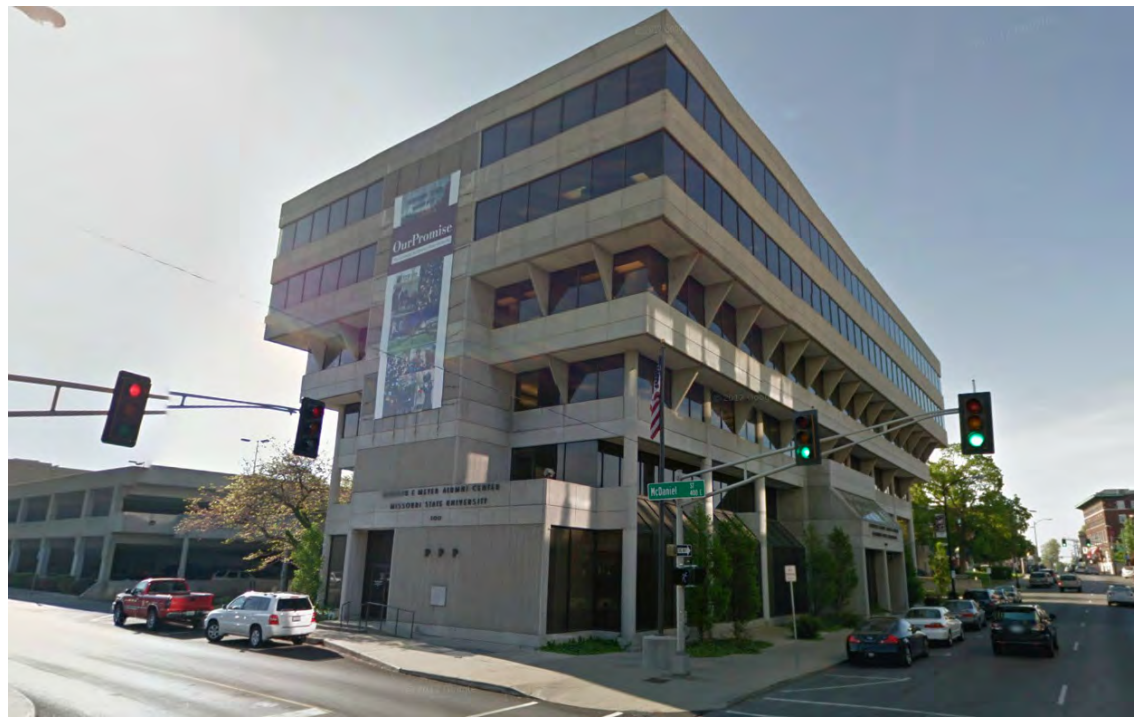
U1



U2



U3



U4



U5



U6

