

Springfield Land Clearance for Redevelopment Authority

Tuesday, December 6, 2022 -

*Conference Room 2-West, Busch Municipal Building
840 N. Boonville Avenue, Springfield, MO 65802*

1. Call To Order

2. Roll Call

3. Approval Of Minutes

3.1. Minutes - October 4, 2022

Documents:

[MINUTES LCRA OCTOBER 4 2022.PDF](#)

4. New Business

**4.1. Request For Real Property Tax Abatement For Redevelopment
Project Inside The Kearney Street Corridor Redevelopment Area
Located At 2355 North Glenstone Avenue; Missouri Commercial
Development, LLC; Applicant**

Documents:

[WHATABURGER SPRINGFIELD ABATEMENT APPLICATION.PDF](#)

5. Other Business

6. Adjourn

Springfield Land Clearance for Redevelopment Authority

**Tuesday, October 4, 2022, at 4:00 PM
Conference Room 2-West
Busch Municipal Building
840 N Boonville Ave, Springfield, MO**

Minutes

1. Call to Order

2. Roll Call

Present: Ryan Cosby, Ben Edmondson, and Dan Scott

Absent: Nancy Herchenroeder and Stephanie Shadwick

Others Present: Adam Jones, Planner with PGAV (Zoom)

Staff: Amanda Ohlensehlen, Matt Schaefer, Bill Weaver, and Jill Burris

Staff Absent: Judy White

3. Approval of Minutes – September 6, 2022

Ben Edmondson made a motion to approve. Dan seconded the motion. Motion was approved (3-0, Nancy Herchenroeder and Stephanie Shadwick absent)

4. New Business

- a. Blight Report and Redevelopment Plan for the Grant Avenue Parkway Redevelopment Area, an approximately 265.3-acre area that is generally bounded by West Olive Street to the north, West Catalpa Street to the South, South Campbell Avenue to the east, and South Douglas Avenue to the west; City of Springfield, Applicant

Dan Scott made a motion to approve the Blight Report in conjunction with the Redevelopment Plan for the Grant Avenue Parkway Redevelopment Area. Ben Edmondson seconded the motion. Motion was approved (3-0, Nancy Herchenroeder and Stephanie Shadwick absent).

5. Other Business

None

6. Adjourn

Ben Edmondson made a motion to adjourn at 4:25 p.m. Dan Scott seconded the motion. Motion was approved (3-0, Nancy Herchenroeder and Stephanie Shadwick absent)





Land Clearance for Redevelopment Authority
Application for Real Property Tax Abatement

Sections 99.700-99.715, RSMo

Property Address: 2355 N. Glenstone Ave. Springfield, MO 65803

Redevelopment Area: Kearney Street Corridor Redevelopment Area

Developer Name: W Missouri Commercial Development, LLC, a Missouri limited

Contact Person: Brett Roubal liability company

Mailing Address: 4640 Stonebrook Ct. Springfield, MO 65809

Telephone: 417-576-6620 Fax: _____

Email: b-roubal@yahoo.com

Does Applicant Own or Lease the Property? OWN

Signature: Brett Roubal

Date: 11/4/22

Printed Name: Brett Roubal

Required Attachments:

- Legal description of project
- ~~\$455~~ application fee \$604
- Ten (10) hard copies and one electronic (.pdf) copy of the following:
 - Narrative identifying the scope of the proposed project
 - Site plan and floor plans
 - Concept plan and/or renderings, if available
 - Narrative describing relationship of project to the adopted redevelopment or urban renewal plan for the area.

- If property is located in the *Downtown Redevelopment Area*, please note additional requirements on page 2 of this application.



Real Estate Summary

2355 N. Glenstone Ave

Springfield, MO

The site is a redevelopment of an older and outdated motel that as a total area of approximately 2.57 acres. Following the development of the Whataburger site the remainder is approximately 1.45 acres. The development will have access to E. Kearney St., N. Glenstone Ave. and E. Turner either directly or via access easement drives. Landlord has removed all improvements, delivering rough graded pads, bringing all utilities to the property line, relocating the power pole and doing all adjoining critical access drives to the property from neighboring property. The Whataburger building is 3,751 square feet with the necessary parking and a two-lane drive through. The remaining 1.45 acres is to be developed in the future.



Whataburger Springfield, Missouri Narrative

“The Springfield Inn was the very definition of blight, being approximately 35 years-plus old and in extremely deteriorated condition. In fact, when the motel buildings were vacated at the end of December 2021, they instantly became the source of constant calls to local police and fire for criminal and other suspicious activity. Since then, all buildings and improvements have been demolished, new entryways on the property have been constructed in a consolidation of multiple curb-cuts onto Glenstone Avenue, and a Whataburger restaurant is being built thereon. These facts comply with the requirements and intent of the Redevelopment Plan. Specifically, the Whataburger restaurant is a commercial use that will generate additional sales tax and, ultimately, additional real estate tax revenues. Its development complied with Glenstone Avenue frontage requirements, and landscaping and building material requirements as well, as more fully shown in this application and all exhibits attached hereto.”

The Whataburger building has frontage on N. Glenstone Avenue with access to E. Kearney Street and E. Turner Street. Being new construction all landscaping and material requirements have been met.



ALTA/ NSPS LAND TITLE SURVEY
FOR
AMERICAN COMMERCIAL DEVELOPMENT LLC

BEING A PART OF THE NORTHEAST QUARTER OF
SECTION 7, TOWNSHIP 29 NORTH, RANGE 21 WEST
SPRINGFIELD, GREENE COUNTY, MISSOURI

PROPERTY DESCRIPTION: CHICAGO TITLE INSURANCE COMPANY
TITLE COMMITMENT #KCC211193 DATED MAY 14, 2021

TRACT 1:

A TRACT OF LAND LOCATED IN SECTION SEVEN (7), TOWNSHIP TWENTY-NINE (29), RANGE TWENTY-ONE (21), ALL BEING IN GREENE COUNTY, MISSOURI, AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE NORTHEAST CORNER OF SAID SECTION SEVEN (7); THENCE SOUTH 00°26'49" WEST A DISTANCE OF 463.47 FEET TO A POINT FOR CORNER; THENCE NORTH 89°26'32" WEST A DISTANCE OF 264.38 FEET TO THE POINT OF BEGINNING; THENCE SOUTH 00°16'43" WEST A DISTANCE OF 129.84 FEET TO A POINT FOR CORNER; THENCE NORTH 89°15'41" WEST A DISTANCE OF 83.44 FEET TO A POINT FOR CORNER; THENCE SOUTH 00°10'02" EAST A DISTANCE OF 185.08 FEET TO A POINT FOR CORNER; THENCE SOUTH 89°15'58" WEST A DISTANCE OF 111.36 FEET TO A POINT FOR CORNER; THENCE SOUTH 89°54'06" WEST A DISTANCE OF 117.37 FEET TO A POINT FOR CORNER; THENCE NORTH 00°10'02" WEST A DISTANCE OF 320.46 FEET TO A POINT FOR CORNER; THENCE SOUTH 89°11'01" EAST A DISTANCE OF 235.13 FEET TO A POINT FOR CORNER; THENCE SOUTH 89°25'32" EAST A DISTANCE OF 78.09 FEET TO THE POINT OF BEGINNING, ALL IN GREENE COUNTY, MISSOURI.

TRACT 2:

A TRACT OF LAND LOCATED IN SECTION SEVEN (7), TOWNSHIP TWENTY-NINE (29), RANGE TWENTY-ONE (21); ALL BEING IN GREENE COUNTY, MISSOURI, AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE NORTHEAST CORNER OF SAID SECTION SEVEN (7); THENCE SOUTH 00°26'49" WEST A DISTANCE OF 463.47 FEET TO A POINT FOR CORNER; THENCE NORTH 89°26'32" WEST A DISTANCE OF 40.29 FEET TO A POINT ON THE WEST RIGHT-OF-WAY OF BUSINESS LOOP 44 (GLENSTONE AVENUE) WHICH IS THE POINT OF BEGINNING; THENCE NORTH 89°26'32" WEST A DISTANCE OF 302.18 FEET TO A POINT FOR CORNER; THENCE NORTH 00°21'58" EAST A DISTANCE OF 400.25 FEET TO A POINT FOR CORNER; THENCE SOUTH 89°54'20" EAST A DISTANCE OF 143.80 FEET TO A POINT ON A CURVE; THENCE ALONG A CURVE TO THE RIGHT HAVING A RADIUS OF 270.33 FEET, A DELTA OF 43°40'33", AN ARC LENGTH OF 206.07 FEET AND A CHORD WHICH BEARS SOUTH 45°42'47" EAST HAVING A CHORD DISTANCE OF 201.12 FEET TO A POINT FOR CORNER; THENCE SOUTH 10°42'05" EAST A DISTANCE OF 73.41 FEET TO A POINT FOR CORNER; THENCE SOUTH 00°32'22" EAST A DISTANCE OF 190.40 FEET TO THE POINT OF BEGINNING, ALL IN GREENE COUNTY, MISSOURI.

CHICAGO TITLE INSURANCE COMPANY, SCHEDULE B-2 EXCEPTIONS
COMMITMENT NO.: KCC211193, EFFECTIVE DATE: MAY 14, 2021.

SCHEDULE B - SECTION II (EXCEPTIONS):

8. Rights of the Public, State of Missouri, County of Greene, City of Springfield, in and to a portion of subject property, as dedicated for road purposes in conveyance to the State of Missouri, acting by and through the State Highway Commission of Missouri recorded August 29, 1957 in Book 1100 page 579. No longer the current west right of way of Glenstone (formerly Hwy 65)
9. Rights of the Public, State of Missouri, County of Greene, City of Springfield, in and to a portion of subject property, as dedicated for road purposes in conveyance to the State of Missouri, acting by and through the State Highway Commission of Missouri recorded April 8, 1959 in Book 1120 page 640. Same description as number 8 above.
10. Limited direct access to Highway No. Route 66 (Kearney Street) from the Land, by existing frontage road or curb cuts onto the Highway, or by proposed frontage roads or curb cuts onto the Highway. Remaining access having been taken by the State of Missouri, under Condemnation Case No. 63696-3, filed in Circuit Court of Greene County, Missouri and the Report of Commissioners recorded June 24, 1971 at Book 1540 page 1239. Is shown on survey
11. Certificate of Approval for Minor Subdivision recorded November 5, 1982 in Book 1795 page 1870. Is shown on survey
12. Joint Agreement for Mutual Easements for Ingress and Egress recorded December 3, 1982 in Book 1797 page 647. Is shown on survey
13. Access Easement recorded March 1, 1989 in Book 2047 page 1776. (Affects Tracts 1 & 2) IS SHOWN ON SURVEY LOCATED ON TRACT 2
14. Temporary Easement for Highway Purposes in favor of the State of Missouri, acting by and through the Missouri Highways and Transportation Commission recorded January 26, 2018 in Book 2018 page 002969-18. (Affects Tract 2) DOES NOT AFFECT SURVEY

NOTES:

1. THE SURVEY SHOWN HEREON WAS PERFORMED TO MEET OR EXCEED THE REQUIREMENTS FOR URBAN CLASS PROPERTY.
2. BEARINGS ARE ASSUMED.
3. THE SURVEY SHOWN IS BASED ON THE PROPERTY DESCRIPTION AS SHOWN IN FROM CHICAGO TITLE INSURANCE COMPANY, CHICAGO TITLE COMPANY, LLC, ISSUING OFFICE, COMMITMENT NO. KCC211193 WITH AN EFFECTIVE DATE OF MAY 14, 2021.
4. NO ATTEMPT HAS BEEN MADE AS A PART OF THIS SURVEY TO OBTAIN OR SHOW DATA CONCERNING THE EXISTENCE OF, OR THE LOCATION OF, FLOODWAYS AND SINKHOLES. THE LOCATION OF UNDERGROUND UTILITIES, AS SHOWN, IS BASED ON INFORMATION PROVIDED BY OTHERS. NO ATTEMPT HAS BEEN MADE AS PART OF THIS SURVEY TO OBTAIN OR SHOW DATA CONCERNING DEPTH, CONDITION, OR CAPACITY OF ANY UNDERGROUND UTILITY.
5. SOURCE OF TITLE BOOK 2013 PAGE 53730-13
6. THIS SURVEY IS IN COMPLIANCE WITH THE MISSOURI STANDARDS FOR PROPERTY BOUNDARY SURVEYS.

TABLE A ITEMS:

1. ALL LOT CORNERS WITHOUT EXISTING MONUMENTATION WILL BE MONUMENTED WITH 5/8" IRON PINS CAPPED LC-2007008003 OR AS NOTED.
2. PROPERTY ADDRESS: 2355 N. GLENSTONE AVE, SPRINGFIELD, MO 65803
3. ACCORDING TO FEMA COMMUNITY-PANEL NUMBER 29077C0219E, DATED DECEMBER 17, 2010 THE PROPERTY IS LOCATED IN ZONE X, AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN.
4. GROSS LAND AREA: 4.5 ACRES (195,895 SQUARE FEET)
5. CONTOURS ARE SHOWN AT ONE FOOT INTERVAL FROM AN ACTUAL SURVEY OF THE EXISTING GROUND LYING SOUTH OF THE DRAINAGE EASEMENT AND BASED ON CITY OF SPRINGFIELD BENCHMARK 235A, ELEVATION 1359.36
- 7b1. EXISTING BUILDINGS SHOWN ON SURVEY
8. SUBSTANTIAL FEATURES WERE OBSERVED AND SHOWN ON THE SURVEY
11. OBSERVED EVIDENCE OF UNDERGROUND UTILITIES ARE SHOWN ON SURVEY LOCATION OF THESE UTILITIES IS BASED ON INFORMATION PROVIDED BY OTHERS
13. ADJOINING OWNERS SHOWN ON SURVEY

DATE PREPARED JUNE 07, 2021
REVISED JULY 26, 2021 (NEW TITLE COMMITMENT)

CERTIFICATION:

TO WHATABURGER RESTAURANTS, LLC AND CHICAGO TITLE COMPANY.

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2016 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 1, 2, 3, 4, 5, 7b(1), 8, 11, AND 13 OF TABLE A THEREOF. THE FIELDWORK WAS COMPLETED ON MAY 28, 2021.

JAMES A. VAUGHAN, PLS 2555
CJW, L.L.C. LC-2007008003

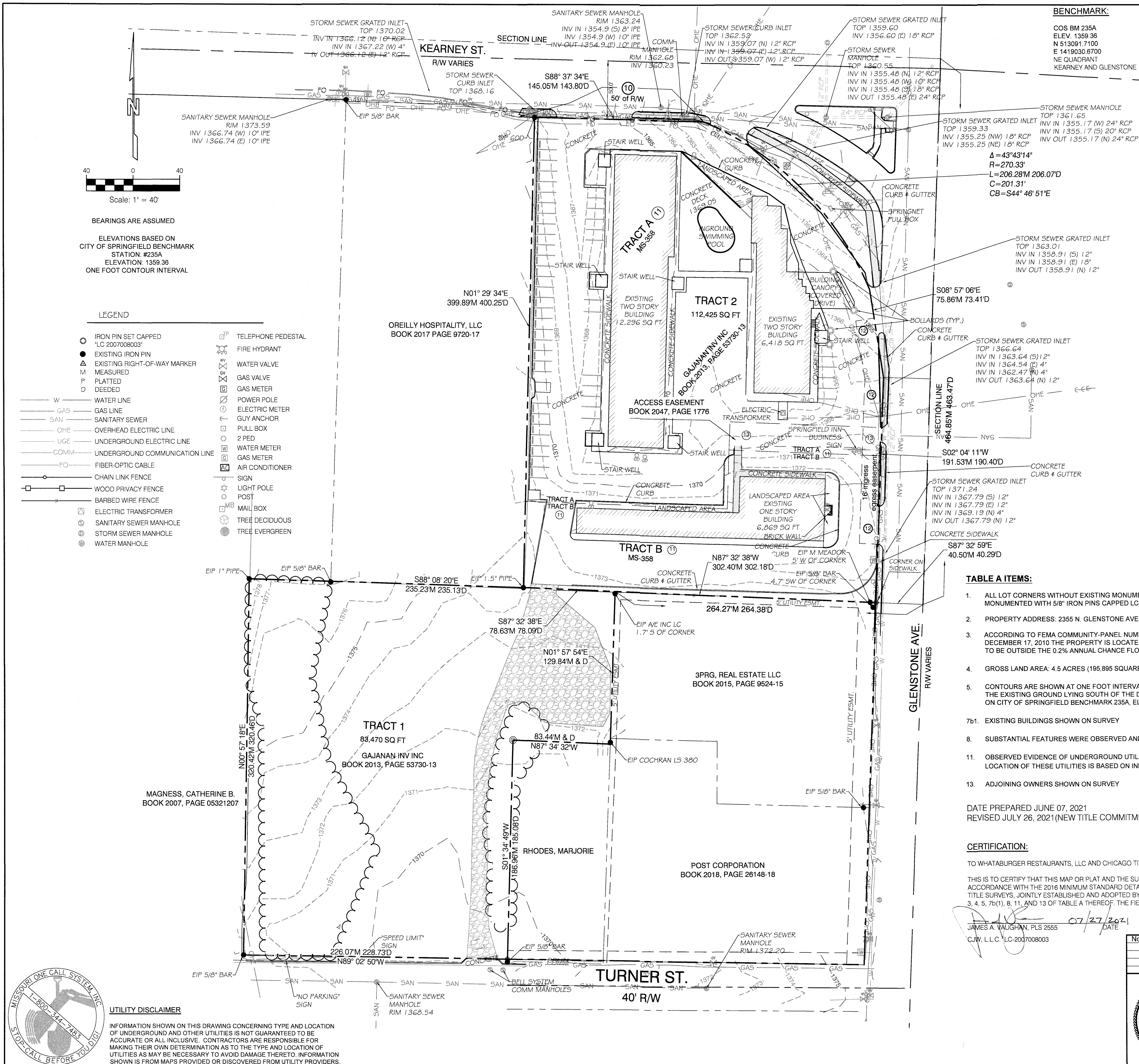
No.:	Revision:	Date:
MISSOURI COMMERCIAL DEVELOPMENT 2355 N GLENSTONE AVE		
SPRINGFIELD MISSOURI NE 1/4 SEC. 7 T29N R21W		
SURVEY BY CJW	DESIGN CJW	SCALES HOR 1"=40'
DATE 6/10/2021	DRAWN CJW	OF 1 SHEETS
DWG 21065 SURVEY.DWG	CHECKED CJW	FILE NO. 21065

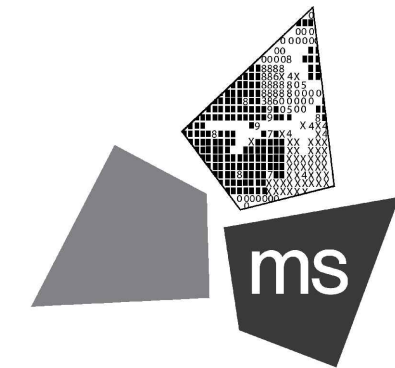
Prepared by:

CJW

CJW Transportation Consultants, L.L.C.
Missouri Certificate of Authority #2007008003
5051 S. National Suite 7A Springfield, MO 65810
Tel: 417.889.3400 Fax: 417.889.3402
www.GoCJW.com

JOSEPH STATE OF MISSOURI
JAMES A. VAUGHAN
NUMBER PLS-2355
10-27-2021
ALTA/NSPS LAND SURVEY





ms consultants, inc.
engineers, architects, planners
2221 Schrock Road
Columbus, Ohio 43229-1547
phone 614.898.7100
fax 614.898.7570

PROPOSED PT20M
BUILDING

N. GLENSTONE AVE & E.
KEARNEY ST
SPRINGFIELD, MO 65804

PRELIMINARY SITE PLAN

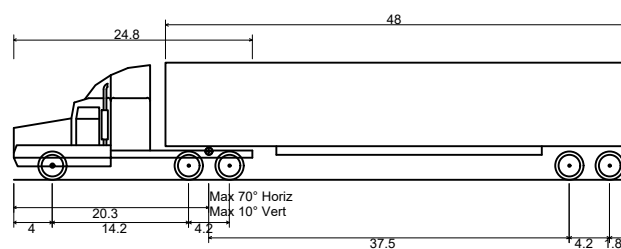
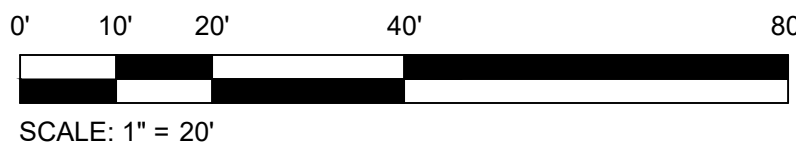
DRAWN BY: TDE

CHECKED BY: KEA

PROJECT NO: 40497-08

DRAWING

PSP - 1.0



Whataburger Sygma 70°	
Overall Length	63.800ft
Overall Width	8.500ft
Overall Body Height	12.227ft
Min Body Ground Clearance	1.422ft
Track Width	8.500ft
Lock-to-lock time	6.00s
Curb to Curb Turning Radius	32.000ft

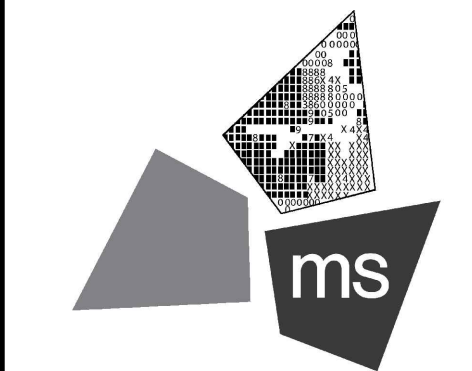
COMMENTS:

1. EXISTING BUILDINGS AND SITE IMPROVEMENTS WILL NEED TO BE DEMOLISHED BEFORE CONSTRUCTION OF THE PROPOSED PROJECT
2. BASED ON INFORMATION FROM GOOGLE EARTH, THE SITE APPEARS TO BE FULLY DEVELOPED AND MOSTLY IMPERVIOUS AREA. IF THIS ASSUMPTION IS CORRECT, NO STORMWATER DETENTION WILL BE NEEDED. A DIRECT CONNECTION COULD BE MADE TO EXISTING STORMWATER INFRASTRUCTURE.
3. THE MAX IMPERVIOUS COVER ALLOWED IS 80%. THE SITE IS CURRENTLY AT 79.6% AND MEETS THE REQUIREMENT.
4. NO REQUIRED LANDSCAPE BUFFERS BUT PERIMETER LANDSCAPING REQUIREMENTS APPLY.
5. FRONT AND REAR CROSS ACCESS PROPOSED THROUGH THE ADJACENT PAD SITES.
6. THE CURRENT PLAN DOES NOT MEET PARKING REQUIREMENTS. THE FEASIBILITY OF A SHARED PARKING AGREEMENT SHOULD BE INVESTIGATED.
7. DETACHED SIGNS ARE NOT ALLOWED WITHIN 50 FT. OF OF THE CENTERLINE OF PRIMARY ARTERIAL STREETS SUCH AS N. GLENTONE. SIGN APPEARS TO MEET REQUIREMENTS BUT MEASUREMENT WILL NEED TO BE CONFIRMED WITH ALTA SURVEY.
8. LANDSCAPE ISLANDS OR DRIVE AISLES OFF WHATABURGER PROPERTY HAVE NOT BEEN ADJUSTED TO MEET REQUIREMENTS.

SITE DATA

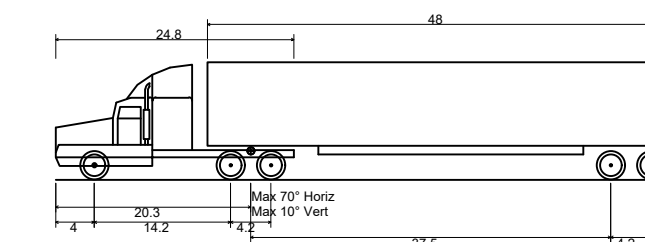
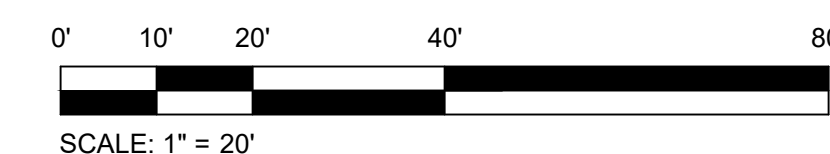
LOT AREA	=	48,890 SF	1.12 AC.
PARKS	=	49 (54 REQ'D @ 1 PER 70 SF)	

THIS ARCHITECTURAL AND ENGINEERING DRAWING IS GIVEN IN CONFIDENCE AND SHALL BE USED ONLY PURSUANT TO THE AGREEMENT WITH THE ARCHITECT. NO OTHER USE, DISSEMINATION, OR DUPLICATION MAY BE MADE WITHOUT PRIOR WRITTEN CONSENT OF THE ARCHITECT. ALL COMMON LAW RIGHTS OF COPYRIGHT AND OTHERWISE ARE HEREBY SPECIFICALLY RESERVED.



PROJECT
PROPOSED PT20M
BUILDING
N. GLENSTONE AVE &
KEARNEY ST
SPRINGFIELD, MO 658

DRAWN BY:		TDB
CHECKED BY:		KEA
PROJECT NO:		40497-08
DRAWING		
PSP - 1.0		

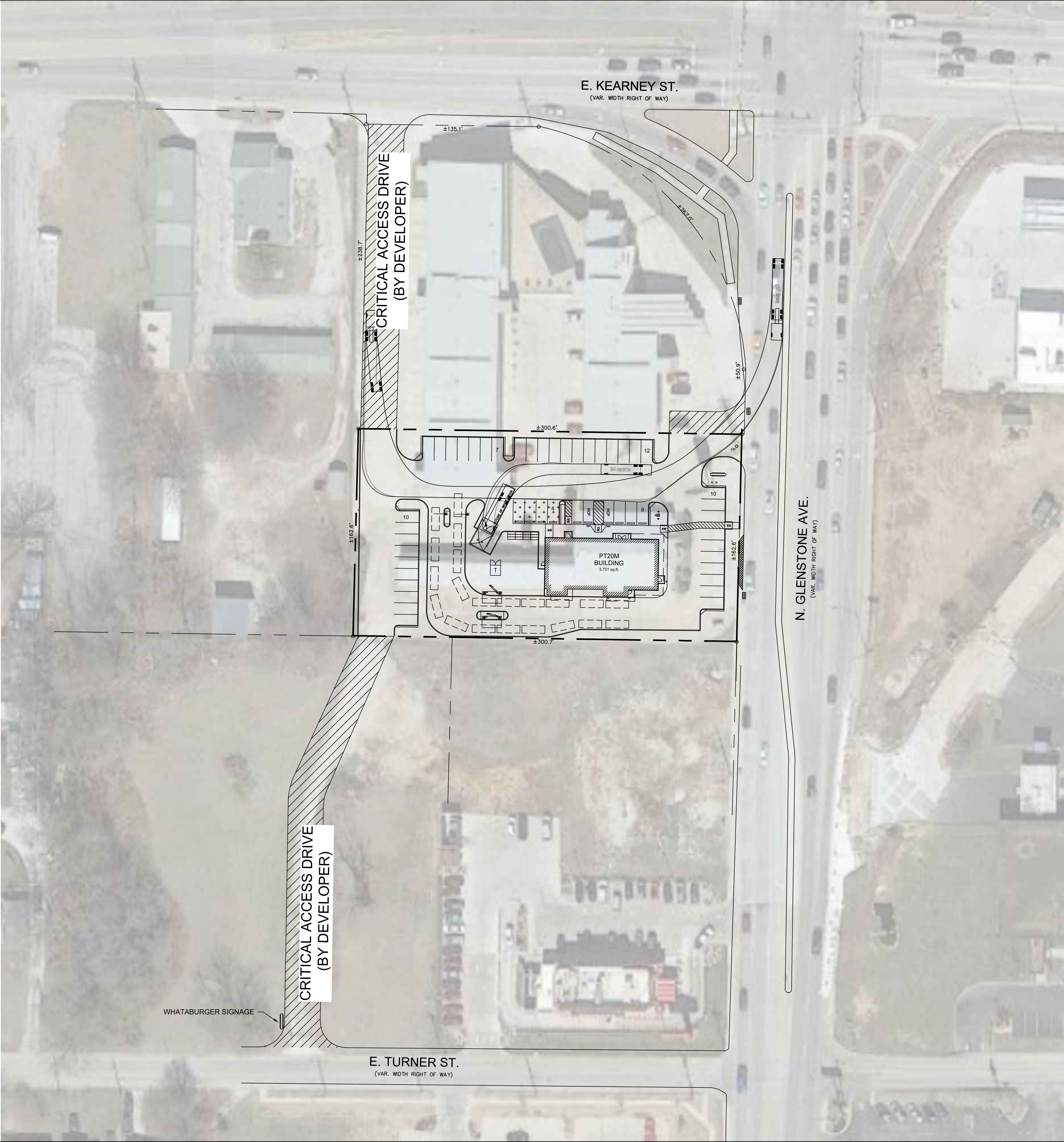


Whataburger Sygma 70°	
Overall Length	63.800ft
Overall Width	8.500ft
Overall Body Height	12.227ft
Min Body Ground Clearance	1.422ft
Track Width	8.500ft
Lock-to-lock time	6.00s
Curb to Curb Turning Radius	32.000ft

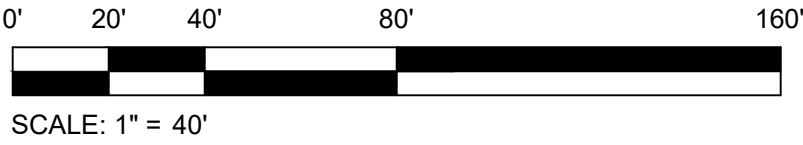
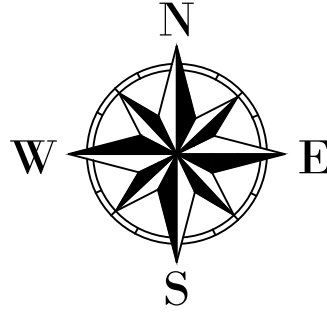
1. EXISTING BUILDINGS AND SITE IMPROVEMENTS WILL NEED TO BE DEMOLISHED BEFORE CONSTRUCTION OF THE PROPOSED PROJECT. THE CONNECTION OF THE PROPOSED DRIVEWAYS IS THE RESPONSIBILITY OF THE DEVELOPER.
2. BASED ON INFORMATION FROM GOOGLE EARTH, THE SITE APPEARS TO BE FULLY DEVELOPED AND MOSTLY IMPERVIOUS AREA. IF THIS ASSUMPTION IS CORRECT, NO STORMWATER DETENTION WILL BE NEEDED. A DIRECT CONNECTION COULD BE MADE TO EXISTING STORMWATER INFRASTRUCTURE.
3. THE MAX IMPERVIOUS COVER ALLOWED IS 80%. THE SITE IS CURRENTLY AT 81.2% WITHOUT THE USE OF PERVIOUS PAVEMENT. PERVIOUS PAVEMENT CAN BE USED TO REDUCED THE AMOUNT. WITH THE PROPOSED PERVIOUS PAVEMENT SHOWN ON THE PLAN THE SITE MEETS THE OPEN SPACE REQUIREMENT WITH 20.2% OPEN SPACE.
4. NO REQUIRED LANDSCAPE BUFFERS BUT PERIMETER LANDSCAPING REQUIREMENTS APPLY.
5. DETACHED SIGNS ARE NOT ALLOWED WITHIN 50 FT. OF THE CENTERLINE OF PRIMARY ARTERIAL STREETS SUCH AS N. GLENSTONE. SIGN APPEARS TO MEET REQUIREMENTS BUT MEASUREMENT WILL NEED TO BE CONFIRMED WITH ALTA SURVEY.
6. THE DEVELOPER IS RELOCATING THE POWER POLE AND BUILDING THE WESTERN CRITICAL ACCESS ROADS NORTH AND SOUTH OF THE PAD SITE.
7. BICYCLE RACKS WERE UTILIZED TO REPLACE 5 REQUIRED VEHICLE PARKING SPACES. 10 ADDITIONAL BICYCLE RACKS PLUS THE 2 REQUIRED BICYCLE RACKS FOR A TOTAL OF 12 BICYCLE RACKS AND 49 VEHICLE PARKING SPACES.

LOT AREA	=	48,890 SF	1.12 AC.
PARKS	=	49 (49 REQ'D @ 1 PER 70 SF OF TOTAL FLOOR AREA)	
BICYCLE RACKS	=	12 (2 REQ'D @ 1 PER 25 AUTOMOBILE SPACES)	

N:\03\62\40\497\08-Springfield, MO Glenstone\Docs\CAD\SWC Kearney and N Glenstone - Springfield MO - PSP.dwg, 4/7/2021 4:46 PM, karanovich, phil



VICINITY MAP
N.T.S.

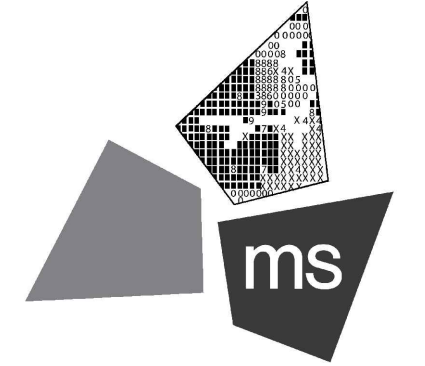


REVISION/DATE/DESCRIPTION

SIR UPDATES 02/05/21

NOTICE

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ms consultants, inc.
engineers, architects, planners
2221 Schrock Road
Columbus, Ohio 43229-1547
phone 614.898.7100
fax 614.898.7570

PROJECT

**PROPOSED PT20M
BUILDING**

**N. GLENSTONE AVE & E.
KEARNEY ST
SPRINGFIELD, MO 65804**

SHEET TITLE

**PRELIMINARY SITE
PLAN**

DRAWN BY: TDB

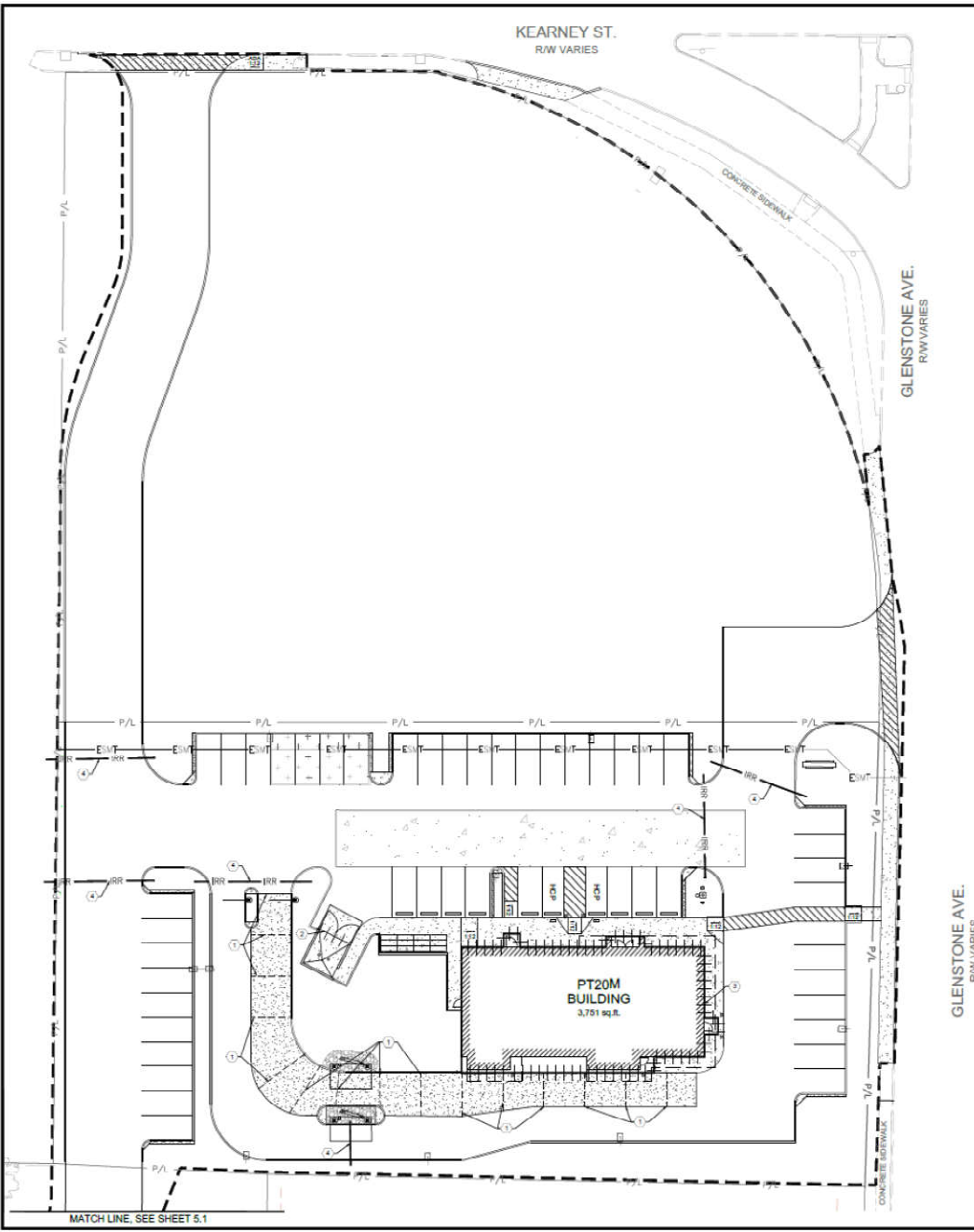
CHECKED BY: KEA

PROJECT NO: 40497-08

DRAWING

PSP - 1.0

N:\3162\4047\08-Springfield, MO\Glenstone\Drawings\CAD\Civil\C-4.0 Concrete Jointing Plan.dwg, 4/19/2022 2:40 PM, chrisano, jengph



- GENERAL NOTES:**
- A. PAVEMENT SPECIFICATION AND RECOMMENDATIONS TO BE TAKEN FROM GEOTECHNICAL REPORT.
 - B. PORTLAND CEMENT CONCRETE SHALL HAVE A MINIMUM 28-DAY COMPRESSIVE STRENGTH OF 4,000 PSI. ANY CONCRETE WITHIN PUBLIC RIGHT-OF-WAY SHALL MEET SPECIFICATIONS OF KCMRB 401.01.
 - C. MAXIMUM CONTROL JOINT SPACING SHALL NOT EXCEED 15 FEET.
 - D. EXPANSION JOINTS SHALL BE USED WHEREVER THE PAVEMENT WILL ABUT A STRUCTURAL ELEMENT SUBJECT TO DIFFERENT MAGNITUDE OF MOVEMENT (E.G., LIGHT POLES, RETAINING WALLS, EXISTING PAVEMENT, STAIRWAYS, ENTRYWAY PIERS, BUILDING WALLS, MANHOLES, ETC.).
 - E. EXPANSION JOINTS SHALL BE SEALED PER DETAILS ON SHEET C-7.5 TO MINIMIZE MOISTURE INFILTRATION INTO SUBGRADE SOILS AND RESULTANT CONCRETE DETERIORATION AT THE JOINTS.
 - F. SLEEVES SHOWN ARE FOR IRRIGATION ONLY. ADDITIONAL SLEEVES MAY BE REQUIRED FOR OTHER FRANCHISE UTILITIES. CONTRACTOR SHALL COORDINATE LOCATION AND SUPPLY ADDITIONAL SLEEVES REQUIRED FOR ELECTRICAL AND TELECOMMUNICATION SERVICES.
 - G. ALL CONCRETE JOINTS SHALL RUN CONTINUOUSLY THROUGH CURBS.

- KEYED NOTES:**
- ① SAVED CONSTRUCTION JOINT REQUIRED, TYPICAL. SEE DETAIL ON SHEET C-7.5.
 - ② DOWNED EXPANSION JOINT REQUIRED, TYPICAL. SEE DETAIL ON SHEET C-7.5.
 - ③ EXPANSION JOINT REQUIRED WHERE CONCRETE OR CURB ABUTS BUILDING FOUNDATION, STORM STRUCTURE, FUME, OR SIDEWALK OPENING. SEE DETAIL ON SHEET C-7.5.
 - ④ SCHEDULE 40 PVC IRRIGATION SLEEVE, SEE SHEET H-1.0 FOR MORE INFORMATION.

LEGEND

PROPOSED	DESCRIPTION
---	CONTRACTION JOINT
	EXPANSION JOINT
RR	4" SCHEDULE 40 PVC SLEEVE



MISSOURI ONE CALL SYSTEM
The Missouri One Call System is a communications system which was established to help prevent damage to underground facilities and to promote safety. Missouri One Call operators are on duty 24 hours a day, seven days a week. Missouri One Call provides a telephone number for contractors and the general public to call for notification of their intent to use equipment for excavation, grading, blasting, boring, demolition or other types of similar work.

1-800-DIG-RITE or 811
MAKE THE CALL...IT'S THE LAW

REVISION/DATE/DESCRIPTION

60% PLAN SET	08/06/21
90% PLAN SET	03/01/21
PERMIT SET	10/05/21
REVISED PERMIT SET	01/27/22
RESPONSE TO CITY COMMENTS	03/09/22
ISSUED FOR CONSTRUCTION	04/19/22

NOTICE
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phone 614.898.7100
fax 614.898.7570

PROJECT
PROPOSED PT20M BUILDING
2337 N GLENSTONE AVE
SPRINGFIELD, MO 65803

SHEET TITLE
CONCRETE JOINTING PLAN



DRAWN BY: MTA
CHECKED BY: PJK
PROJECT NO: 40497-08
DRAWING
C-4.0



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f 614.568.7570
www.msconsultants.com

PROTOTYPE PT20M
**SPRINGFIELD
WHATABURGER**
2337 N GLENSTONE AVE
SPRINGFIELD, MO 65804



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PROFESSIONAL OF RECORD:
JASON E. SMITH, EIT 123122
EXP. DATE: 12/31/22

REV	DESCRIPTION	DATE
1	REV RESPONSE	7/25/23

Project No: 454P-03
Client Project No:

Drawing Title:
ELECTRICAL POWER PLAN

Date: 12/23/2021 Phase: CONSTRUCTION
Designed: SAC Drawing No: **E3.1**
Drawn: SAC
Checked: RFP

GENERAL NOTES

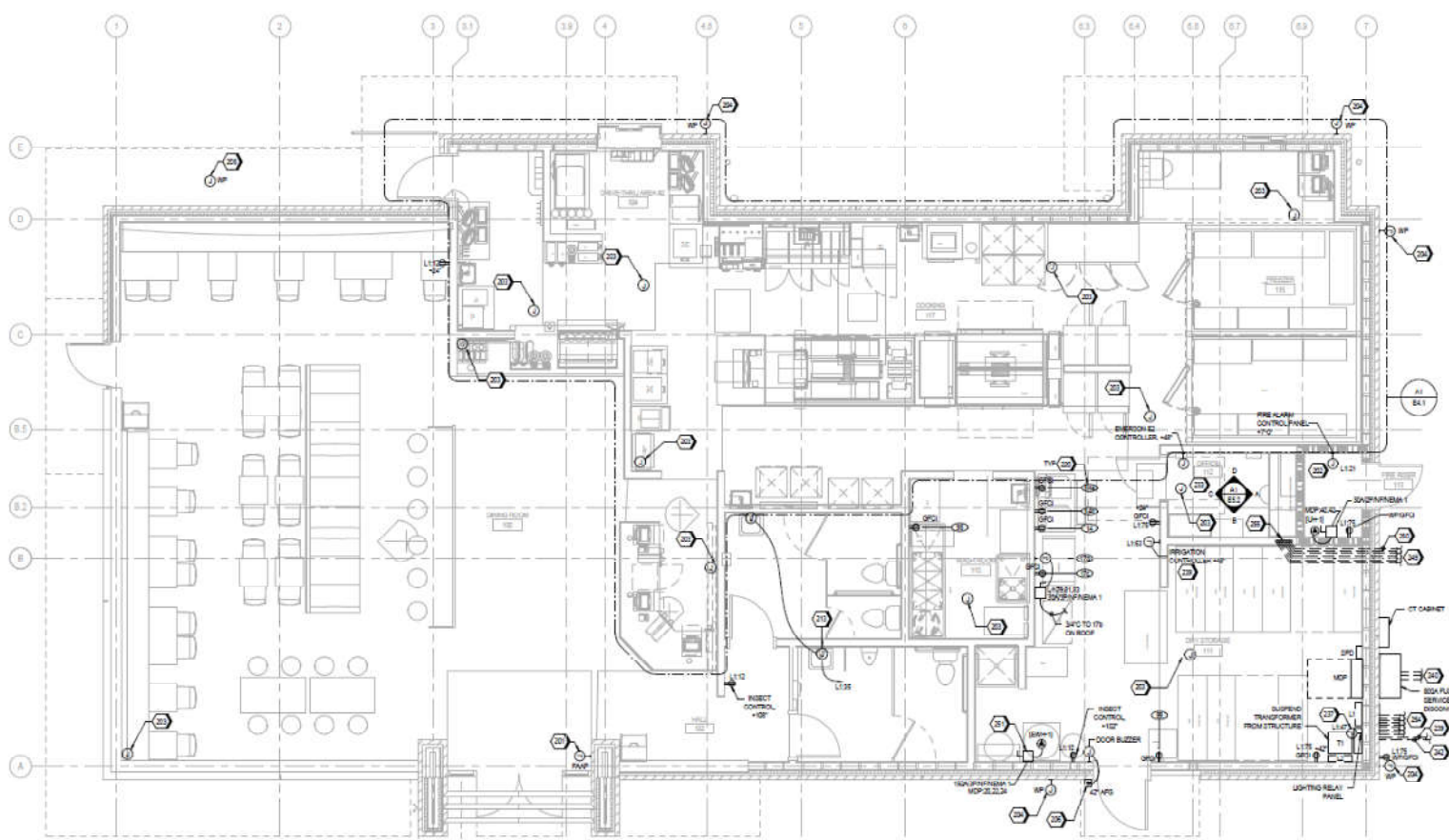
- REFER TO SHEET E1.1 AND E2.2 FOR ELECTRICAL SYMBOLS, ABBREVIATIONS, AND GENERAL NOTES.
- VERIFY ALL POWER AND TELEPHONE COMPANY REQUIREMENTS PRIOR TO ALL INSTALLATIONS.
- PROVIDE AND LEAVE A PULL WIRE IN ALL EMPTY CONDUITS.
- ELECTRICAL CONTRACTOR SHALL ROUTE UNDERFLOOR POWER WIRING IN CONDUITS TO KITCHEN PANELS AS REQUIRED.
- ELECTRICAL KITCHEN EQUIPMENT SCHEDULE IS ONLY SHOWN FOR REFERENCE. COORDINATE ALL KITCHEN RECEPTACLES, EQUIPMENT CONNECTIONS, AND INSTALLATION WITH KITCHEN DRAWINGS AND EQUIPMENT SUPPLIER. REFER TO EQUIPMENT SUPPLIER DRAWINGS FOR PREWIRED KITCHEN PANELS AND ADDITIONAL EQUIPMENT WIRING AND REQUIREMENTS.
- PANELS SHALL NOT HAVE MORE SPACES THAN ALLOCATED ON PLANS. ONLY SPACES FOR BREAKERS SHALL HAVE KNOCKOUTS IN PANELS. BREAKER CLOSURE PLATES SHALL BE KEPT TO A MINIMUM.
- ELECTRICAL CONTRACTOR SHALL CONNECT ALL INTERNAL WIRING (CORD SETS) BETWEEN VENTILATION STAND AND PASS-THROUGH STAND CONNECTIONS. WIRING SHALL BE COMPLETE AND TESTED BEFORE ACCEPTANCE.
- CENTER ISLAND KITCHEN EQUIPMENT IS PROVIDED PREWIRED TO EQUIPMENT CONTRACTOR.

GENERAL NOTES

- ALL EDCATED GROUND JUNCTION BOXES, LOCATED ABOVE CEILING, SHALL BE LABELED "RECEIVER".
- ALL EDCATED GROUND SPICES SHALL BE MADE WITH CRIMP TYPE CONNECTORS. WIRE NUTS ARE NOT ACCEPTABLE.
- REFER TO KITCHEN EQUIPMENT PLANS FOR EXACT LOCATION OF EDC. CONDUIT STUB-UPS AT COOK LINES.
- ALL SINGLE-PHASE RECEPTACLES RATED 150 VOLTS TO GROUND OR LESS, 5 AMPERES OR LESS AND THREE-PHASE RECEPTACLES RATED 150 VOLTS TO GROUND OR LESS, 10 AMPERES OR LESS INSTALLED IN THE FOLLOWING LOCATIONS: (A) IF MORE THAN ONE (1) IS INSTALLED, KITCHEN SHALL HAVE GROUND-FULLY GROUND-INTERUPTER PROTECTION FOR EACH RECEPTACLE. (B) IF ONE (1) IS INSTALLED, THREE-PHASE RECEPTACLES ON 208V/120V/3-THREE-PHASE CIRCUITS IN THESE AREAS SHALL ALSO REQUIRE GFCI PROTECTION. PER NEC 210.8(B) AND ALL REQUIREMENTS.
- REFER TO SHEET E1.1 FOR EQUIPMENT SCHEDULES AND CONNECTION INFORMATION.
- ALL WORK SHALL BE PERFORMED IN STRICT COMPLIANCE WITH THE NEC AS WELL AS ALL APPLICABLE FEDERAL, STATE AND LOCAL REQUIREMENTS WHERE CONFLICTS ARISE, THE MOST STRINGENT REQUIREMENT SHALL TAKE PRECEDENCE.
- CONTRACTOR SHALL INSTALL SOOM CORDS WITH YELLOW STUPE STRAIN RELIEFS AND APPROPRIATE PLUGS FOR THE FOLLOWING EQUIPMENT: TWO CORDS FOR EACH GRILL, IN TOTAL, AND ONE FOR EACH COFFEE MACHINE. ALL REQUIREMENTS WITH KITCHEN EQUIPMENT PROVIDER.

KEYNOTES

- 201 FIRE ALARM NOTIFICATION PANEL. REFER TO FIRE ALARM DRAWINGS FOR FURTHER INFORMATION.
- 202 FIRE ALARM CONTROL PANEL. REFER TO FIRE ALARM DRAWINGS FOR FURTHER INFORMATION.
- 203 PROVIDE CEILING MOUNTED JUNCTION BOX FOR SECURITY. PROVIDE 3/4" CONDUIT WITH NYLON PULL STRING FROM ELECTRICAL PANEL AREA TO JUNCTION BOX.
- 204 PROVIDE CEILING MOUNTED, GASKETED JUNCTION BOX FOR SECURITY. PROVIDE 3/4" CONDUIT WITH NYLON PULL STRING FROM ELECTRICAL PANEL AREA TO JUNCTION BOX.
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A1 ELECTRICAL POWER PLAN
1/4" = 1'-0"

NOTES

1. EXTERIOR SIGNAGE TO BE PERMITTED UNDER A SEPARATE SIGN PERMIT SET.

KEYNOTES

- 161 TPO MEASURE ROOFING SYSTEM RE: A1A-1
- 167 PIPE BOLLARD: 60AL 2"X1/2" UPRAL BRONZE PAINT/POSS 2216 USC RE 2216-1
- 169 MP-01 PRE-FINISHED CORRUGATED METAL PANEL
- 164 MP-02
- 165 BR-01 BRICK VENEER
- 166 BR-02
- 168 LOCAL PRE-FINISHED METAL CORING
- 169 100% ALUMINUM STOREFRONT SYSTEM
- 170 PRE-FINISHED DRIVE-THRU CANOPY
- 171 100% TPOA CANOPY PAINT/POSS
- 172 SERVICE DOOR CANOPY PAINT/POSS
- 173 100% UPRAL CORING RE: A1A-1
- 174 ILLUMINATED SIGNAGE BY OTHERS, S.C. TO PROVIDE PLUMBING BLOCKING AS NEEDED TO ATTACH SIGNAGE
- 175 CONDUCTOR HEAD AND DOWNPOUT PAINT/POSS
- 176 OVERFLOW DOWNPOUT
- 177 OVERFLOW DOWNPOUT
- 178 MP-03 ROOF SCREEN WALL RE: STRUCTURAL
- 179 WINDOW EXPANSION JOINT
- 180 FIRE DEPARTMENT CONNECTION RE: FIRE PROTECTION
- 181 EXTERIOR LIGHT FIXTURE RE: ELECTRICAL
- 182 TYP. RE: MECHANICAL
- 183 ROOF ROOM DOOR PER 2016 IBC CHAPTER 8: APPROVED SIGNS SHALL BE CONSTRUCTED OF DURABLE MATERIALS, PERMANENTLY, INITIAL AND MINORLY VISIBLE. LETTERS SHALL BE A MINIMUM OF 2" WITH A MINIMUM SPACING. THE COLOR OF THE LETTERS SHALL BE CONTRASTING WITH RESPECT TO BACKGROUND.
- 184 BUILDING ADDRESS PLAS-01S (SEE VOLUME 1) 7' X 2' X 2'
- 185 GENERAL CONTRACTOR SHALL PROVIDE A SIGN FOR JURISDICTIONAL REQUIREMENTS. LOCATION TO BE DETERMINED PRIOR TO CONSTRUCTION.
- 186 SIGNAGE TYPE: 100% RE: ELECTRICAL
- 187 CACHED LINE INDICATES TOP OF DECK.

CODE TO EXT. MATERIALS

- 01-01 VISION GLASS
BASE OF DESIGN: VISION GLASS
SHOWN COEFFICIENT: 0.12
EXTERIOR REFLECTION: 10%
SOUND HEAT GAIN COEFFICIENT (SHGC): 0.18
UNFACTORED: 26
- 01-02 NOT USED
- 01-03 OPAQUE GLASS
BASE OF DESIGN: VISION GLASS
- 01-04 IMITATED ADD ETCHED 1100X40 GLASS
- 02-01 STOREFRONT SYSTEM
BASE OF DESIGN: OLDCASTLE
STYLE: PD 300
FINISH: ALUMINUM
- MP-01 METAL PANEL
MANUFACTURER: BERRIDGE
STYLE: MATRIX M1 1.0
ALUMINUM 0.05
COLOR: LEAD-COTE
- MP-02 PRE-FINISHED METAL
FLASHING: 0.007 THICK
COLOR: LEAD-COTE
TO MATCH: MP-01
- MP-03 PRE-FINISHED METAL PANEL
MANUFACTURER: BERRIDGE
STYLE: MATRIX M1 1.0
ALUMINUM 0.05
COLOR: LEAD-COTE
- BR-01 BRICK
MANUFACTURER: ACME
STYLE: UTILITY
SIZE: 4" X 4" X 12"
COLOR: PARK AVENUE
- BR-02 BRICK
MANUFACTURER: ACME
STYLE: UTILITY
SIZE: 4" X 4" X 12"
COLOR: DOCKEN
- MO-01 MORTAR
MANUFACTURER: AVE
COLOR: VANILLA-N
- MO-02 METAL CORING
MANUFACTURER: BERRIDGE
STYLE: SHADOWLINE CORING
COLOR: LEAD-COTE TO MATCH: MP-01
- PT-05 PAINT
BASE OF DESIGN:
MANUFACTURER: SHERWIN WILLIAMS
STYLE: 001 (ART SPECIAL GRAV)
0-400N PAINT
- MO-03 METAL CORING
MANUFACTURER: BERRIDGE
STYLE: H-0
FINISH: PAINT PT-05



PROTOTYPE: PT-01M
**SPRINGFIELD
WHATABURGER**
2337 N GLENSTONE AVE
SPRINGFIELD, MO 65804

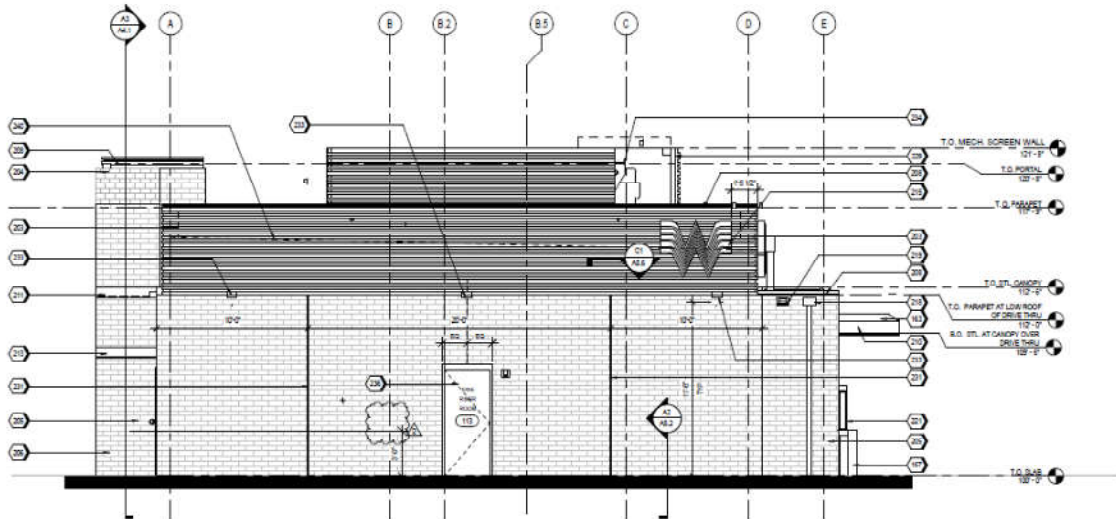


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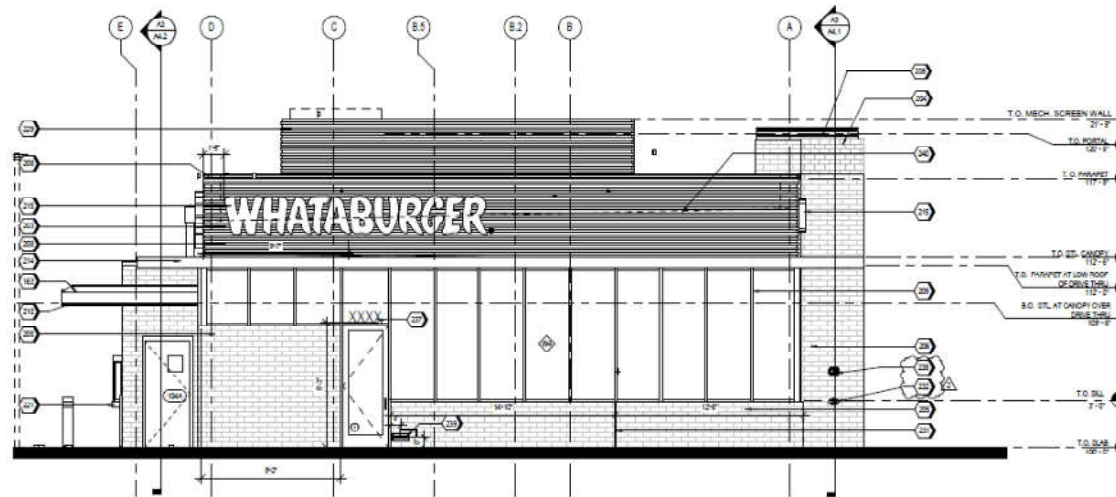
REV	DESCRIPTION	DATE
1	ISSUE	05/20/21
2	ADDRESS UPDATE	05/20/21

Project No.: 40487-03
Client Project No.:
Drawing Title:
EXTERIOR ELEVATIONS

Date:	10/10/21	Phase:	PERMIT SET
Designed:	WIS	Drawing No.:	A2.1
Drawn:	BAU	Checked:	AMP



A2 WEST ELEVATION
1/4" = 1'-0"



A1 EAST ELEVATION (R.O.W.)
1/4" = 1'-0"



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2337 N GLENSTONE AVE
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REV.	DESCRIPTION	DATE

Project No.: 4047108
Client Project No.:
Drawing Title:
EXTERIOR ELEVATIONS

NOTES

1. EXTERIOR SIGNAGE TO BE PERMITTED UNDER A SEPARATE SIGN PERMIT SET.

KEYNOTES

- 175 SURFACED RESIN
- 180 MP-01 PRE-FINISHED CORRUGATED METAL PANEL
- 181 MP-02
- 182 BRICK VENEER
- 183 100% THERMOPLASTIC VINYL COPOLYMER
- 184 100% ALUMINUM STORMPROOF SYSTEM
- 185 100% ALUMINUM STORMPROOF SYSTEM
- 186 SERVICE DOOR CANOPY, PAINT PFE
- 187 SERVICE DOOR CANOPY, PAINT PFE
- 188 SUN SHADE CANOPY, 100% ALU
- 189 ILLUMINATED SIGNAGE BY OTHERS, S.C. TO PROVIDE PLYWOOD SIGNAGE AS NEEDED TO ATTACH SIGNAGE
- 190 100% THERMOPLASTIC VINYL COPOLYMER

KEYNOTES

- 219 CORNELLUM SCUPPER
- 220 DRIVE THRU WINDOW
- 221 STAINLESS STEEL, BRASS SHELTER 2 1/2" HOLE THROUGH WALL FOR DRIVE THRU WINDOW
- 222 MP-02 ROOF SCREEN WALL RE. STRUCTURAL
- 223 100% THERMOPLASTIC VINYL COPOLYMER
- 224 FIRE DEPARTMENT CONNECTION, RE. FIRE PROTECTION
- 225 EXTERIOR LIGHT FIXTURE RE. ELECTRICAL
- 226 GENERAL CONTRACTOR SHALL PROVIDE A HOOK FOR JURISDICTIONAL REQUIREMENTS, LOCATION TO BE VERIFIED PRIOR TO CONSTRUCTION.
- 227 EXPOSED LINE INDICATES TOP OF GRADE

CODE TO EXT. MATERIALS

- SL-01 UNION GLASS
BASED ON DESIGN: VITROCON VUE 32
SHOWN COEFFICIENT (SC): 32
EXTERIOR REFLECTION (VR):
SOLAR HEAT GAIN COEFFICIENT (SHGC): 18
U FACTOR: 28
- SL-02 NOT USED
- SL-03 OPAQUE GLASS
BASED ON DESIGN: VITROCON VUE
- SL-04 EMULATED ACID ETCHED VITROCON GLASS
- MP-01 STORMPROOF SYSTEM
BASED ON DESIGN: EDOGATE
FINISH: ALUMINUM
- MP-02 METAL PANEL
MANUFACTURER: BERRIDGE
STYLE: METAL M-12
ALUMINUM 0.01"
COLOR: LEAD-COTE
- MP-03 PREFORMED METAL PANEL
FLASHING 0.007" THICK
COLOR: LEAD-COTE
TO MATCH MP-01
- MP-04 PERFORATED METAL PANEL
MANUFACTURER: BERRIDGE
STYLE: METAL M-12
ALUMINUM 0.01"
COLOR: LEAD-COTE
- BR-01 BRICK
MANUFACTURER: ACME
STYLE: UTILITY
SIZE: 4" x 8" x 12"
COLOR: PINK AUBURN
- BR-02 BRICK
MANUFACTURER: ACME
STYLE: UTILITY
SIZE: 4" x 8" x 12"
COLOR: DUSKY
- MO-01 MORTAR
MANUFACTURER: A/E
COLOR: VANILLA-A1
- MO-02 METAL COPING
MANUFACTURER: BERRIDGE
STYLE: SHADOWLINE COPING
COLOR: LEAD-COTE TO MATCH MP-01
- PT-01 PAINT
BASED ON DESIGN:
MANUFACTURER: DERRIN'S WILLIAMS
STYLE: 0N 6271 SPECIAL GRAY
SHEEN: FLAT
- MO-03 METAL SCOFF
MANUFACTURER: BERRIDGE
STYLE: MO-03
FINISH: PAINT PT-01

A2 NORTH ELEVATION (R.O.W.)
1/4" = 1'-0"

