

**Springfield Land Clearance for Redevelopment
Authority
Tuesday, June 1, 2021
Conference Room 2-West-Busch Municipal Building
840 N. Boonville Ave, Springfield, MO**

1. Call To Order

2. Roll Call

3. Approval Of Minutes

3.I. Minutes - May 4, 2021

Documents:

[MINUTES LCRA MAY 4 2021.PDF](#)

4. New Business

**4.I. Request For Real Property Tax Abatement For Redevelopment
Project Located Inside The East Cherry Pocket Neighborhood
Redevelopment Area At 1361-1365 East Cherry Street, Rountree's
Pocket, LLC, Applicant**

Documents:

[EAST CHERRY POCKET NEIGHBORHOOD ABATEMENT APPLICATION
\(16634260.1\).PDF](#)

**4.II. Request For Real Property Tax Abatement For Redevelopment
Project Located Inside The Kearney Street Corridor
Redevelopment Area At 1845 East Turner Street, IPD Properties,
LLC, Applicant**

Documents:

[PROJECT APPLICATION - LONG DRIVE CENTER, 1845 E TURNER ST.PDF](#)

5. Other Business

6. Adjourn

Springfield Land Clearance for Redevelopment Authority

**Tuesday, May 4, 2021, at 4:00 PM
Meeting via Video Conference**

Minutes

1. Call to Order

2. Roll Call

Present: Ryan Cosby, Ben Edmondson, Nancy Herchenroeder, Dan Scott, and Stephanie Shadwick

Staff: Sarah Kerner, Matt Schaefer, Kyle Tolbert, Bill Weaver

Staff Absent: Judy White

3. Approval of Minutes – April 6, 2021

Stephanie Shadwick made a motion to approve. Ben Edmondson seconded the motion. Motion was approved (5-0).

4. New Business

5. Other Business

a. Board Training – no action items

Sarah Kerner, Staff explained that training will occur at regularly scheduled meeting when there are no new business items

i. Blight

Matt Schaefer, Staff gave a presentation regarding the definition of Blight

ii. Roll of LCRA in 353's and TIF's

Sarah Kerner gave a presentation explaining how 353's and TIF's work with LCRA

6. Adjourn

Ben Edmondson made a motion to adjourn at 4:51 p.m.. Stephanie Shadwick seconded the motion. Motion was approved (5-0)



APPLICATION

FOR

PROPERTY TAX ABATEMENT

Property Address: 1361-1365 E. Cherry, Springfield, Missouri
65802

Developer: Rountree's Pocket, LLC

Date Submitted: May 23, 2020

1. Scope of the Project

The Project involves the construction of a pocket neighborhood consisting of six (6) residential units within the East Cherry Pocket Neighborhood Redevelopment Area. Each of the units will contain two (2) bedrooms and two and a half (2.5) bathrooms and will be limited to two (2) stories in height. Each unit will possess the appearance of a single family structure through thoughtful design. In total, the project will accommodate up to approximately six (6) to twelve (12) individuals. The Project will also provide on-site parking (in the form of eleven (11) open lot parking spots) and will utilize outdoor lighting as needed with the intent to create a safe living environment for the residents. The Project will include landscaping and architectural/design elements consistent with the Rountree Urban Conservation District (“UCD”) and surrounding properties as well as incorporate modern farm house design features such as a front porch and a picket fence garden. Upon completion, the Developer will lease the Project for use by local residents.

2. Relationship of the Project to Redevelopment Plan

The Project will be constructed in the East Cherry Pocket Neighborhood Redevelopment Area which includes approximately 0.5 acres in Springfield, Missouri. The Redevelopment Area is located at 1361-1365 E. Cherry Street.

Use: The new construction will be used as residential housing, which is a permitted use under the Plan.

Design Guidelines: The Project shall utilize good quality construction materials to enhance the aesthetic appeal and functional life of the buildings. The Project’s design shall complement the Redevelopment Area by creating an attractive structure that conforms with the UCD and existing neighborhood. The level of architectural finish shall be consistent throughout the Project utilizing consistent color scheme (vertical and horizontal), matching windows, regular building articulation, and consistent building height and depth (including any articulated recesses). See Exhibit B Site Plan and Exhibit C Project Renderings.

The Redevelopment Plan provides for the construction of a pocket neighborhood consisting of six (6) residential units, which will be located in the vicinity of MSU's campus, within three (3) blocks of the Greater Downtown District and within a block of various commercial uses located around E. Cherry Street and S. Pickwick Ave. Each of the residences will contain two (2) bedrooms and two and a half (2.5) bathrooms and possess the appearance of a single family residence. The pocket neighborhood will also have an eleven (11) unit open air parking lot serving the residents. In total, the project will accommodate six (6) to twelve (12) individuals. The Project will include landscaping and architectural/design elements consistent with the UCD and surrounding properties as well as incorporate modern farm house design features such as a front porch and a picket fence garden. The new construction will remedy blight by creating a desirable living environment for residents, increasing the taxes generated by the Redevelopment Area, and encouraging further investment in the area. In particular, the redevelopment of a vacant property will cure the “air of neglect to adjacent properties”

which creates safety hazards and makes nearby land less valuable.¹ As reflected on the site plan in Exhibit “B” attached hereto and incorporated herein, the site will be redeveloped to utilize the Redevelopment Area to its full potential. Preliminary floor plans for the pocket neighborhood residential units are attached hereto as Exhibit “B” and incorporated herein. This will increase density by providing housing for approximately six (6) to twelve (12) individuals, which will in turn increase the area's pedestrian traffic and level of activity.

The Redevelopment Plan is consistent with the intent of the UCD, in that it will: (i) promote the efficient use of urban lands, (ii) encourage and support rehabilitation of the physical environment, and (iii) aid in the prevention or elimination of slums or blight.² In particular, the Redevelopment Plan will remove two vacant homes from the Redevelopment Area. The Redevelopment Plan is harmonious with surrounding uses and the development will consist of landscaping and architectural/design elements consistent with the UCD – including those depicted on “Exhibit C” attached hereto and incorporated herein. Specifically, the Developer will incorporate features such as front porches, corbels, shutters, window boxes, landscaping, and the planting of saplings near sidewalks. In addition, the Developer has already incorporated suggestions of the neighborhood into the design, including the reduction in height of the residential units to two stories. Although the Redevelopment Area is zoned R-HD, the Redevelopment Plan acknowledges and respects the residential nature of certain portions of the surrounding area through the provision of off-street parking, limited building height, and density well below the applicable zoning limits and is consistent with the intent of the UCD. The Redevelopment Plan is also consistent with the goals and recommendations of the amended Rountree Neighborhood Plan.

The Growth Management and Land Use Plan (“GMLUP”), a component of the Vision 20/20 Springfield-Greene County Comprehensive Plan, indicates that the Redevelopment Area, located just east of National Avenue along Cherry Street, and surrounding property is an appropriate area for medium or high density housing. The GMLUP also identifies MSU and surrounding areas as an Activity Center.³ The GMLUP states that one of its objectives for areas identified as Activity Centers is that plans should promote additional or new employment, intensified retail business, higher density housing, and convenient transit service.⁴ The Redevelopment Area is located in close proximity to the MSU Activity Center. In addition, the Redevelopment Area conforms to the guidelines for higher-density residential uses, as described in the GMLUP. The highest and best use for this area includes well-designed residential properties designed to support the residential density goals of the GMLUP Element and that promotes safe and sanitary conditions and well-maintained building structures.

3. Legal Description

¹ See Page 9 (Objective 3) of the Rountree Neighborhood Plan Addendum.

² See Section 4-2302 of the City of Springfield, Missouri Zoning Ordinance.

³ See page 18-34 of the GMLUP.

⁴ See page 18-28 of the GMLUP.

Please see Exhibit A attached to this application.

4. Site Layout/Elevations/Floor Plans

Please see Exhibit B attached to this application.

5. Project Rendering

Please see Exhibit C attached to this application.

Exhibit A

Legal Description

1361-135 E. Cherry Street, Springfield, MO 65802

East Cherry Pocket Neighborhood Redevelopment Area

ALL OF LOTS THIRTEEN (13) AND FOURTEEN (14), AMENDED PLAT OF
RALPH WALKER'S SECOND SUBDIVISION, IN THE CITY OF SPRINGFIELD,
GREENE COUNTY, MISSOURI.

Exhibit B

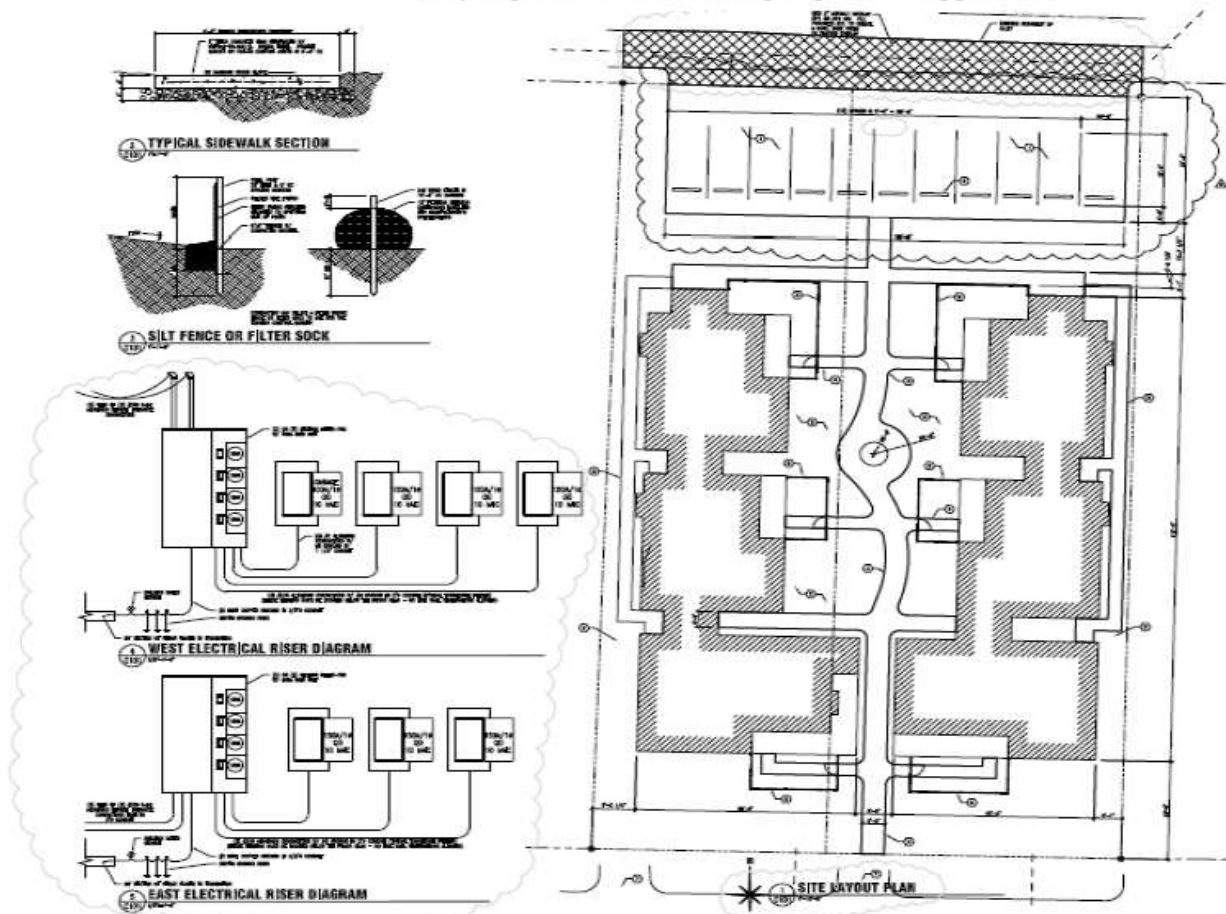
Site Layout

Floor Plans

(Any depictions of detached garages are inapplicable, replaced with open air parking lot)

[attached]

Site Plan (Any depictions of detached garages are inapplicable)



NOTES:

1. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL BUILDING CODE (IBC) AND THE INTERNATIONAL RESIDENTIAL CODE (IRC).
2. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL BUILDING CODE (IBC) AND THE INTERNATIONAL RESIDENTIAL CODE (IRC).
3. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL BUILDING CODE (IBC) AND THE INTERNATIONAL RESIDENTIAL CODE (IRC).
4. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL BUILDING CODE (IBC) AND THE INTERNATIONAL RESIDENTIAL CODE (IRC).
5. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL BUILDING CODE (IBC) AND THE INTERNATIONAL RESIDENTIAL CODE (IRC).
6. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL BUILDING CODE (IBC) AND THE INTERNATIONAL RESIDENTIAL CODE (IRC).
7. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL BUILDING CODE (IBC) AND THE INTERNATIONAL RESIDENTIAL CODE (IRC).
8. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL BUILDING CODE (IBC) AND THE INTERNATIONAL RESIDENTIAL CODE (IRC).
9. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL BUILDING CODE (IBC) AND THE INTERNATIONAL RESIDENTIAL CODE (IRC).
10. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL BUILDING CODE (IBC) AND THE INTERNATIONAL RESIDENTIAL CODE (IRC).

Pickwick District

1990 E Cherry

1010 Lippert Place

PICKWICK MAKERS

C101

Site Layout and Design



ADDITIONAL NOTES:

THIS PROJECT CONSISTS OF TWO RESIDENTIAL TOWNHOUSES AND A STAFF/ON-CALL GARAGE IN THREE SEPARATE BUILDINGS.

THE BUILDINGS ARE TO BE CONSTRUCTED IN ACCORDANCE WITH THE 2019 INTERNATIONAL RESIDENTIAL CODE.

THE ORDERING WALL, SEPARATING THE CONJUNCTION UNITS, REQUIRES AN ELEVATION AND FINISH. THE FINISH, THEREFORE, IS TO BE SPECIFIED TO THE UNDERLAYER OF THE ROOF DECK. SHALL ALL UNDERLAYMENT FROM THIS ROOF DECK BE 1/2" THICK, TYPE IV, PENTAMER/ESTER, AND ALLOWED.

WHERE THE ORDERING WALL, CONNECTS TO THE ROOF DECK, THE CONTRACTOR MUST PROVIDE ONE OF THE FOLLOWING:

- A. ABRASION RESISTANT FLOORING COVERING FOR A DISTANCE OF 4' ON EACH SIDE OF THE ORDERING WALL.
- OR
- ONE LAYER OF 5/8" TYPE IV PENTAMER/ESTER ATTACHED TO THE UNDERLAYER OF THE ROOF DECK FOR A DISTANCE OF 4' ON EACH SIDE OF THE ORDERING WALL.

THE PLANS FOR THIS PROJECT ARE OF LIMITED SCOPE. APPROXIMATE FOR SINGLE-FAMILY RESIDENTIAL CONSTRUCTION. THIS IS NOT A COMPLETE SET OF RESIDENTIAL CONSTRUCTION DOCUMENTS.



EXHIBIT 10-10
Jeffrey David Weiss, © 2007
Weiss & Society
Certificate of Authority #:
000021677

3030 S. Redwood, Suite A
Springfield, MO 65806
417-866-7771

THE SEAL & SIGNATURE APPEARING ON THIS SHEET AREY OURS, ONLY TO THE DOCUMENT TO WHICH THEY ARE ATTACHED. PLAIN MANAGED, LLC
WARRANTY: WE GUARANTEE ANY WORK DONE BY US FOR ALL OTHER PLANS,
SPECIFICATIONS, MATERIALS, REPORTS, OR OTHER DOCUMENTS OR
INSTRUMENTS RELATED TO OR EXTENDED TO BE USED FOR ANY PART
OR PARTS OF THIS PROJECT.

COPYRIGHT © 2007 PLAIN MANAGED, LLC

Pickwick District

1365 E Cherry

First Floor Plan

PLACE **MAKERS**
 3370 E. Southern Blvd.
 Scottsdale, AZ 85260
 T: 480-340-7771
 F: 480-340-7877

Revisions			Date	Issue Date
No.	Description	Date	Sheet Number	

A101



UNDESIGNED
Jeffrey Chase Hanks, S. 20073
Cherry & Society
Certificate of Authority 61-
20836-1057

2000 G. Sathian, Suite A
Birmingham, AL 35204
477.662.7771

THIS SEAL & SIGNATURE APPEARING ON THIS SHEET APPLY ONLY TO THE EXHIBIT TO WHICH THEY ARE AFFIXED. PLACE MAKERS, LLC, ENGINEER, I, DO NOT ASSUME ANY RESPONSIBILITY FOR ALL CIVIL, MECHANICAL, ELECTRICAL, AND STRUCTURAL WORK, OR ANY OTHER DOCUMENTS OR INSTRUMENTS RELATED TO OR INTENDED TO BE USED FOR ANY PART OF THIS PROJECT.
COPYRIGHT © 2016 PLACE MAKERS, LLC

Pickwick District

1365 E Cherry

Second Floor Plan

PLACE MAKERS

2000 G. Sathian, Suite A
Birmingham, AL 35204
477.662.7771

Jeffrey Chase Hanks
S. 20073
Certificate of Authority
61-20836-1057

No.	Description	Date	Drawn	Scale

A102

Exhibit C

Project Rendering

(Any depictions of detached garages are inapplicable, replaced with open air parking lot)

[attached]



1 East
A201
1/8" = 1'-0"



2 North
A201
1/8" = 1'-0"



3 West
A201
1/8" = 1'-0"



4 South
A201
1/8" = 1'-0"

DESIGNED BY
JAMES DAVID MOSE, © 2007
CHERRY & SONS
1365 E CHERRY
DUBLIN, OH 43017

3030 S. SHERIDAN, SUITE A
DUBLIN, OH 43017
412.866.1771

THE SEAL & SIGNATURE APPEARING ON THIS SHEET APPLY ONLY TO THE DOCUMENT TO WHICH THEY ARE ISSUED. PLACE MAKERS, LLC, EXPRESSLY DISCLAIMS ANY RESPONSIBILITY FOR ALL OTHER PLANS, SPECIFICATIONS, CONTRACTS, AGREEMENTS, OR OTHER DOCUMENTS OR INSTRUMENTS RELATED TO OR INTENDING TO BE USED FOR ANY PART OR PARTS OF THIS PROJECT.

CONTRACT NO. 1365 E CHERRY, PLACE MAKERS, LLC

Pickwick District

1365 E Cherry

Perimeter Elevations

PLACE MAKERS

3030 S. SHERIDAN, SUITE A
DUBLIN, OH 43017
412.866.1771

JAMES DAVID MOSE
A PROFESSIONAL
ARCHITECT OF OHIO
#000000000

No.	Description	Date	Drawn	Check	Issue Date

A201



1
A202
10'0" x 1'0"

Courtyard Looking East



2
A202
10'0" x 1'0"

Courtyard Looking North



3
A202
10'0" x 1'0"

Courtyard Looking West



4
A202
10'0" x 1'0"

Courtyard Looking South

DESIGNED BY
JAMES DAVIS ARCHITECTS
1000 N. 10th St.
Springfield, MA 01103
417-866-1111

DATE: 10/10/2020
PROJECT: 1365 E Cherry
SHEET: A202

THE SEAL & SIGNATURE APPEARING ON THIS SHEET SHALL BE LIMITED TO THE DESIGNER'S RESPONSIBILITY FOR THE DESIGN OF THE PROJECT. PLACE MAKERS SHALL NOT BE RESPONSIBLE FOR ANY OTHER PLANS, SPECIFICATIONS, OR INSTRUMENTS RELATED TO OR INTENDING TO BE USED FOR ANY PART OF THE PROJECT.

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Pickwick District

1365 E Cherry

Courtyard Elevations

PLACE MAKERS

1000 N. 10th St.
Springfield, MA 01103
417-866-1111

DATE: 10/10/2020
PROJECT: 1365 E Cherry
SHEET: A202

No. Description Date

A202



No.	Description	Date	Draw Number
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X105



X106



Land Clearance for Redevelopment Authority
Application for Real Property Tax Abatement

Sections 99.700-99.715, RSMo

Property Address: 1845 E. Turner Street, Springfield MO 65803

Redevelopment Area: Kearney Street Corridor Redevelopment Plan April 2018

Developer Name: IPD Properties, LLC C/O The Wooten Co., LLC

Contact Person: MARK FREES

Mailing Address: 1675 E. SEMINOLE STREET, SUITE:B, SPRINGFIELD, MO 65804

Telephone: 417-883-8365 **Fax:** 417-883-8333

Email: mark@thewootenco.com

Does Applicant Own or Lease the Property? OWN

Signature:  **Date:** 5/5/21

Printed Name: MARK FREES

Required Attachments:

- Legal description of project
- \$312 application fee
- Ten (10) hard copies and one electronic (.pdf) copy of the following:
 - Narrative identifying the scope of the proposed project
 - Site plan and floor plans
 - Concept plan and/or renderings, if available
 - Narrative describing relationship of project to the adopted redevelopment or urban renewal plan for the area.
- If property is located in the *Downtown Redevelopment Area*, please note additional requirements on page 2 of this application.

IPD Properties, LLC
May 11, 2021

Kearney Street Corridor Redevelopment Area Project Narrative

Project Name: Long Drive Center Remodel

Property Address: 1845 E. Turner Street, Springfield, MO 65803

Property Owner/Applicant Name: IPD Properties, LLC

Developer Name: IPD Properties, LLC C/O The Wooten Co., LLC

Redevelopment Area: Kearney Street Corridor Redevelopment Plan April 2018

Proposed Project: This is a complete remodel to the exterior of the existing building located at the cited address above. The remodel will include an updated modern look that incorporates the look of the recently developed surrounding projects (Big Shots, Kum n Go etc.) that will enhance and revitalize the Kearney-Glenstone Corner. The project will also include parking lot redesign, new sidewalks and landscaping that will enhance not only this center but the surrounding areas. This remodel will allow this retail center to attract new businesses that will be a great benefit to the redevelopment area.

Existing and Future Uses: This property/project currently has retail and service tenants that will continue in the future. Those tenants are: Shuchmann Meats which is a retail meat cutter that will sell choice cuts of meats, cheeses, sauces etc. MC Salon which is a full service beauty salon and Ozzie Smith IMAC Regeneration Center which specializes in all types of physical therapy, Medical Treatment and Wound Care. Future Uses planned are for a sit down restaurant in the center as well as other retailers that will fit with the center and the surrounding businesses such as Big Shots Golf.

Relationship of Project to the Adopted Redevelopment Area Narrative

Excluded Uses: The Long Drive Center remodel-redevelopment is not an excluded use of the property as defined in the Kearney Street Corridor Redevelopment Plan dated April 2018.

Frontage Requirements: The Long Drive Center Remodel-Redevelopment has fronts Turner Street but is highly visible from both Kearney and Glenstone. This project does meet the redevelopment plan as it is an existing commercial development that predates the plan. To clarify the project still meets the frontage requirements due to it is a pre-existing commercial structure.

Landscaping Requirements: This project meets all state and local green space requirements.

Building Materials: The exterior of this building is constructed of durable metal panels with a structural steel frame. This construction is strong enough to outlast the period of abatement. The panels come with a 10 year manufacturer's warranty. The rest of the

building which consists of cinder block construction will be painted. The exterior design also includes new storefront glass and doors that will improve the building quality and be aesthetically pleasing. See complete approved plans submitted with application for details.

Entrances: There are two ingress egress points of entry into Long Drive Center. The first is located on the south side of the property off of Turner Street. This drive will be reworked according to city requirements (see approved plans for detail). A new sidewalk will be installed along Turner Street as well. The north entrance into the property is a shared access with the Big Shot's development.

003207-20 28 Jan 2020 03:30:04 PM



Book: 2020
Page: 003207-20
3 pages

REAL ESTATE DOCUMENT
GREENE COUNTY, MISSOURI
RECORDERS CERTIFICATION

Cheryl Dawson Spaulding
Cheryl Dawson-Spaulding
Recorder of Deeds

lcunningham

WARRANTY DEED BY LIMITED LIABILITY COMPANY

THIS DEED, Made and entered into this 27 of January, 2020, by and between
GRANTOR: BEV'S PROPERTIES, L.L.C., a Missouri Limited Liability Company,
party or parties of the first part, and **IPD PROPERTIES, L.L.C.**, a California limited
liability company, **GRANTEE** or parties of the second part, Grantee's mailing
Address: C/O The Wooden Company

1675 E. Seminole Street, Springfield MO 65804

WITNESSETH, that the said party or parties of the first part, for and in
consideration of the sum of One Dollar and other valuable consideration paid by the said
party or parties of the second part, the receipt of which is hereby acknowledged, does or
do by these presents GRANT, BARGAIN AND SELL, CONVEY AND CONFIRM unto
the said party or parties of the second part, the following described Real Estate, situated
in the County of **GREENE** and State of Missouri, to wit:

SEE EXHIBIT A FOR LEGAL DESCRIPTION

TO HAVE AND TO HOLD THE SAME, Together with all rights and
appurtenances to the same, belonging unto the said party or parties forever. The said
party of the first part covenanting that said party and the heirs, executors, administrators
and assigns of such party, shall and will WARRANT AND DEFEND the title to the
premises unto the said party or parties of the second part, and to the heirs and assigns of
such party or parties forever, against the lawful claims of all person whomsoever,
excepting however, the general taxes for the current calendar year, and thereafter, and
special taxes becoming a lien after the date of this deed, and restrictions, easements and
building set back lines of record if any, and zoning laws.

PTOFNO # 1611

WARRANTY DEED BY LIMITED LIABILITY COMPANY

THIS DEED, Made and entered into this 27 of January, 2020, by and between
GRANTOR: BEV'S PROPERTIES, LLC.; a Missouri Limited Liability Company,
party or parties of the first part, and **IPD PROPERTIES, L.L.C. , a California limited**
liability company, GRANTEE or parties of the second part, Grantee's mailing

Address: C/O The Wooden Company
1675 E. Seminole Street, Springfield MO 65804

WITNESSETH, that the said party or parties of the first part, for and in
consideration of the sum of One Dollar and other valuable consideration paid by the said
party or parties of the second part, the receipt of which is hereby acknowledged, does or
do by these presents GRANT, BARGAIN AND SELL, CONVEY AND CONFIRM unto
the said party or parties of the second part, the following described Real Estate, situated
in the County of **GREENE** and State of Missouri, to wit:

SEE EXHIBIT A FOR LEGAL DESCRIPTION

TO HAVE AND TO HOLD THE SAME, Together with all rights and
appurtenances to the same, belonging unto the said party or parties forever. The said
party of the first part covenanting that said party and the heirs, executors, administrators
and assigns of such party, shall and will WARRANT AND DEFEND the title to the
premises unto the said party or parties of the second part, and to the heirs and assigns of
such party or parties forever, against the lawful claims of all person whomsoever,
excepting however, the general taxes for the current calendar year, and thereafter, and
special taxes becoming a lien after the date of this deed, and restrictions, easements and
building set back lines of record if any, and zoning laws.

PTOFMO # 1611

IN WITNESS WHEREOF, the said party of the first part has caused these presents to be signed by its authorized Manager(s) or Member(s) the day and year first above written.

BEV'S PROPERTIES, LLC, A MISSOURI LIMITED LIABILITY COMPANY

BY: Charles Ellis
CHARLES ELLIS, MEMBER

BY: Beverly Ellis
BEVERLY ELLIS, MEMBER

State of MISSOURI)

County of GREENE)

On this 27 day, January, 2020, before me personally appeared CHARLES ELLIS and BEVERLY ELLIS known who being by me duly sworn, that they is the **MEMBER** of BEV'S PROPERTIES, LLC, a Missouri Limited Liability Company, and said CHARLES ELLIS and BEVERLY ELLIS acknowledged said instrument to be the free act and deed of said BEV'S PROPERTIES, LLC.

In testimony whereof, I have hereunto set my hand and affixed my official seal in my office in the state and county, on the day and year last above written.

J. Watkins
, Notary Public

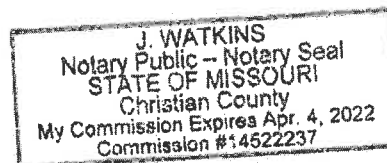


EXHIBIT A

THAT LAND AS DESCRIBED IN GREENE COUNTY, MISSOURI RECORDER'S OFFICE, IN BOOK 1954 AT PAGE 2002, DESCRIBED AS FOLLOWS: LOT ONE (1) OF THE REPLAT OF LOT ONE (1), KEARNEY-GLENSTONE SUBDIVISION MORE PARTICULARLY AS FOLLOWS: BEGINNING AT THE NORTHEAST CORNER OF LOT ONE (1) OF THE REPLAT OF LOT ONE (1), KEARNEY-GLENSTONE SUBDIVISION; THENCE SOUTH 01°34'25" WEST 229.00 FEET; THENCE NORTH 89°37'12" WEST 120.47 FEET; THENCE NORTH 01°34'56" EAST 25.00 FEET; THENCE NORTH 89°34'00" WEST 83.96 FEET; THENCE NORTH 01°34'48" EAST 204.00 FEET TO THE NORTHWEST CORNER OF SAID LOT ONE (1); THENCE SOUTH 89°35'54" EAST 204.40 FEET TO THE POINT OF BEGINNING; ALL LYING IN THE NORTHWEST QUARTER (NW¼) OF THE NORTHWEST QUARTER (NW¼) OF SECTION EIGHT (8), TOWNSHIP TWENTY-NINE (29), RANGE TWENTY-ONE (21), IN THE CITY OF SPRINGFIELD, GREENE COUNTY, MISSOURI, SUBJECT TO ANY PART THEREOF TAKEN, DEEDED OR USED FOR ROAD OR HIGHWAY PURPOSES.

Exterior Remodel Project For: The Long Drive Center An Office-Retail Shell Building 1845 East Turner Street Springfield, Greene County, Missouri Zip Code - 65803



SHEET INDEX	
DRAWING NO.	DRAWING TITLE
CVR	COVER SHEET & CODE NOTES
C1.0	REVISED SITE LAYOUT - RE-STRIPING PLAN
SW1.1	NEW SIDEWALK AND ENTRANCE DRIVE PLANS
D1.0	DEMOLITION PLAN
S1.0	STRUCTURAL FRAMING, FOOTING PLAN& DETAILS
A1.0	PLAN LAYOUT OF REMODEL AREA
A1.1	ROOF AND CANOPY PLAN
A2.0	EXTERIOR ELEVATIONS
A3.0	WALL SECTIONS
A3.1	WALL SECTIONS
A4.0	DETAILS
A5.0	SPECIFICATIONS
E1.0	EXTERIOR LIGHTING

APPLICABLE CODES

ALL DESIGN AND CONSTRUCTION SHALL CONFORM TO THE 2018 INTERNATIONAL EXISTING BUILDING CODE

ALL DESIGN AND CONSTRUCTION SHALL CONFORM TO THE 2018 INTERNATIONAL ENERGY CONSERVATION CODE

ALL ELECTRICAL DESIGN AND CONSTRUCTION SHALL CONFORM TO THE 2017 NATIONAL ELECTRIC CODE

ALL MECHANICAL DESIGN AND CONSTRUCTION SHALL CONFORM TO THE 2018 INTERNATIONAL MECHANICAL CODE

ALL PLUMBING DESIGN AND CONSTRUCTION SHALL CONFORM TO THE 2018 INTERNATIONAL PLUMBING CODE

ADMINISTRATION AND ENFORCEMENT OF CODES, KNOWN AS THE LAND DEVELOPMENT CODE.

ABBREVIATIONS			
ADA	AMERICAN DISABILITY ACT	MECH	MECHANICAL
A.F.F.	ABOVE FINISHED FLOOR	MIN.	MINIMUM
BD	BOARD	MTL	METAL
B.O.	BOTTOM OF	(N)	NEW
CL	CENTER LINE	N.I.C.	NOT IN CONTRACT
COL	COLUMN	N.T.S.	NOT TO SCALE
CONC	CONCRETE	O/	OVER
CONT	CONTINUOUS	O/C	ON CENTER
DIA.	DIAMETER	PLYWD	PLYWOOD
(E)	EXISTING	RAD	RADIUS
EA	EACH	RM	ROOM
ELEC	ELECTRICAL	R.O.	ROUGH OPENING
ELEV	ELEVATION	SHT	SHEET
EQ	EQUAL	SIM.	SIMILAR
EXT	EXTERIOR	SQ.	SQUARE
FD	FLOOR DRAIN	STL.	STEEL
FIN	FINISHED	THRU	THROUGH
FL	FLOOR	T.O.	TOP OF
FT.	FOOT	TYP.	TYPICAL
G.C.	GENERAL CONTRACTOR	U.N.O.	UNLESS NOTED OTHERWISE
GYP	GYP SUM	V.I.F.	VERIFY IN FIELD
H.C.	HANDICAP	W/	WITH
HR	HOUR	WD	WOOD
INT	INTERIOR	W/O	WITHOUT
MAX.	MAXIMUM		
M.B.	METAL BUILDING		

CODE REVIEW NOTES

PROPOSED REMODEL PROJECT:
THIS PROJECT IS AN EXTERIOR RENOVATION AND REMODEL OF AN EXISTING OFFICE - RETAIL RENTAL BUILDING CONSISTING OF MULTIPLE TENANT SUITES. THE BUILDING IS NOT CHANGING OCCUPANCY OR SQUARE FOOTAGE ADDED. NO INTERIOR WORK AT THIS TIME. THERE WILL BE MINOR EXTERIOR LIGHTING FIXTURE CHANGES BUT NO NEW POWER CIRCUITS OR INTERIOR ELECTRICAL, PLUMBING OR HVAC CHANGES.

NO ADDITIONAL SQUARE FOOTAGE AND NO CHANGE IN USE.

CONSTRUCTION TYPE: 3B
USE GROUP: M AND B (MIXED USE NON SEPARATED)
AREA ADDED: NONE

NO ADDITIONAL OCCUPANT LOAD
NO ADDITIONAL SQ FOOTAGE

PARKING PROVIDED BY EXISTING OFFICE/RETAIL COMPLEX PARKING LOT.

APPROVED

FOR CONSTRUCTION BY THE CITY OF SPRINGFIELD, MO

BUILDING OFFICIAL

REVIEWED FOR COMPLIANCE WITH THE CITY CODE, ADOPTED BUILDING CODES, ZONING ORDINANCE AND DESIGN STANDARDS. THIS REVIEW AND APPROVAL DOES NOT RELIEVE THE DEVELOPER OR HIS AGENTS OF ANY RESPONSIBILITY FOR COMPLIANCE WITH ALL APPLICABLE REQUIREMENTS, OR ADDRESS OR OVERTAKE THE REQUIREMENTS OF OTHER JURISDICTIONS OR AGENCIES, UNLESS SPECIFICALLY NOTED OTHERWISE.

MISSOURI CERTIFICATE OF AUTHORITY NO. A-2013038640

CONSULTANTS

SIGNATURE

DATE

01/20/21

MECHANICAL ENGINEER:
P. NIX
NIX & ASSOCIATES
P.E. NO. 65714
417.849.1989 PHONE

STRUCTURAL ENGINEER:
EDELMAN ENGINEERING
5820 E. VILLAGE LANE
SPRINGFIELD, MO. 65809
417.882.9850 PHONE

STATE OF MISSOURI

WILLIAM WASHINGTON

REGISTERED ARCHITECT

12/14/20

EXTERIOR REMODEL FOR:
THE LONG DRIVE CENTER
1845 EAST TURNER STREET
SPRINGFIELD, GREENE COUNTY, MISSOURI
ZIP CODE - 65803

ISSUE DATE

12-14-2020

REVISIONS

NO.	DATE	TYPE

PROJECT NO.

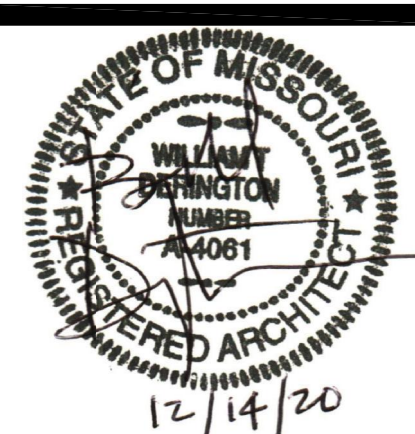
LDC-20

DRAWING TITLE

COVER SHEET

DRAWING NO.

CVR



Revised 01/06/2021

EXTERIOR REMODEL FOR:
THE LONG DRIVE CENTER
1845 EAST TURNER STREET
SPRINGFIELD, GREENE COUNTY, MISSOURI
ZIP CODE - 65803

Site Data

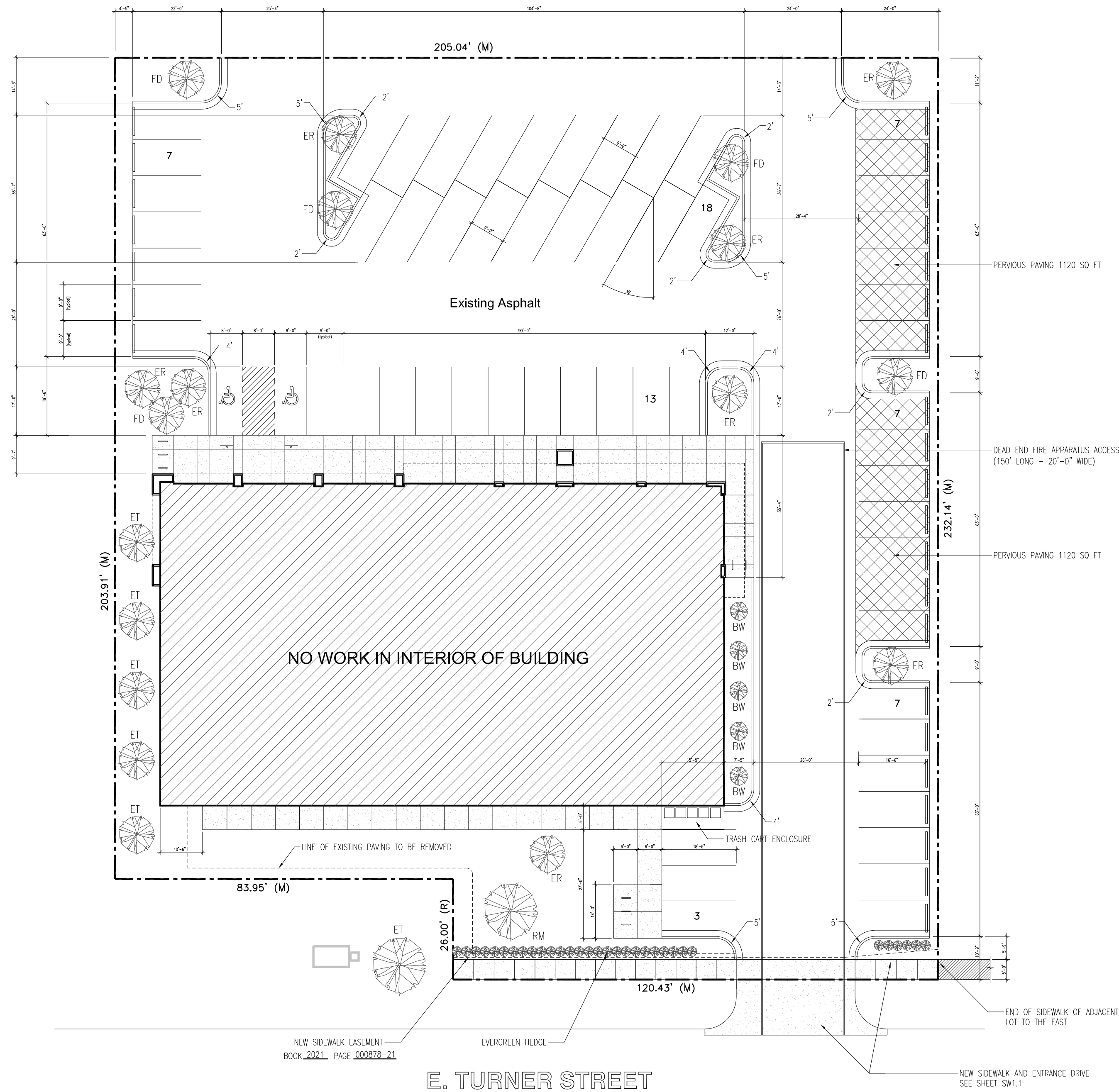
Total Site Square Footage - 44,710 sq ft
Developed Area - 38,024 sq ft
Pervious Paving Area - 2,280 sq ft
Net Developed Area - 35,744 sq ft

Impervious Surface Ratio 80%
Pervious Surface Ratio 20%

Parking Vehicular Use Area - 23,665 sq ft
Interior Landscaping - 1,256 sq ft
Percentage of Interior Landscaping - 6%

PLANTING SYMBOLS

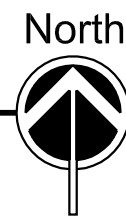
PLANT SYMBOL	NOTE ON TREE SPECIES: THE SPECIES OF TREES SHOWN ARE A SUGGESTION TO THE DEVELOPER WHICH SATISFIES REQUIREMENTS OF THE CITY OF SPRINGFIELD CITY CODE AS IT PERTAINS PERIMETER LANDSCAPING. OWNER RESERVES THE OPTION TO COME UP WITH ALTERNATIVE SPECIES CONFORMING TO CITY OF SPRINGFIELD CITY CODE.	
	CANOPY TREES (1-1/2" MIN. CALIPER AT PLANTING) (6'-0" MIN. HEIGHT AT PLANTING)	RM-RED MAPLE
	UNDERSTORY TREES (1" MIN. CALIPER AT PLANTING) (6'-0" MIN. HEIGHT AT PLANTING)	ER-EASTERN REDBUD, FD-FLOWERING DOGWOOD
	SHRUBS (18" MIN. HEIGHT AT PLANTING)	BW-BOXWOOD PLANT
	EVERGREEN HEDGE	WINTERGREEN BOXWOOD
	EXISTING TREE	VARIOUS SPECIES



Site Remodel & Parking Lot Re-Striping Plan

Scale 1" = 20'-0"

- EXISTING PARKING LOT PROVIDES 67 EXISTING PARKING SPACES.
- NEW SITE LAYOUT RESULTS IN 62 PARKING SPACES PLUS 16 BICYCLE PARKING SPACES.
- TEAR OUT AND REMOVE SUFFICIENT EXISTING PAVING AND SIDEWALKS TO INSTALL NEW SIDEWALKS, PLANTERS AND ISLANDS.



Fire Code Review Notes

- Any wood or lumber used in this exterior remodel shall be Factory Fire Resistant Treated Lumber and shall be rated FRT-25 (Flame spread rating of 25 or less)
- Fire apparatus access lane as indicated on the site plan shall be 20'-0" minimum in width, 150'-0" or less in length and shall have 4" red stripes on each side and shall be on paving that has a maximum slope of 8% and is capable of supporting a 75,000 pound vehicle. "NO PARKING FIRE LANE" shall be stenciled in 12" high red letters every 50'-0" in the center of the lane perpendicular to traffic flow and in alternating directions.
- Exterior fire sprinkler water flow bell and Fire Department Connection (FDC) shall be repainted (original red color).
- Provide a white 14" x 14" all weather sign just below the fire sprinkler waterflow bell. The sign shall read "FDC" in 12" high red letters on a white background. Letters shall be 1.5" brush stroke.
- Provide for immediate access to the fire department connection that is maintained at all times without obstruction by fences, brush, trees, or any fixed or movable object with a working space of 36" x 36" x 78" in height in front of and at each side of the FDC.

ISSUE DATE

12-14-2020

REVISIONS

NO.	DATE	TYPE
1	01-06-2021	City permit review revisions

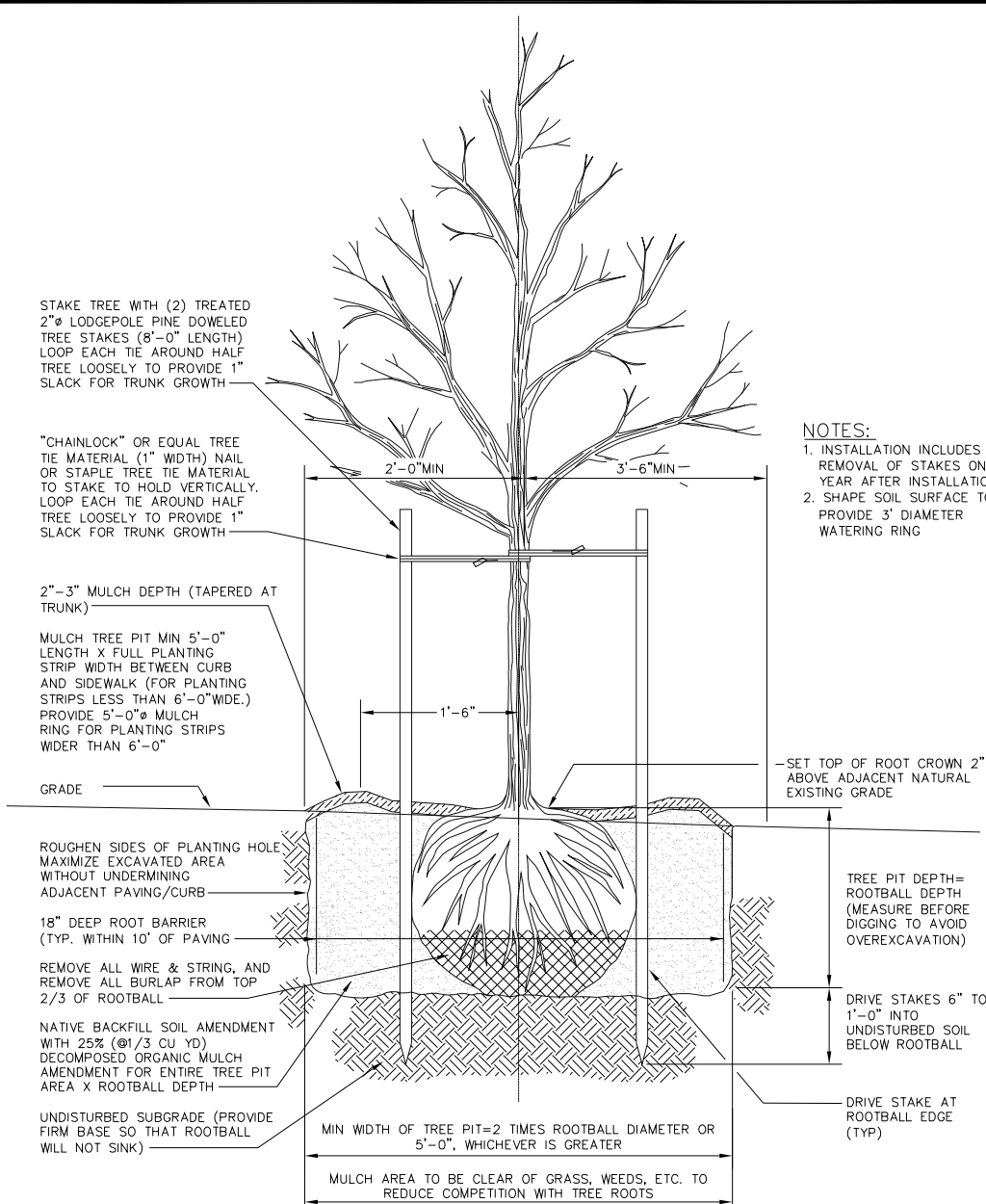
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DRAWING TITLE

PARKING LOT RE-STRIPING PLAN

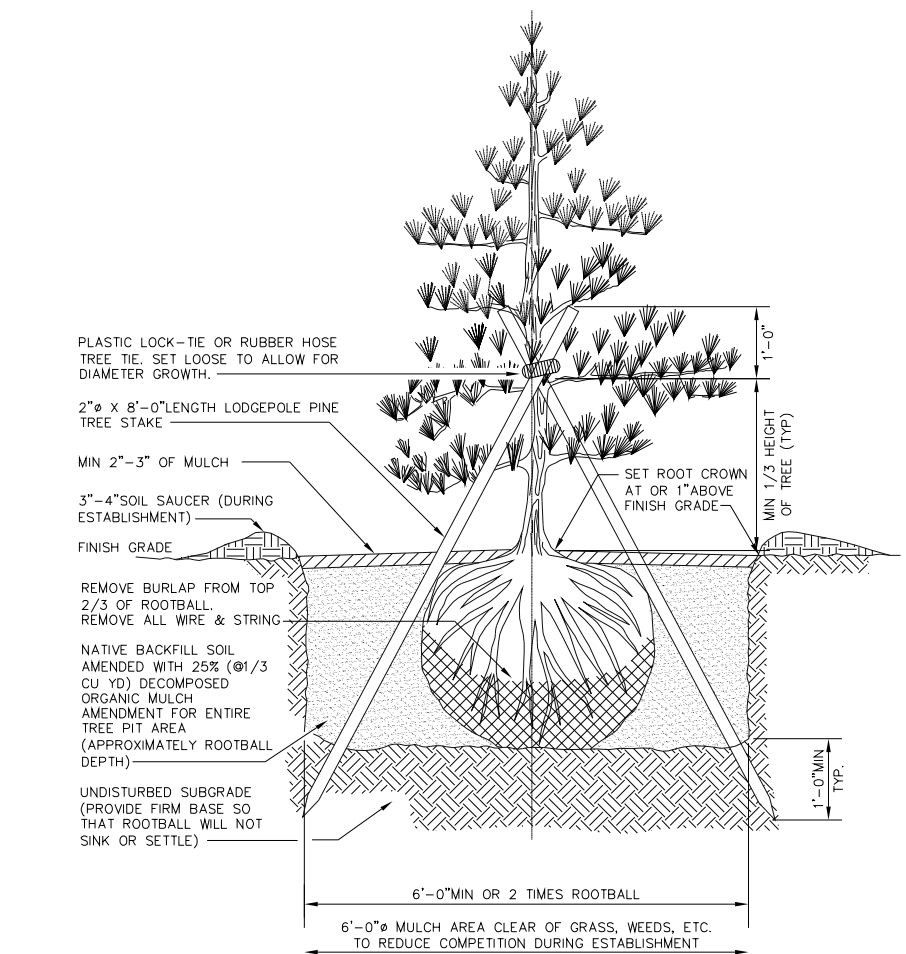
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C1.0



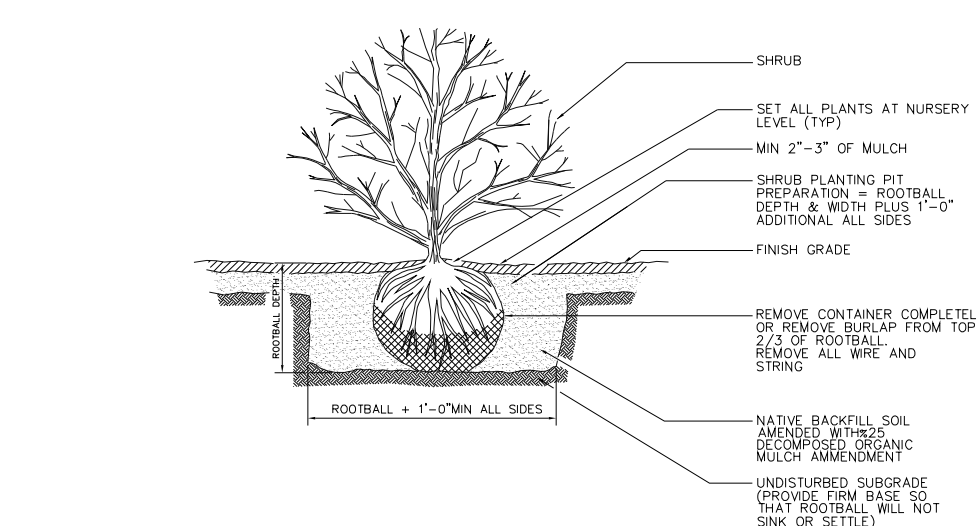
Large Tree Planting Detail

No Scale:



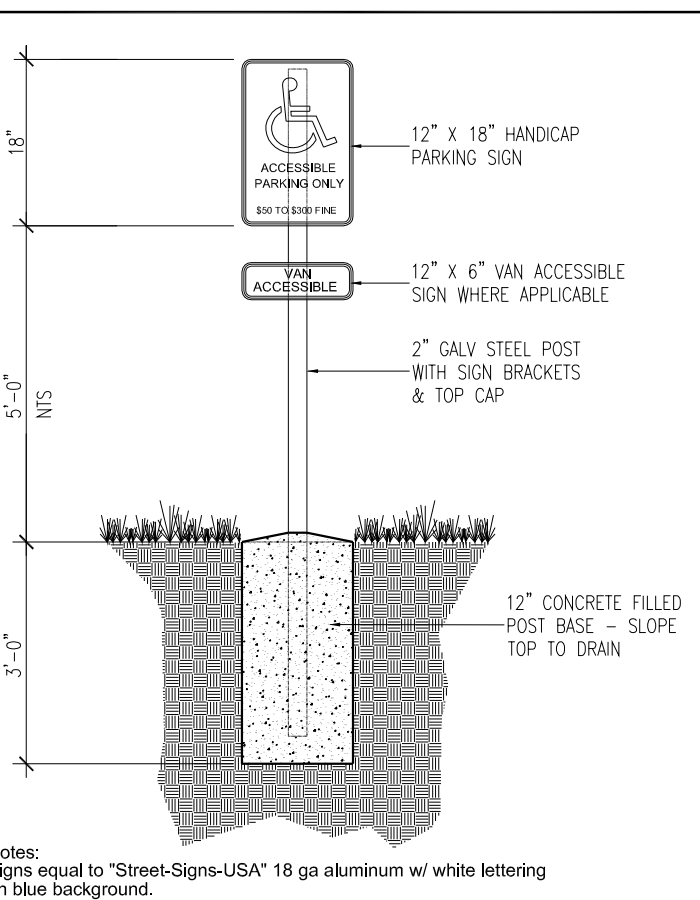
Medium Tree Planting Detail

No Scale:



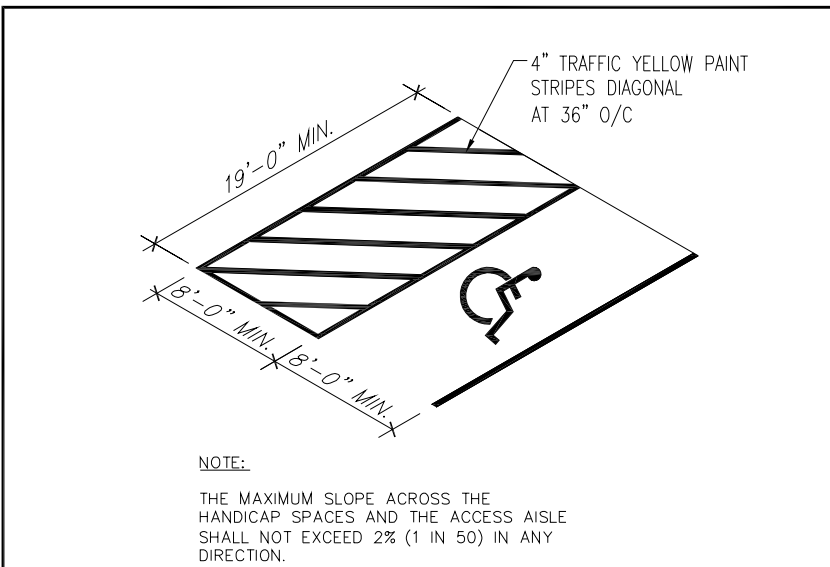
Shrub Planting Detail

No Scale:



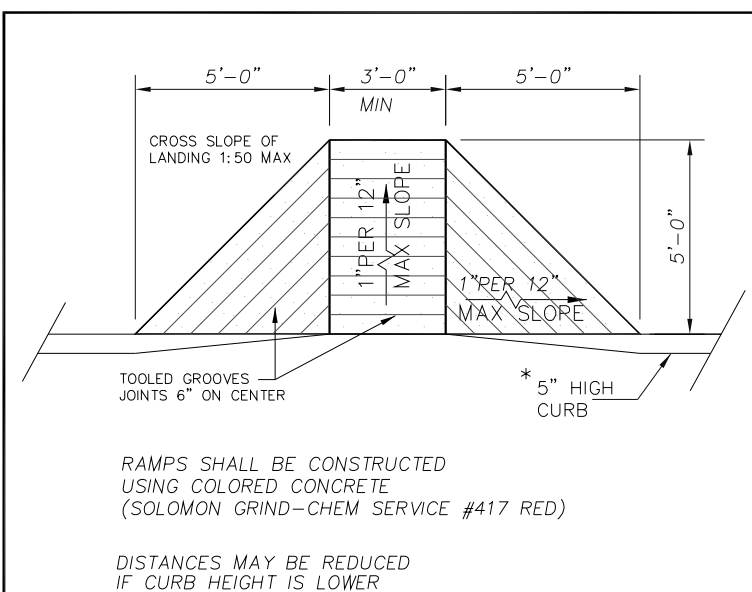
Typical Accessible Parking Sign

No Scale:



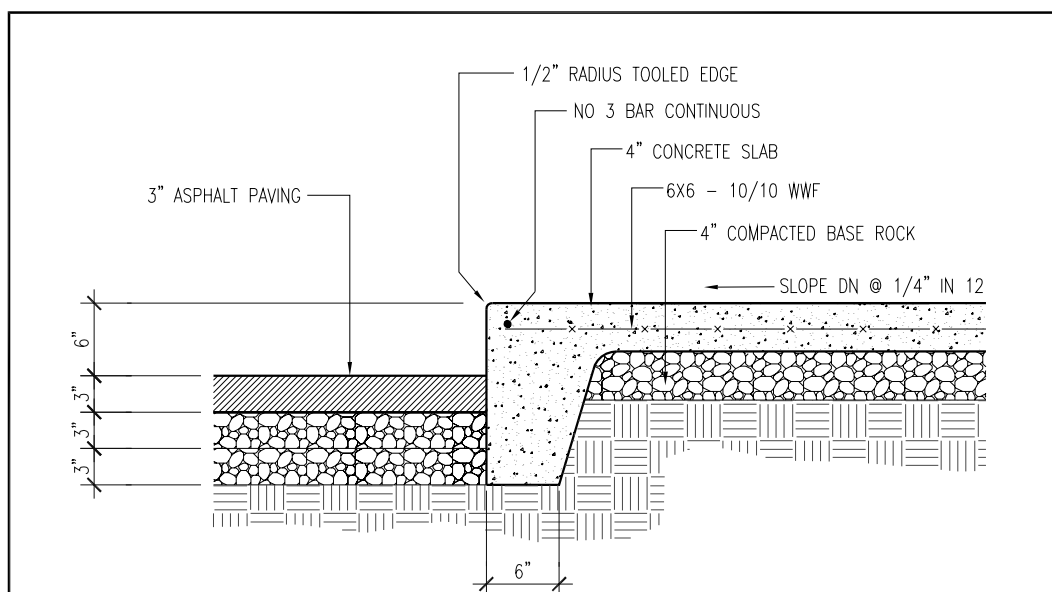
Typical Unloading Aisle Striping Detail

No Scale:



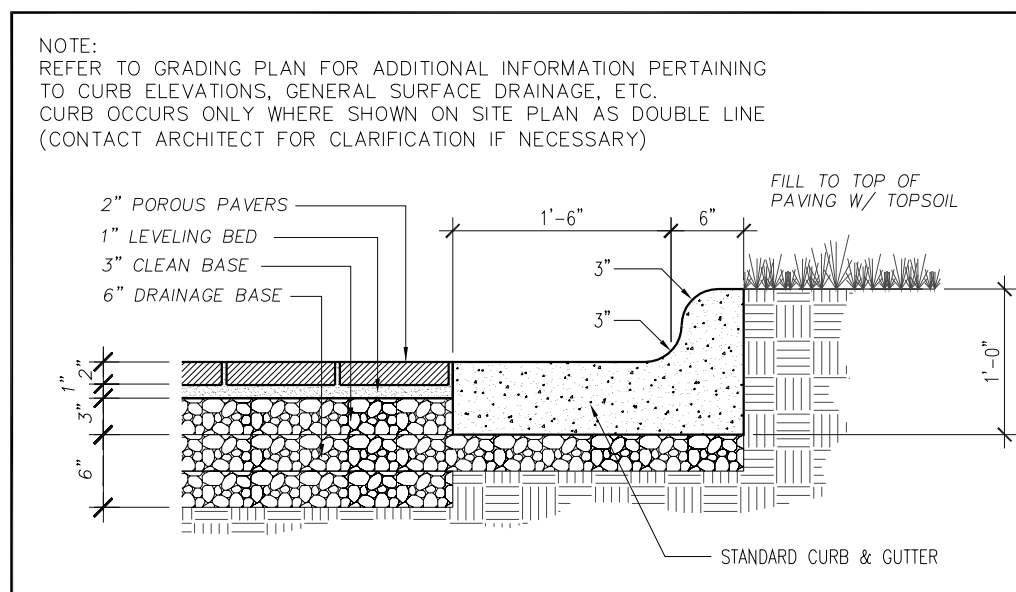
Curb Ramp Cut Detail

No Scale



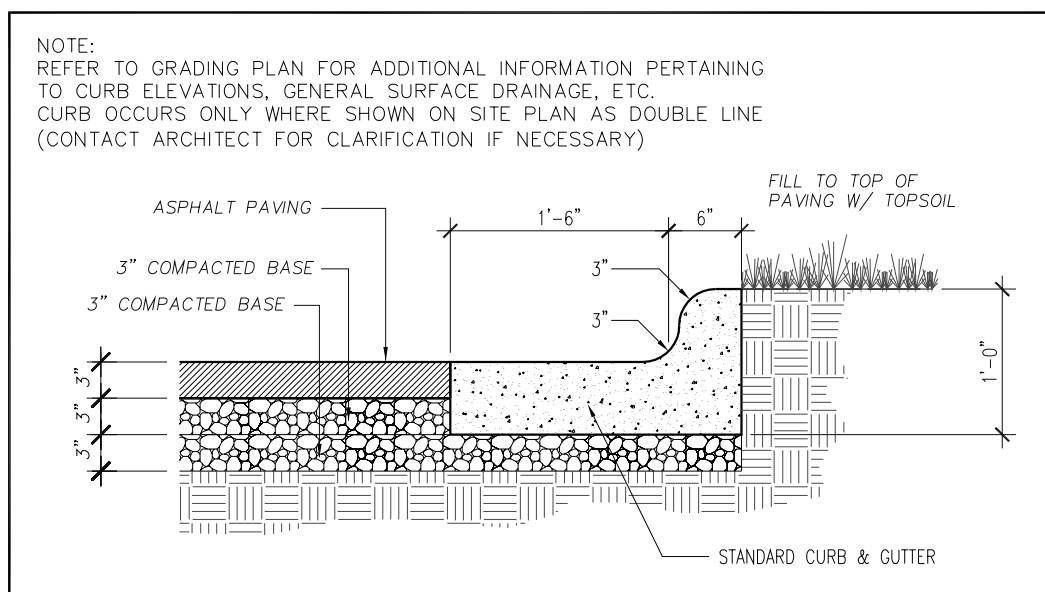
Typical Sidewalk Wheel Stop Curb

Scale: 3/4" = 1'-0"



Pervious Paving Detail at Curb

Scale: 3/4" = 1'-0"



Asphalt Edge with Concrete Curb

Scale: 3/4" = 1'-0"



MARK C. YOUNG
REG. PROFESSIONAL ENGINEER
MISSOURI PE #19126

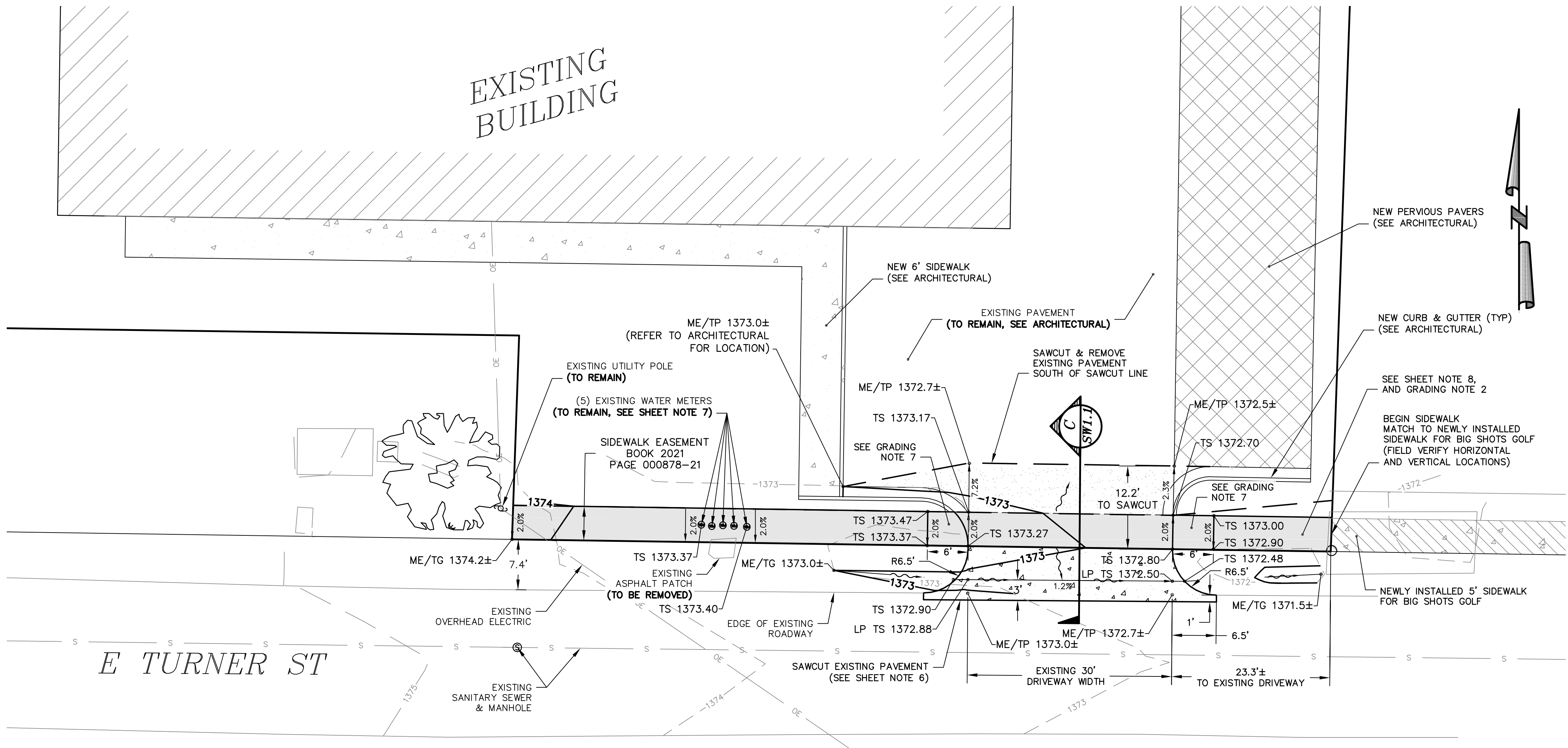
EXTERIOR REMODEL FOR:
THE LONG DRIVE CENTER
1845 EAST TURNER STREET
SPRINGFIELD, GREENE COUNTY, MISSOURI
ZIP CODE - 65803

SHEET NOTES:

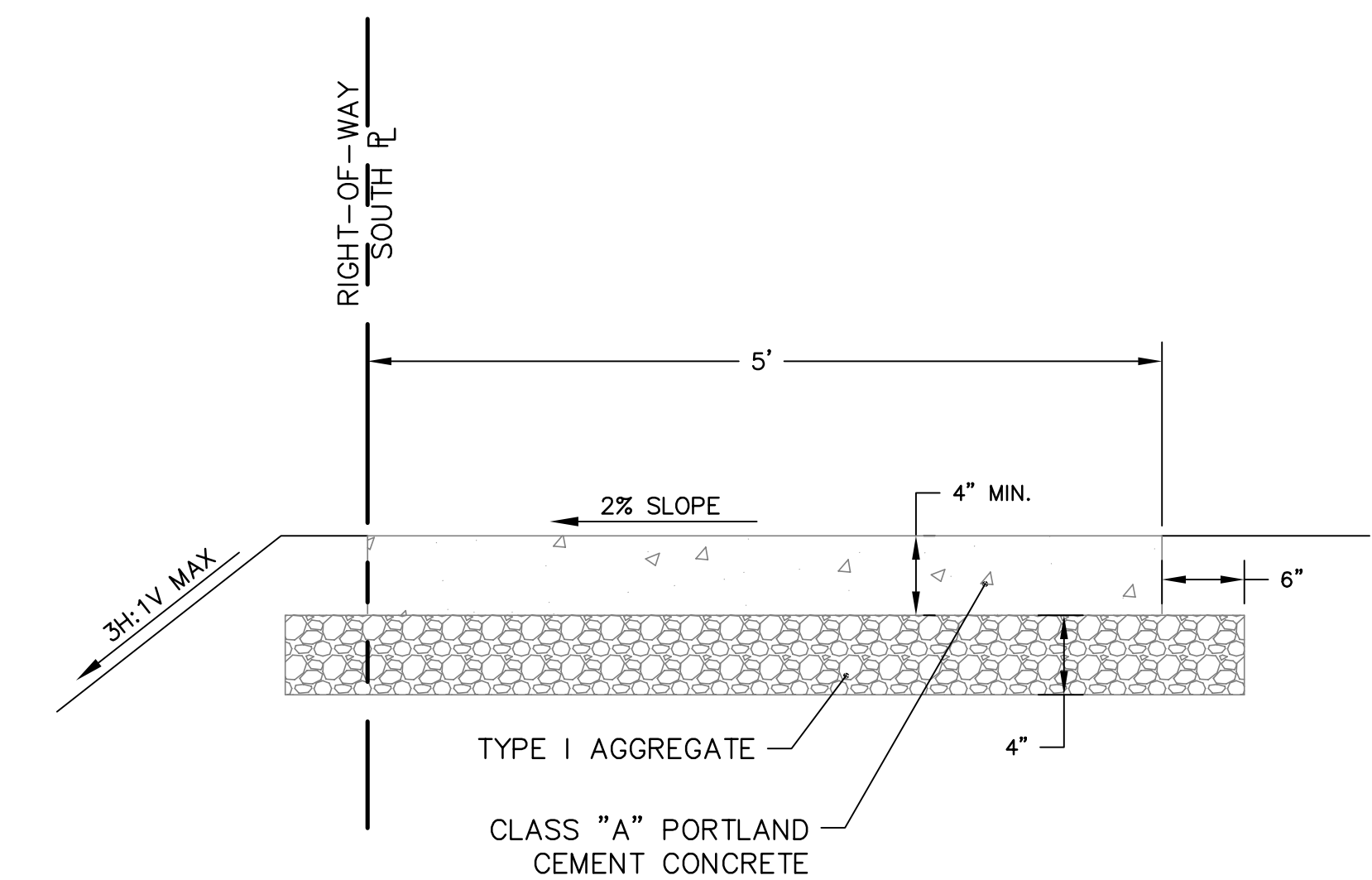
- CONSTRUCTION METHODS AND MATERIALS SHALL CONFORM TO THE LATEST REVISIONS OF THE STANDARD GENERAL CONDITION AND TECHNICAL SPECIFICATION FOR CONSTRUCTION OF SIDEWALKS FOR THE CITY OF SPRINGFIELD, PUBLIC WORKS.
- SIDEWALK: 60" WIDE, 4" THICK WITH CONTROL JOINTS AT 4'-6' ON CENTER. COMPLY WITH THE REQUIREMENTS OF THE CITY OF SPRINGFIELD, "PUBLIC WORKS DESIGN STANDARDS FOR PUBLIC IMPROVEMENTS," CHAPTER 10.
- SIDEWALKS THROUGH DRIVEWAY SECTIONS SHALL BE CONSTRUCTED PER CITY OF SPRINGFIELD STANDARD DRAWING ST-9, "TYPICAL COMMERCIAL DRIVEWAY & SIDEWALK."
- CONSTRUCT DRIVEWAY IN COMPLIANCE WITH CITY OF SPRINGFIELD STANDARD DRAWING ST-9, "TYPICAL COMMERCIAL DRIVEWAY & SIDEWALK." PROVIDE 8" MIN. CLASS "A" CONCRETE ON 4" TYPE 1 COMPACTED STONE.
- PROTECT OR HAVE A REGISTERED SURVEYOR REESTABLISH PROPERTY CORNER MONUMENTS (IRON PINS OR OTHER).
- WHERE PARTIAL REMOVAL OF PAVING, CONCRETE, SIDEWALK, CURB & GUTTER, OR OTHER IMPROVEMENTS IS NECESSARY, SAWCUT THE MATERIAL AT THE REMOVAL LINE. ROUGH OR RAGGED EDGES AT LIMITS OF REMOVAL WILL NOT BE ACCEPTABLE. MATCH TOP OF PROPOSED SIDEWALK TO TOP OF EXISTING SIDEWALK. EXISTING SIDEWALK SHALL BE SAWCUT AT EXISTING JOINT AND EXPANSION TO BE INSTALLED AT START OF NEW SIDEWALK.
- WARP CONCRETE AROUND EXISTING WATER METER LIDS TO BEST FIT RIM ELEVATIONS.
- ADJUST HORIZONTAL ALIGNMENT IN THIS AREA AS NECESSARY TO PROVIDE CONNECTION TO SIDEWALK FOR BIG SHOTS GOLF.

GRADING NOTES:

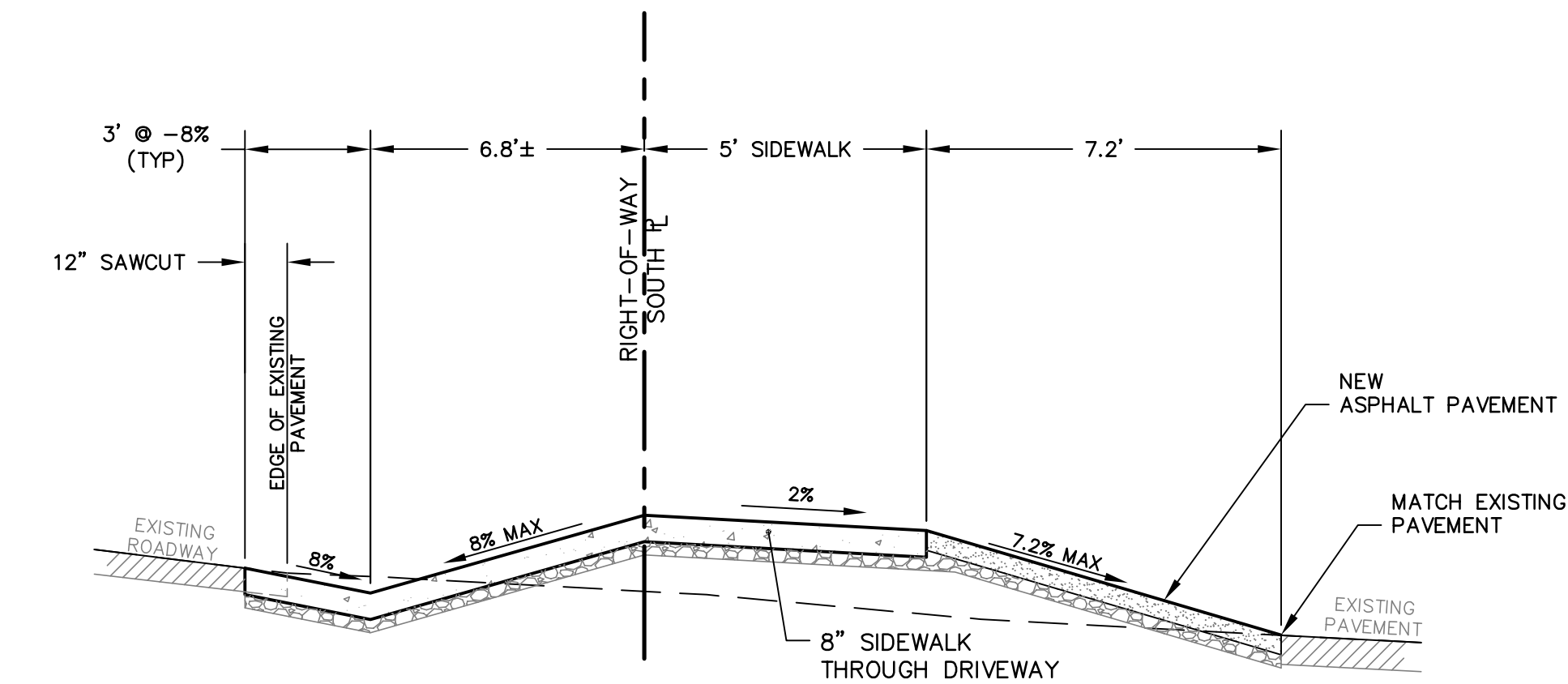
- CONTOURS ARE SHOWN TO INDICATE GENERAL GRADING. SPOT ELEVATIONS, TYPICAL SECTIONS, AND DETAILS CONTROL. NOTIFY ENGINEER IMMEDIATELY OF ANY CONFLICTS BETWEEN CONTOURS, SPOT ELEVATIONS, SECTIONS, OR DETAILS.
- SIDEWALKS: CROSS SLOPE SHALL BE 2% UNLESS NOTED TO BE LESS. LONGITUDINAL GRADE SHALL NOT EXCEED 5%. NOTIFY ENGINEER IMMEDIATELY OF ANY AREAS THAT APPEAR TO HAVE A CROSS SLOPE GREATER THAN 2% OR A LONGITUDINAL SLOPE GRATER THAN 5%.
- GROUND SLOPES SHALL NOT EXCEED 3H:1V. GRADE VEGETATED AREAS SMOOTHLY AS INDICATED BY CONTOURS.
- ENSURE THAT GRADING TRAPS NO WATER.
- GRADE DRIVEWAY IN ACCORDANCE WITH CITY OF SPRINGFIELD STANDARD DRAWING ST-9, "TYPICAL COMMERCIAL DRIVEWAY & SIDEWALK."
- MATCH TOP OF GRASS TO TOP OF PAVEMENT/SIDEWALK AS SHOWN.
- CROSS SLOPE TO TRANSITION OVER 6'.



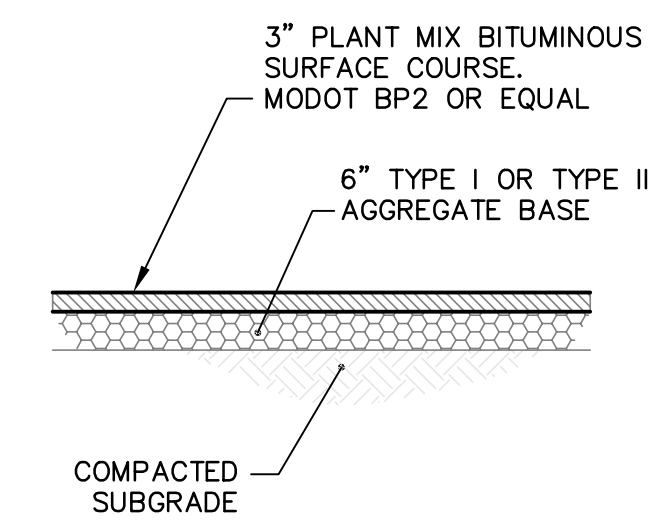
A **Sidewalk Plan**
SW1.1 SCALE: 1" = 10'



B **Sidewalk Detail**
SW1.1 SCALE: NTS



C **Driveway Section**
SW1.1 SCALE: NTS



D **Asphalt Pavement**
SW1.1 SCALE: NTS

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MISSOURI CERTIFICATE OF AUTHORITY NO. A-2013033840

CONSULTANTS

MECHANICAL ENGINEER:

STRUCTURAL ENGINEER:

EDELMAN ENGINEERING

5820 E. VILLAGE LANE

SPRINGFIELD, MO. 65809

417.882.9850 PHONE

12/14/20

EXTERIOR REMODEL FOR:

THE LONG DRIVE CENTER

1845 EAST TURNER STREET

SPRINGFIELD, GREENE COUNTY, MISSOURI

ZIP CODE - 65803

ISSUE DATE

12-14-2020

REVISIONS

NO. DATE TYPE

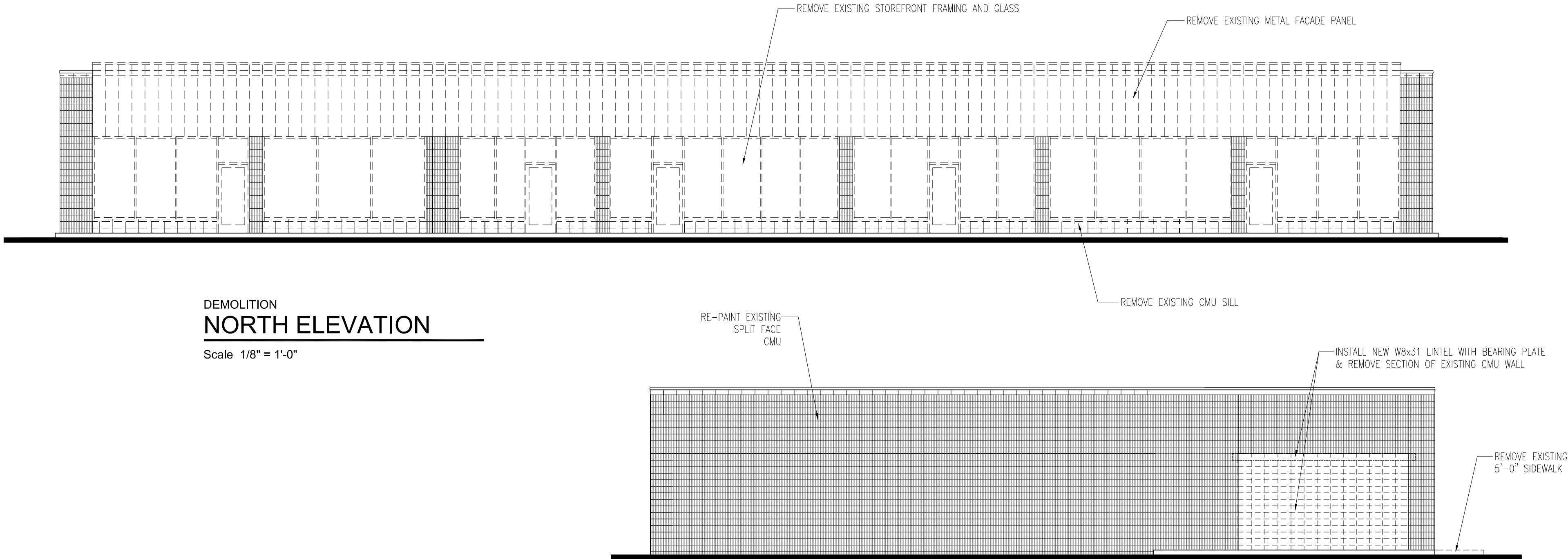
PROJECT NO.

DRAWING TITLE

DEMOLITION PLAN

DRAWING NO.

D1.0

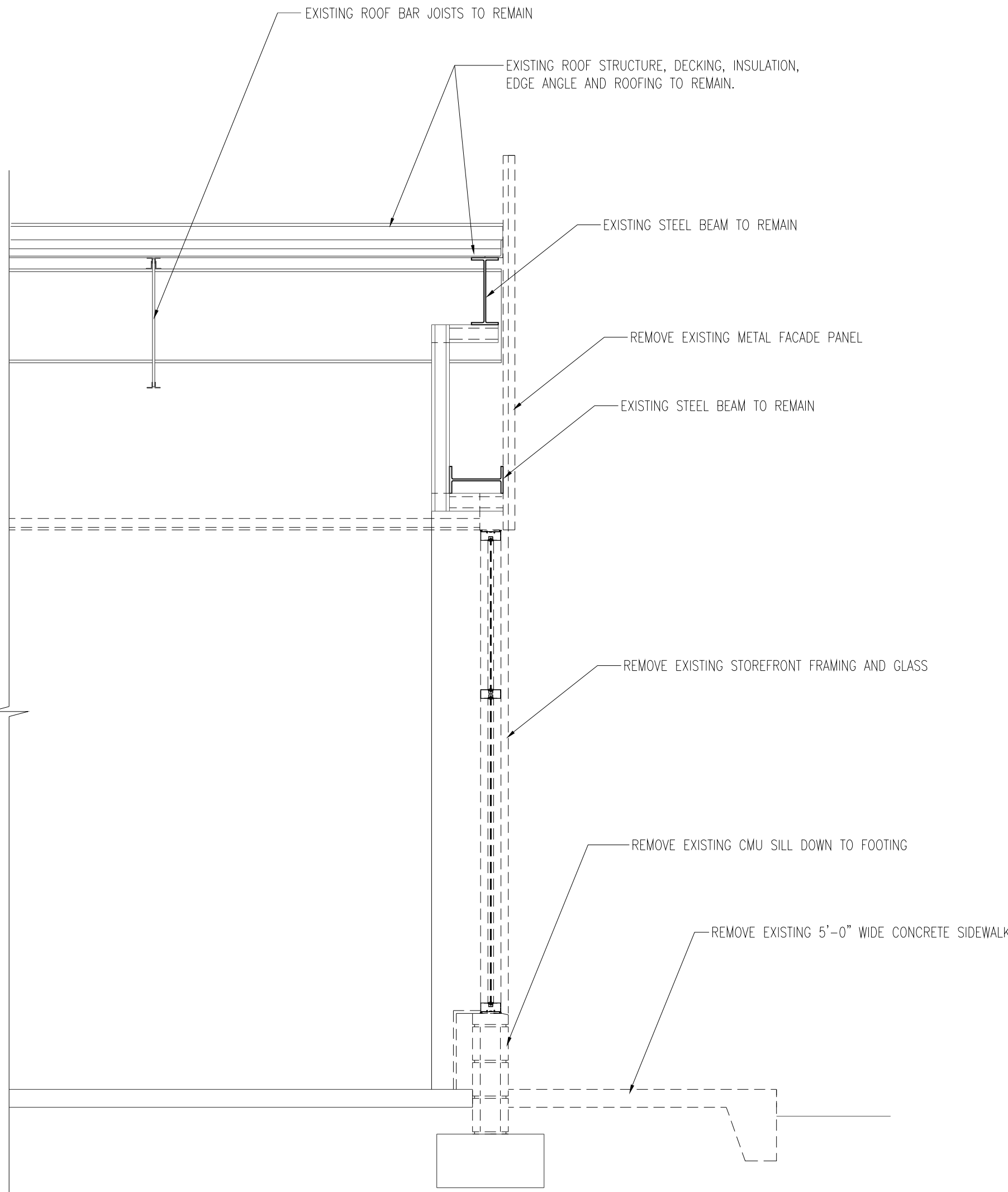


DEMOLITION
NORTH ELEVATION

Scale 1/8" = 1'-0"

DEMOLITION
EAST ELEVATION (WEST ELEVATION SIMILAR)

Scale 1/8" = 1'-0"



DEMOLITION
Wall Section

Scale: 1/2" = 1'-0"

GENERAL DEMOLITION NOTES:

- ALL DEMOLITION WORK SHALL BE PERFORMED IN ACCORDANCE WITH ALL LOCAL AND STATE REGULATIONS. SECURE THE REQUIRED DEMOLITION PERMITS. ARRANGE WITH OWNER AND/OR APPROPRIATE AUTHORITY FOR SERVICE SHUTOFFS BEFORE BEGINNING DEMOLITION OPERATIONS. (IDENTIFY ALL EXISTING HARDWARE, EQUIPMENT AND DEVICES SCHEDULED TO REMAIN, OR TO BE SALVAGED FOR REUSE).
- COORDINATE ALL DEMOLITION OPERATIONS WITH THE BUILDING OWNER AND ADJACENT TENANTS WHERE APPLICABLE FOR SHUTDOWN PERIODS AND SEQUENCES OF WORK. PROTECT EXISTING HARDWARE, EQUIPMENT AND DEVICES TO REMAIN, AND ASSURE CONTINUING FACILITY OPERATION IN REMAINDER OF BUILDING.
- REMOVE ALL DEMOLISHED MATERIALS FROM THE SITE AND DISPOSE OF IN ACCORDANCE WITH LOCAL AND STATE REGULATIONS, UNLESS THEY ARE SCHEDULED FOR SALVAGE AND REUSE, OR ITEMS TO BECOME PROPERTY OF THE OWNER, LOCAL AUTHORITIES OR THE UTILITY COMPANY. CONFIRM WITH APPROPRIATE PARTIES THOSE ITEMS TO BE TURNED OVER OR SALVAGED. ALL ITEMS TO BE TURNED OVER SHALL BE PROTECTED DURING DEMOLITION AND REMOVAL AND SHALL BE DELIVERED TO THE APPROPRIATE PARTY IN AN UNDAMAGED CONDITION.
- ALL ITEMS SCHEDULED TO BE SALVAGED FOR REUSE SHALL BE REMOVED WITH CARE, STORED AND PROTECTED FROM DAMAGE UNTIL SAID ITEMS ARE TO BE INCORPORATED IN THE NEW WORK. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO REPLACE AND/OR RESTORE ANY ITEMS SCHEDULED FOR SALVAGE AND REUSE THAT ARE DAMAGED DURING THE COURSE OF CONTRACT OPERATIONS. THE NEW TENANT SHALL DETERMINE THE SUITABILITY OF THESE SALVAGED ITEMS FOR REUSE IN THE WORK.
- DEMOLITION PLANS SHALL BE COORDINATED WITH DRAWINGS FOR NEW CONSTRUCTION (INTERIOR ELEVATIONS, DETAILS, ETC.) SO THAT THE EXACT BOUNDARIES OF SPECIFIC DEMOLITION MAY BE DETERMINED.
- IT IS NOT THE INTENT OF THESE DRAWINGS TO SHOW EVERY PART OR ITEM TO BE REMOVED IN THE DEMOLITION WORK. MECHANICAL, ELECTRICAL AND OTHER WORK RELATED TO A WALL, CEILING OR AREA SCHEDULED FOR DEMOLITION AND REMOVAL SHALL BE PERFORMED WHETHER SO SHOWN OR NOTED OR NOT. PROTECT ALL ITEMS INTENDED FOR SALVAGE AND REUSE, OR SCHEDULED TO REMAIN. WHERE EXISTING WALL SUBSTRATES ARE TO BE REMOVED, ALL RELATED MECHANICAL, ELECTRICAL, ALARM, PHONE, SECURITY SYSTEMS, CONTROLS, EXIT SIGNS, OUTLETS, ETC. SHALL BE PROTECTED AND WHERE REQUIRED SHALL BE REMOVED AND REINSTALLED TO FIT FLUSH WITH THE NEW WALL FINISH. WHERE EXISTING MECHANICAL, ELECTRICAL AND PLUMBING ITEMS ARE RUN EXPOSED ON WALL SURFACES THE GENERAL CONTRACTOR SHALL OPEN RELATED WALL CAVITIES AS REQUIRED AND CONCEAL SAID ITEMS IN THE WALL.
- PATCH/REPAIR/REFINISH ALL SURFACES EXPOSED BY DEMOLITION WORK TO MATCH AND ALIGN WITH EXISTING ADJACENT SURFACES SCHEDULED TO REMAIN. WORK SHALL INCLUDE ALL LABOR AND MATERIALS REQUIRED TO RENDER SUBSTRATES ACCEPTABLE TO RECEIVE NEW FINISHES AS SPECIFIED. SUBSTRATES SHALL BE PREPARED AND ALL NEW FINISHES SHALL BE APPLIED IN STRICT ACCORDANCE WITH MANUFACTURER'S WRITTEN INSTRUCTIONS AND RECOMMENDATIONS.
- WHEN WALLS, COLUMNS OR OTHER SUPPORTING AND/OR BRACING ELEMENTS ARE SCHEDULED FOR DEMOLITION, TEMPORARY STRUCTURAL SUPPORTS AND BRACING FOR THE ADJACENT CONSTRUCTION SHALL BE PROVIDED AND MAINTAINED UNTIL THE PERMANENT SUPPORTING STRUCTURES ARE IN PLACE AND ABLE TO SUPPORT THE IMPOSED LOADS.
- IF, DURING THE COURSE OF THE DEMOLITION, UNKNOWN STRUCTURAL ELEMENTS ARE DISCOVERED EMBEDDED OR HIDDEN IN WALLS OR FLOOR/CEILING ASSEMBLIES TO BE REMOVED, STOP THE DEMOLITION WORK AND CONTACT THE ARCHITECT AND/OR THE STRUCTURAL ENGINEER FOR FURTHER INSTRUCTIONS PRIOR TO CONTINUING THE DEMOLITION ACTIVITY.
- TERMINATE CAP OR REMOVE ALL ABANDONED ELECTRICAL CONDUIT, WIRING BOXES, SWITCHES, PLUMBING FIXTURES AND PIPING, ALL HVAC EQUIPMENT, DUCTWORK, CONTROLS ETC. AS REQUIRED. CONCEAL ALL TERMINATED OR EMPTY CONDUIT, JUNCTION BOXES, DUCTWORK OR PLUMBING SUPPLY, WASTE AND VENT LINES ABOVE OR BEHIND FINISHED SURFACES SO AS NOT TO BE VISIBLE IN FINISHED SPACES.
- PROTECT ALL AREAS SURROUNDING THIS PROJECT FROM DEMOLITION ACTIVITY, FALLING DEBRIS AND LOOSE DEMOLISHED MATERIAL. BARRICADE ALL OPENINGS IN WALLS AND FLOORS THAT WOULD POSE A DANGER TO WORKERS, OTHER OCCUPANTS OF THE BUILDING OR THE GENERAL PUBLIC.
- SHUT OFF ALL UTILITY FEEDS TO ELECTRICAL, PLUMBING & GAS APPLIANCES & FIXTURES IN THE AREA WHERE DEMOLITION OPERATIONS ARE INVOLVED PRIOR TO COMMENCING DEMOLITION OPERATIONS. INSURE THAT ALL CIRCUITS ARE DE-ENERGIZED PRIOR TO DEMOLISHING, CUTTING, REMOVING ANY ELECTRICAL CIRCUITS, CONDUIT OR FIXTURES.

MISSOURI CERTIFICATE OF AUTHORITY NO. A-2013038640

CONSULTANTS

SIGNATURE DATE

MECHANICAL ENGINEER:

PROFESSIONAL ENGINEERING

NIXA, MO. 65714

417.882.9850 PHONE

STRUCTURAL ENGINEER:

EDELMAN ENGINEERING

5820 E. VILLAGE LANE

SPRINGFIELD, MO. 65809

417.882.9850 PHONE



EXTERIOR REMODEL FOR:
THE LONG DRIVE CENTER
1845 EAST TURNER STREET
SPRINGFIELD, GREENE COUNTY, MISSOURI
ZIP CODE - 65803

ISSUE DATE

12-14-2020

REVISIONS

NO. DATE TYPE

PROJECT NO.

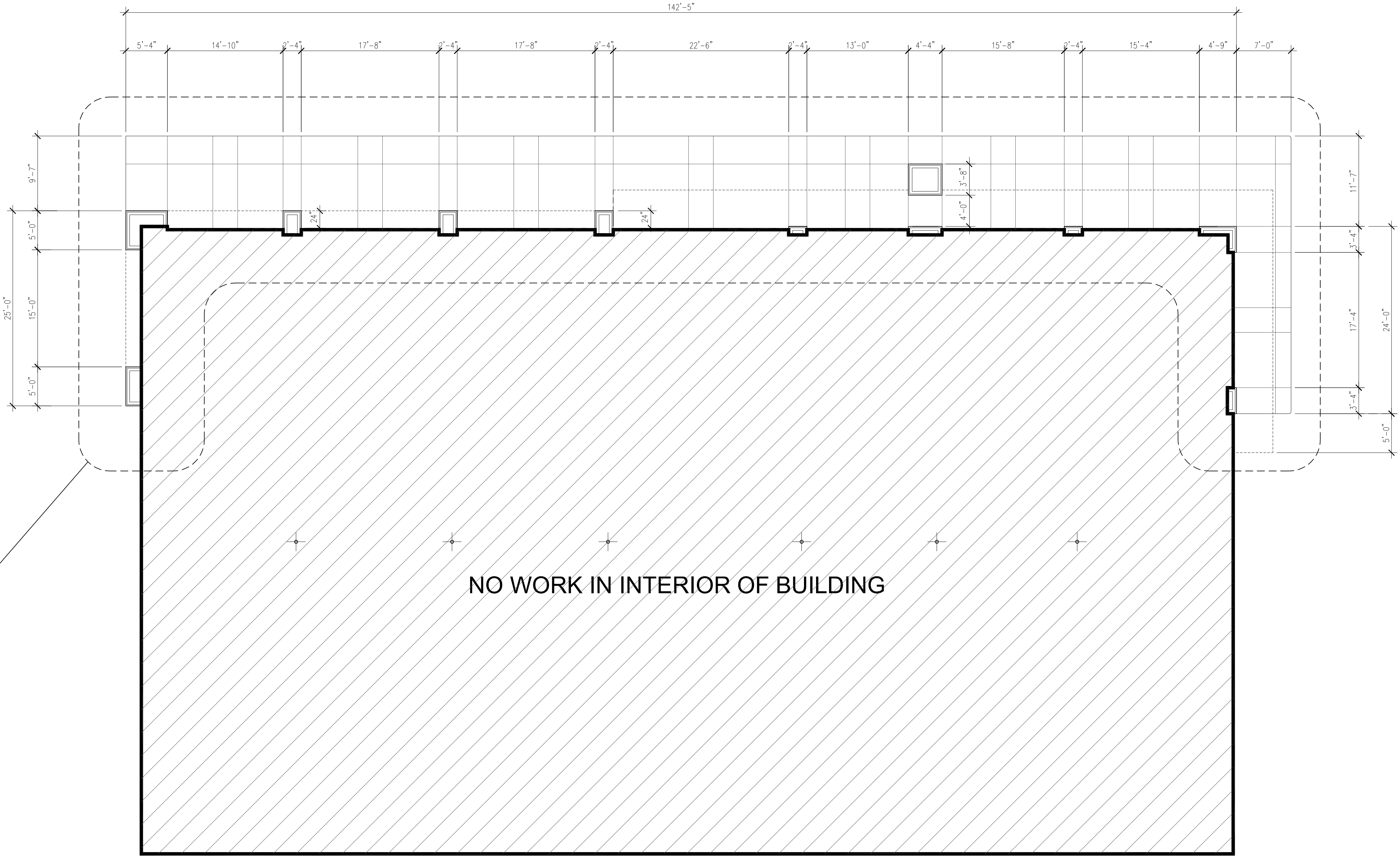
DRAWING TITLE

FRONT REMODEL PLAN

DRAWING NO.

A1.0

LIMITS OF REMODEL AREA

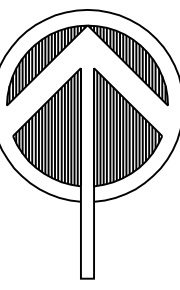


Building Footprint Plan Showing Remodel Area

Scale 1/8" = 1'-0"

Note:
Exterior remodel only. No interior work, additional square footage or change of use.

North



APPROVED

FOR CONSTRUCTION BY THE CITY OF SPRINGFIELD, MO

BUILDING OFFICIAL

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MISSOURI CERTIFICATE OF AUTHORITY NO. A-201303840

CONSULTANTS

DATE

01/20/21

MECHANICAL ENGINEER:

PAUL R. BROWN

REGISTERED PROFESSIONAL ENGINEER

NO. 65714

417.849.1989 PHONE

STRUCTURAL ENGINEER:

EDELMAN ENGINEERING

5820 E. VILLAGE LANE

SPRINGFIELD, MO. 65809

417.882.9850 PHONE

STATE OF MISSOURI

WILLIAM B. BROWN

REGISTERED ARCHITECT

NO. 4061

12/14/20

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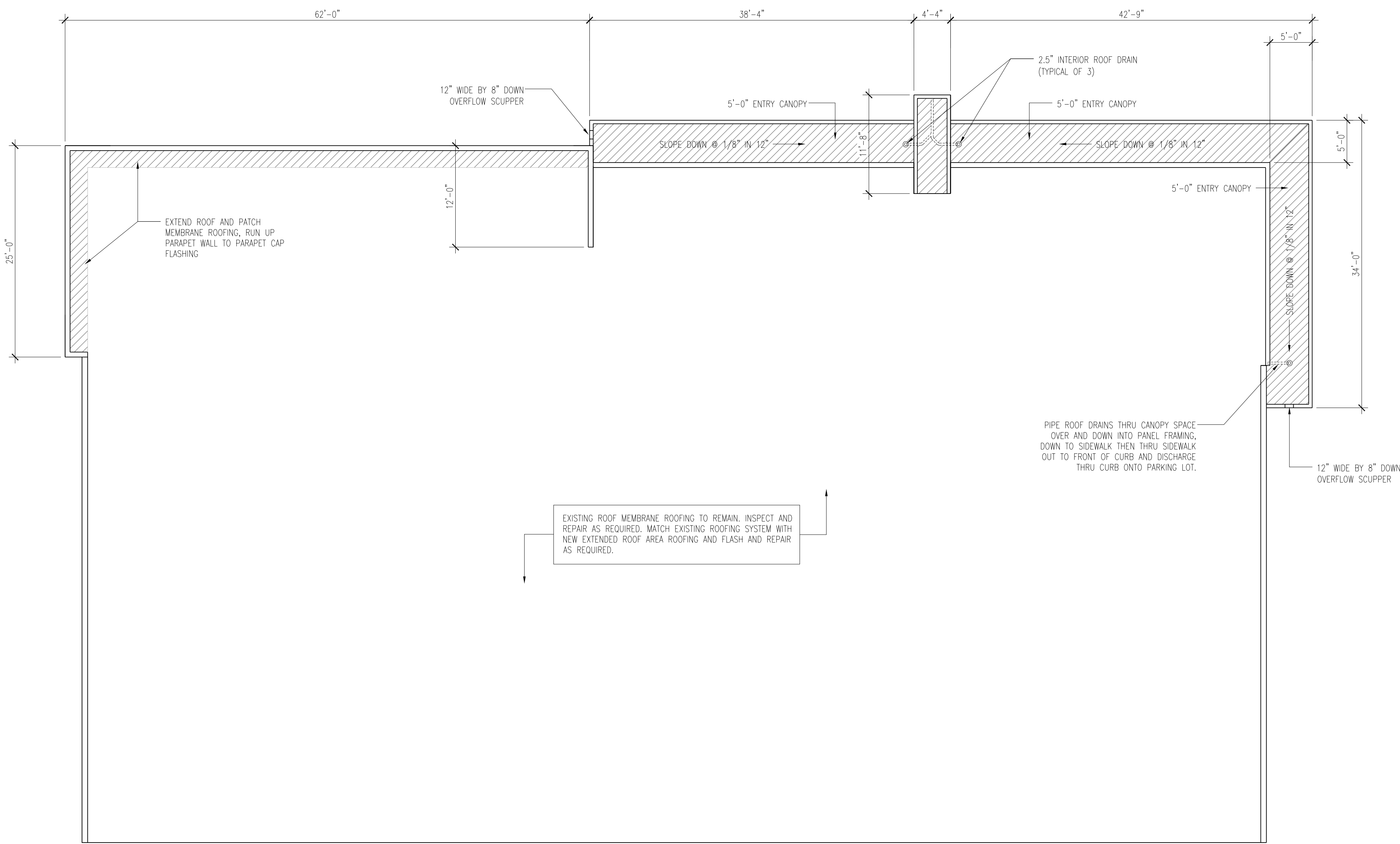
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DRAWING TITLE

ROOF PLAN

DRAWING NO.

A1.1



Roof Plan

Scale 1/8" = 1'-0"

North

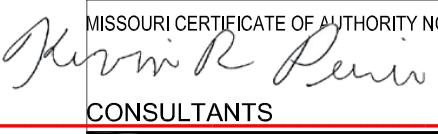
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MISSOURI CERTIFICATE OF AUTHORITY NO. A-2013038640



CONSULTANTS

SIGNATURE

DATE

MECHANICAL ENGINEER:

PRO ENGINEERING

1700 W. GARDEN

NIXA, MO. 65714

417.849.1989 PHONE

STRUCTURAL ENGINEER:

EDELMAN ENGINEERING

5820 E. VILLAGE LANE

SPRINGFIELD, MO. 65809

417.882.9850 PHONE

STATE OF MISSOURI

WILLIAM B. BARNETT

REGISTERED ARCHITECT

4061

12/14/20

EXTERIOR REMODEL FOR:

THE LONG DRIVE CENTER

1845 EAST TURNER STREET

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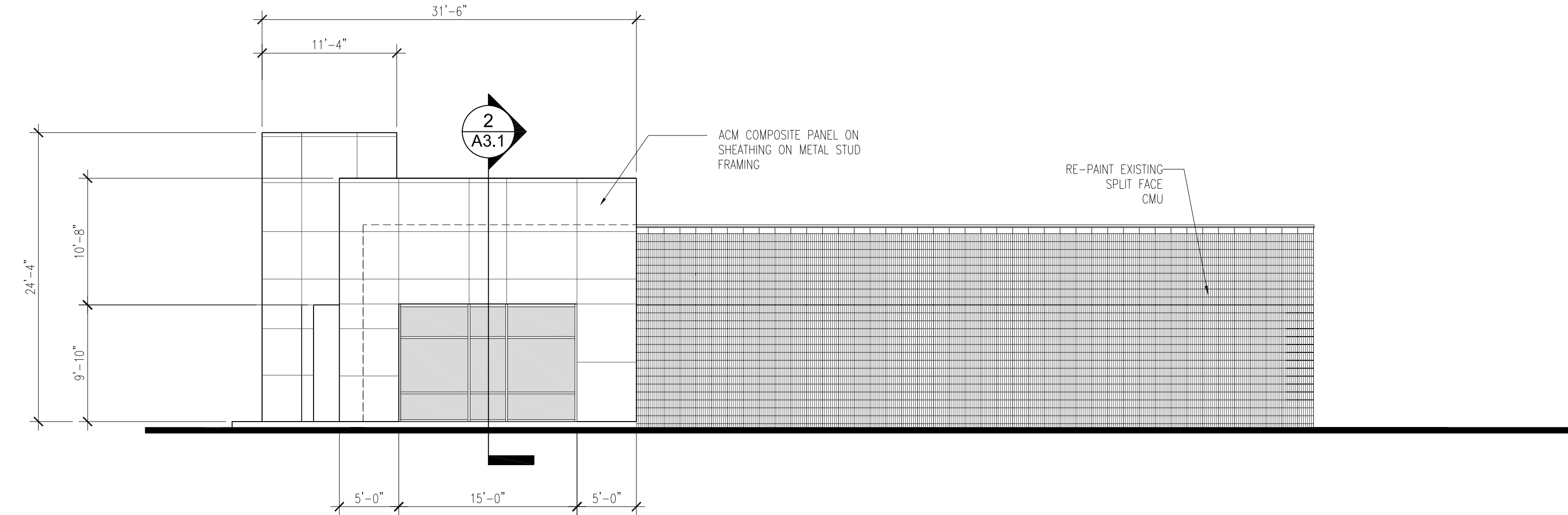
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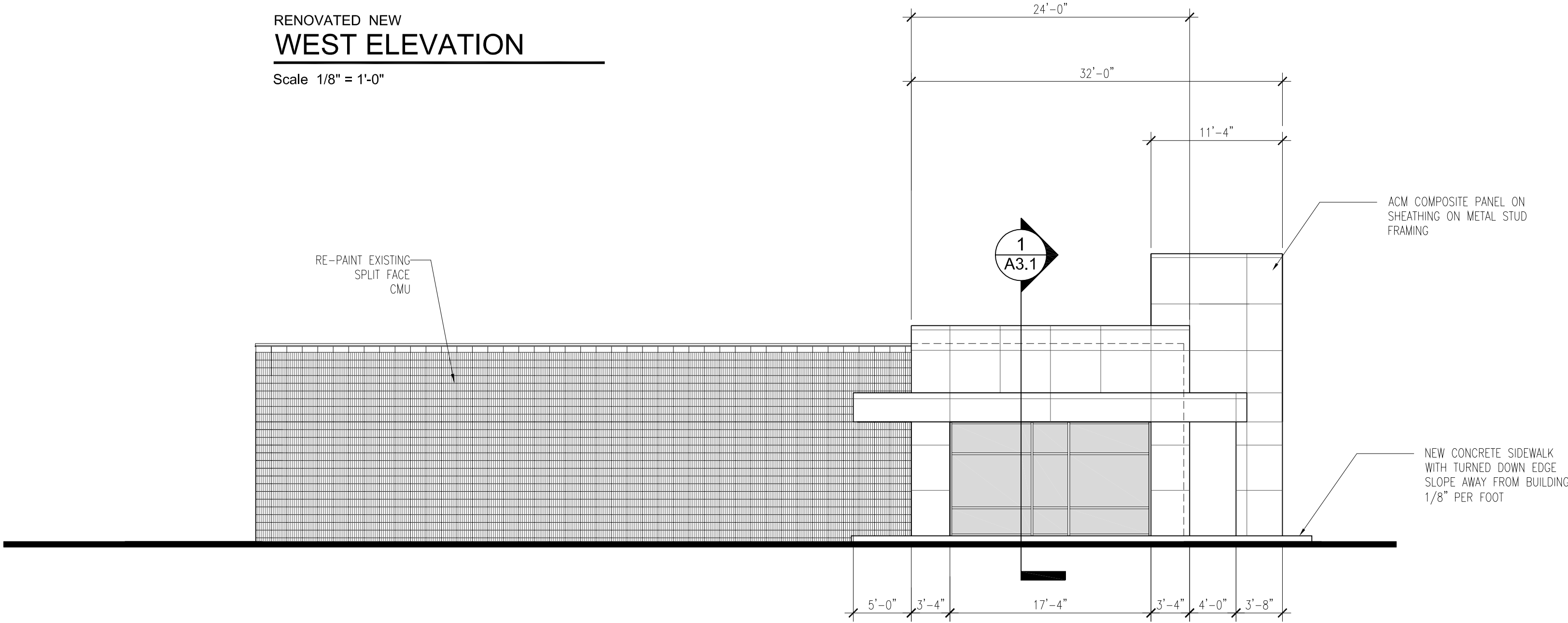
ELEVATIONS

DRAWING NO.

A2.0

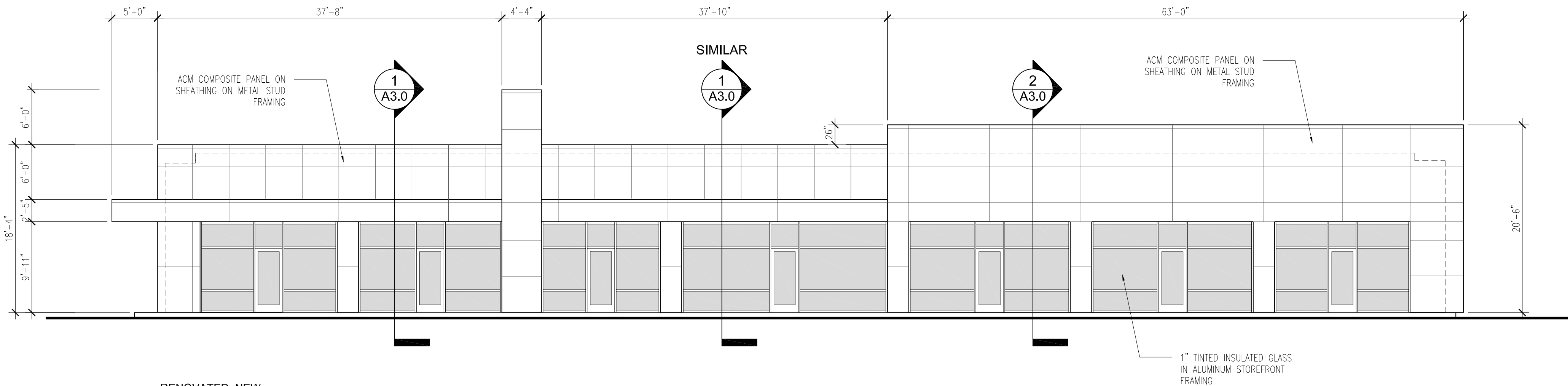


RENOVATED NEW
WEST ELEVATION
Scale 1/8" = 1'-0"



RENOVATED NEW
EAST ELEVATION
Scale 1/8" = 1'-0"

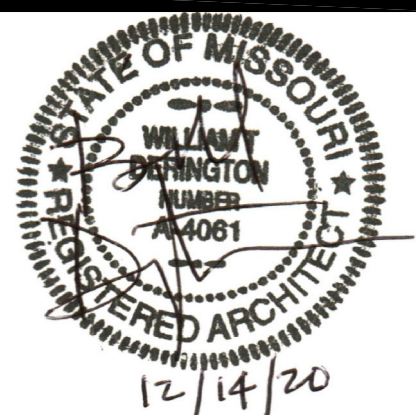
EXTERIOR FINISH NOTE:
RE-PAINT ALL EXISTING EXTERIOR MASONRY INCLUDING ENTIRE SOUTH ELEVATION OF BUILDING. RE-PAINT ALL TRIM, DOORS, DOOR FRAMES, GUTTERS AND DOWNSPOUTS.
COLOR SELECTION OF ALL NEW AND RE-PAINTED SURFACES BY OWNER.



RENOVATED NEW
NORTH ELEVATION
Scale 1/8" = 1'-0"

CONSULTANTS
DATE
01/20/21

MECHANICAL ENGINEER:
P. R. BOWEN
NIXA, MO. 65714
417.849.1989 PHONE
STRUCTURAL ENGINEER:
EDELMAN ENGINEERING
5820 E. VILLAGE LANE
SPRINGFIELD, MO. 65809
417.882.9850 PHONE



EXTERIOR REMODEL FOR:
THE LONG DRIVE CENTER
1845 EAST TURNER STREET
SPRINGFIELD, GREENE COUNTY, MISSOURI
ZIP CODE - 65803

ISSUE DATE

12-14-2020

REVISIONS

NO. DATE TYPE

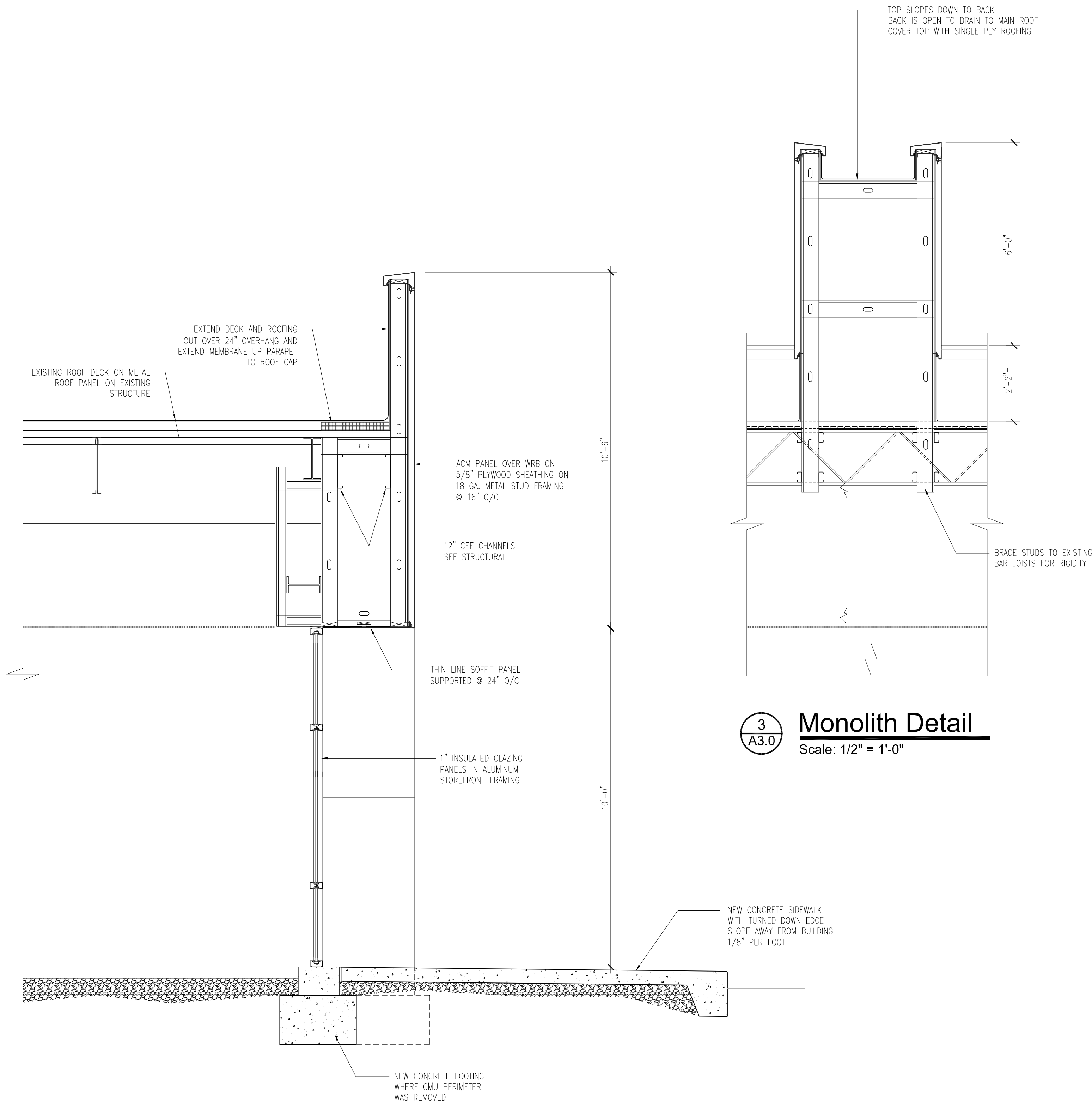
PROJECT NO.

DRAWING TITLE

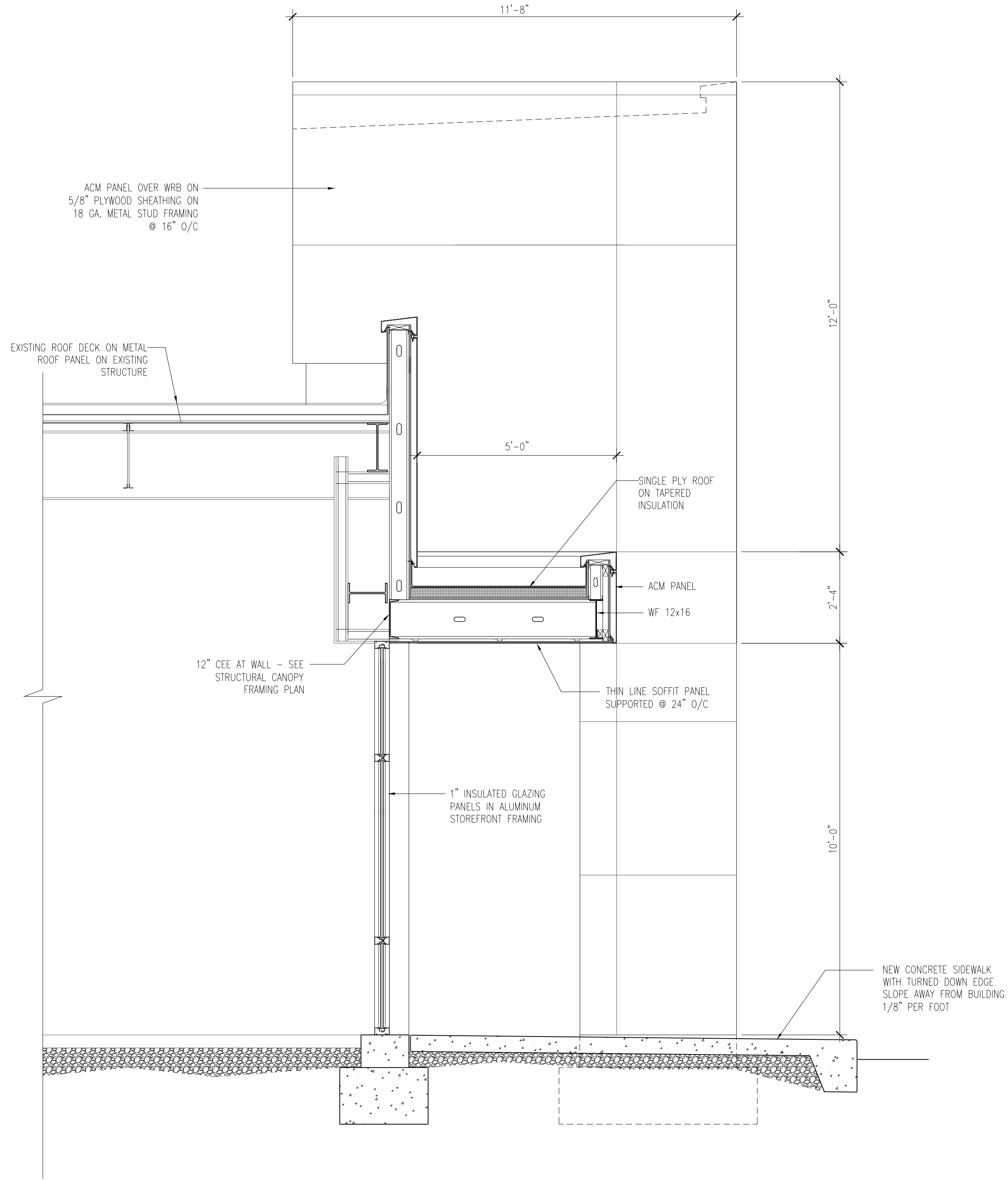
WALL SECTIONS

DRAWING NO.

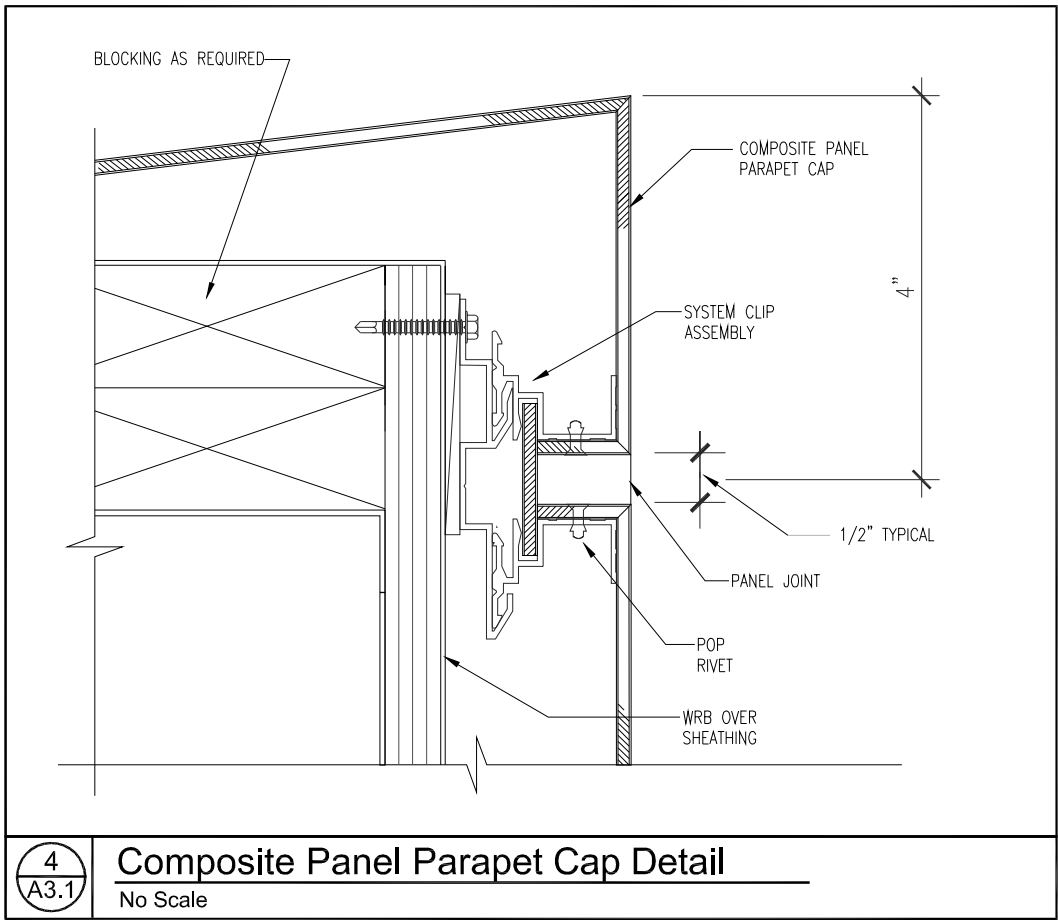
A3.0



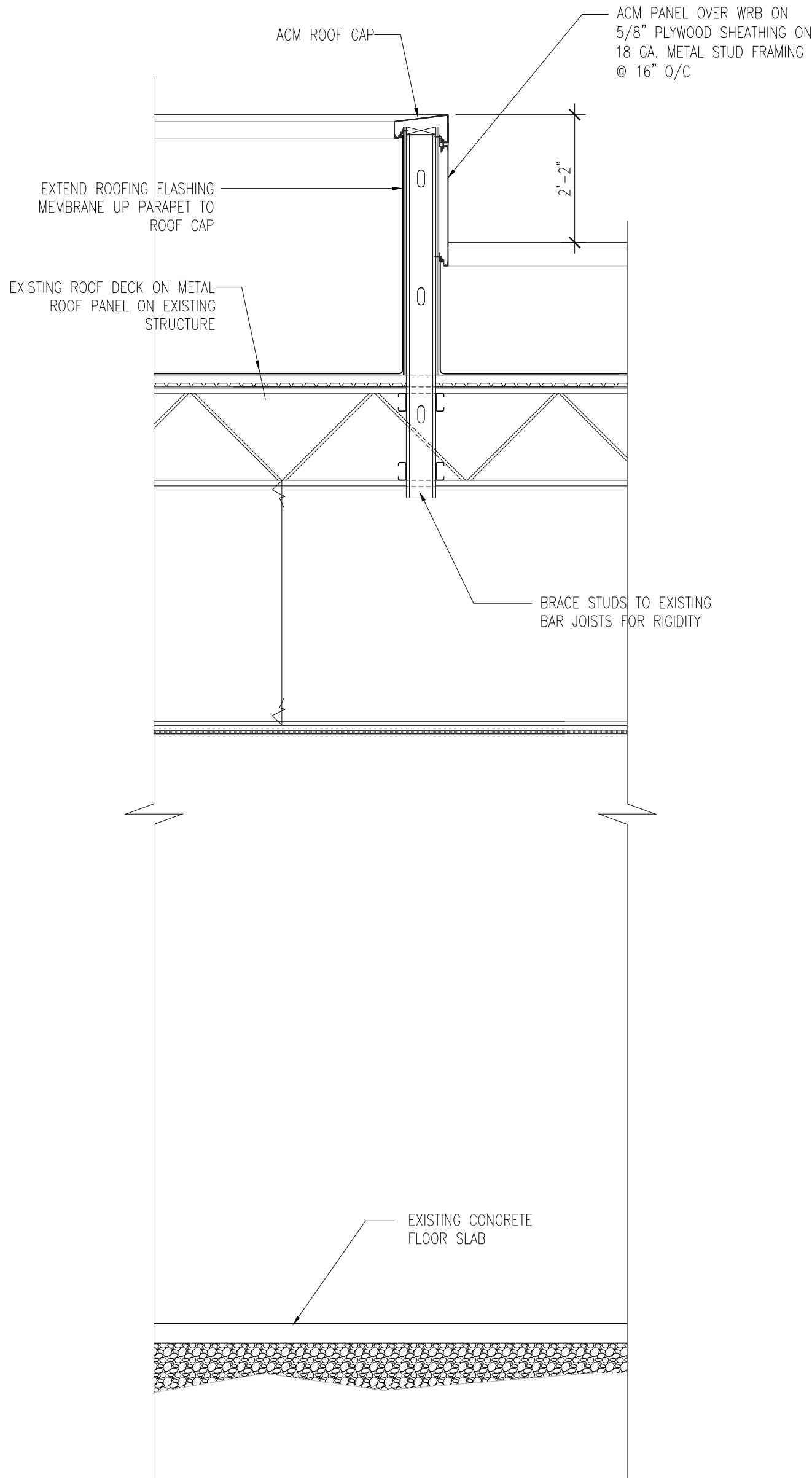
2 A3.0 Wall Section
Scale: 1/2" = 1'-0"



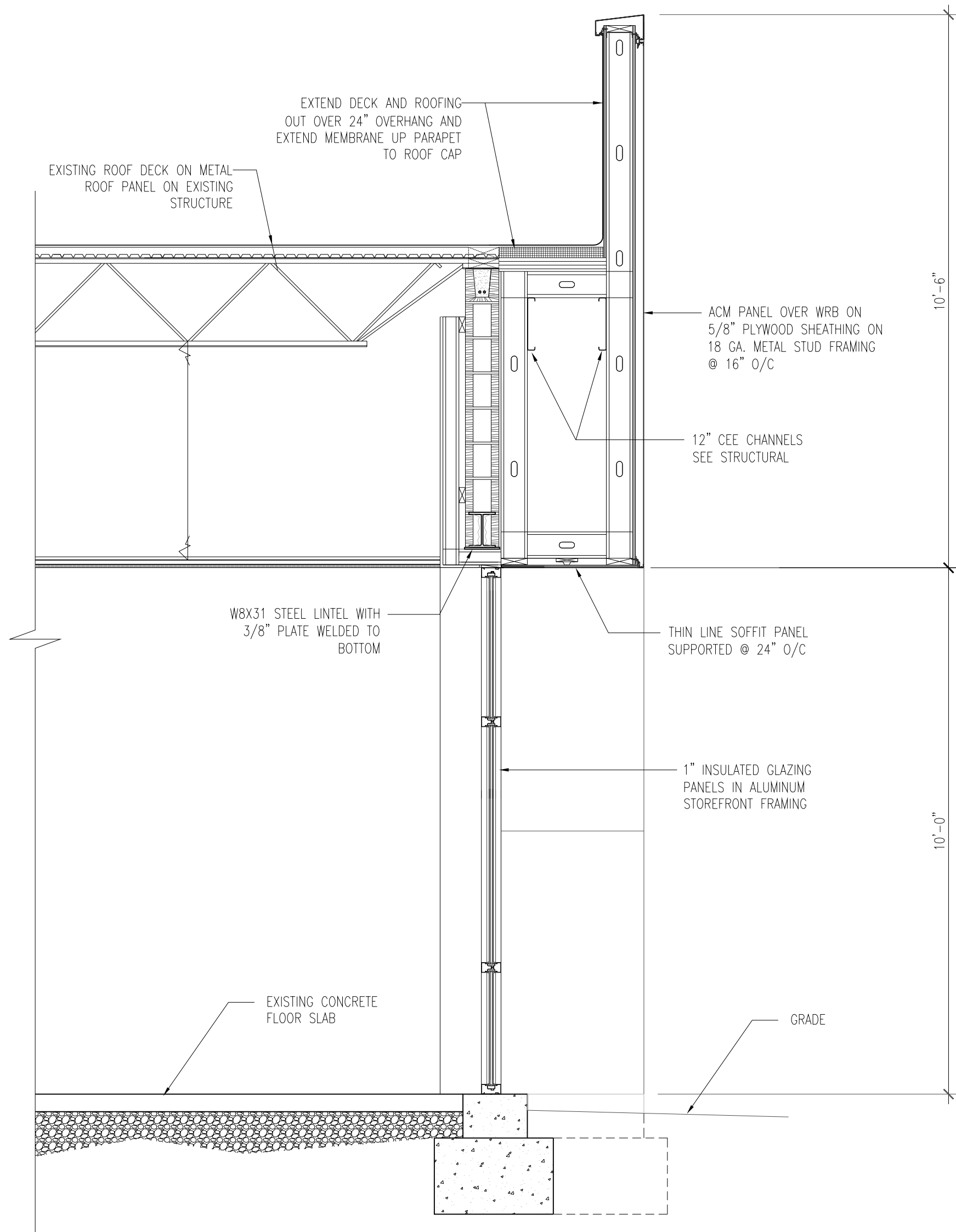
1 A3.0 Wall Section
Scale: 1/2" = 1'-0"



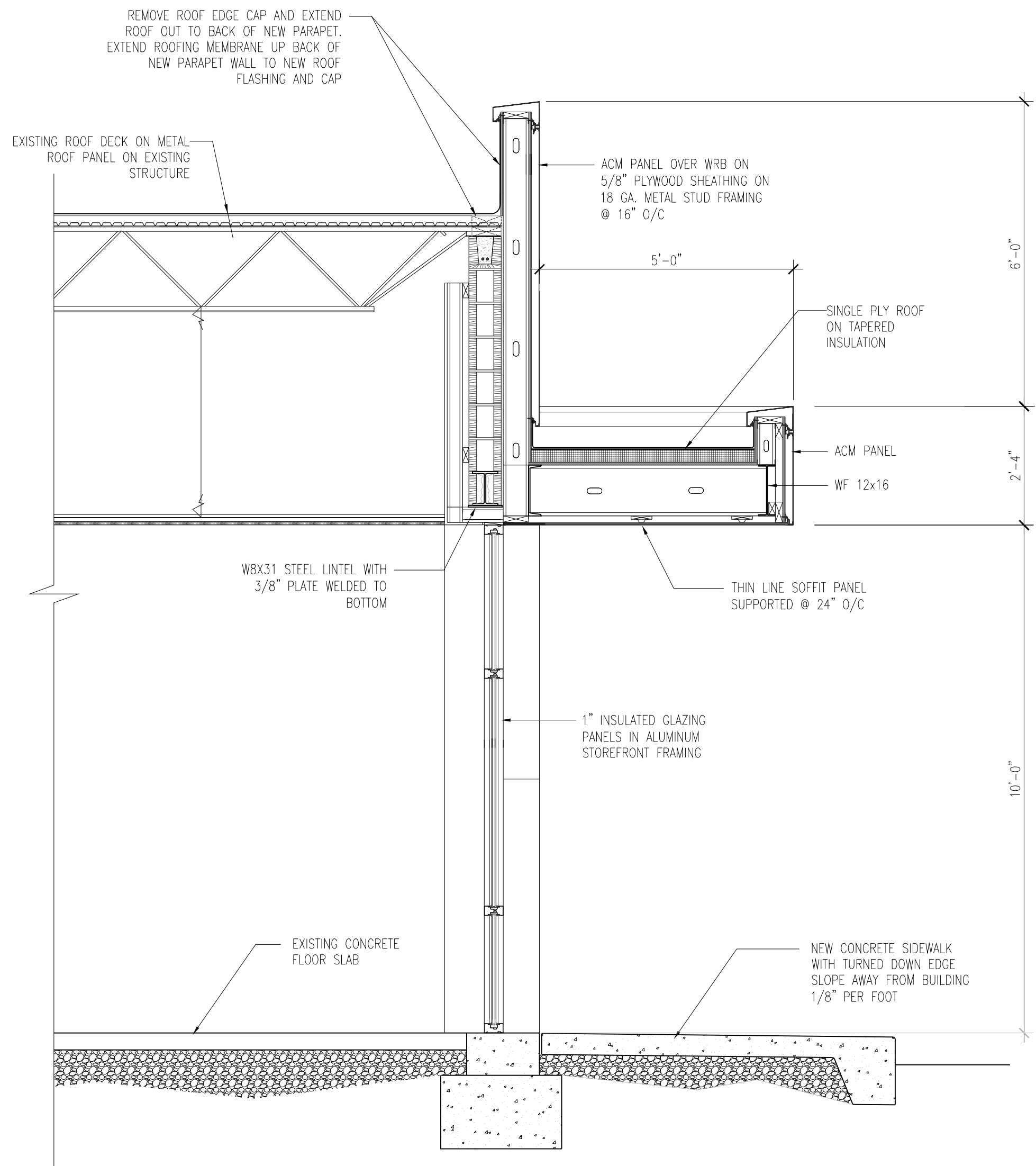
4
A3.1
Composite Panel Parapet Cap Detail
No Scale



3
A3.1
Wall Section
Scale: 1/2" = 1'-0"



2
A3.1
Wall Section
Scale: 1/2" = 1'-0"



1
A3.1
Wall Section
Scale: 1/2" = 1'-0"

EXTERIOR REMODEL FOR:
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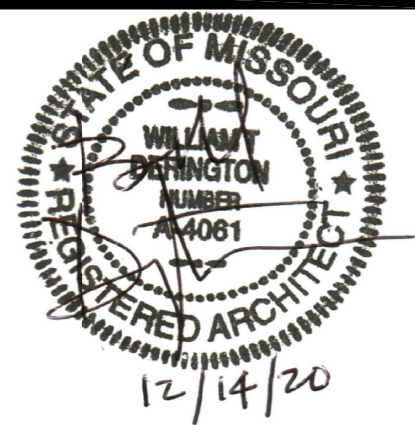
PROJECT NO.

DRAWING TITLE

WALL SECTIONS

DRAWING NO.

A3.1



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THE LONG DRIVE CENTER
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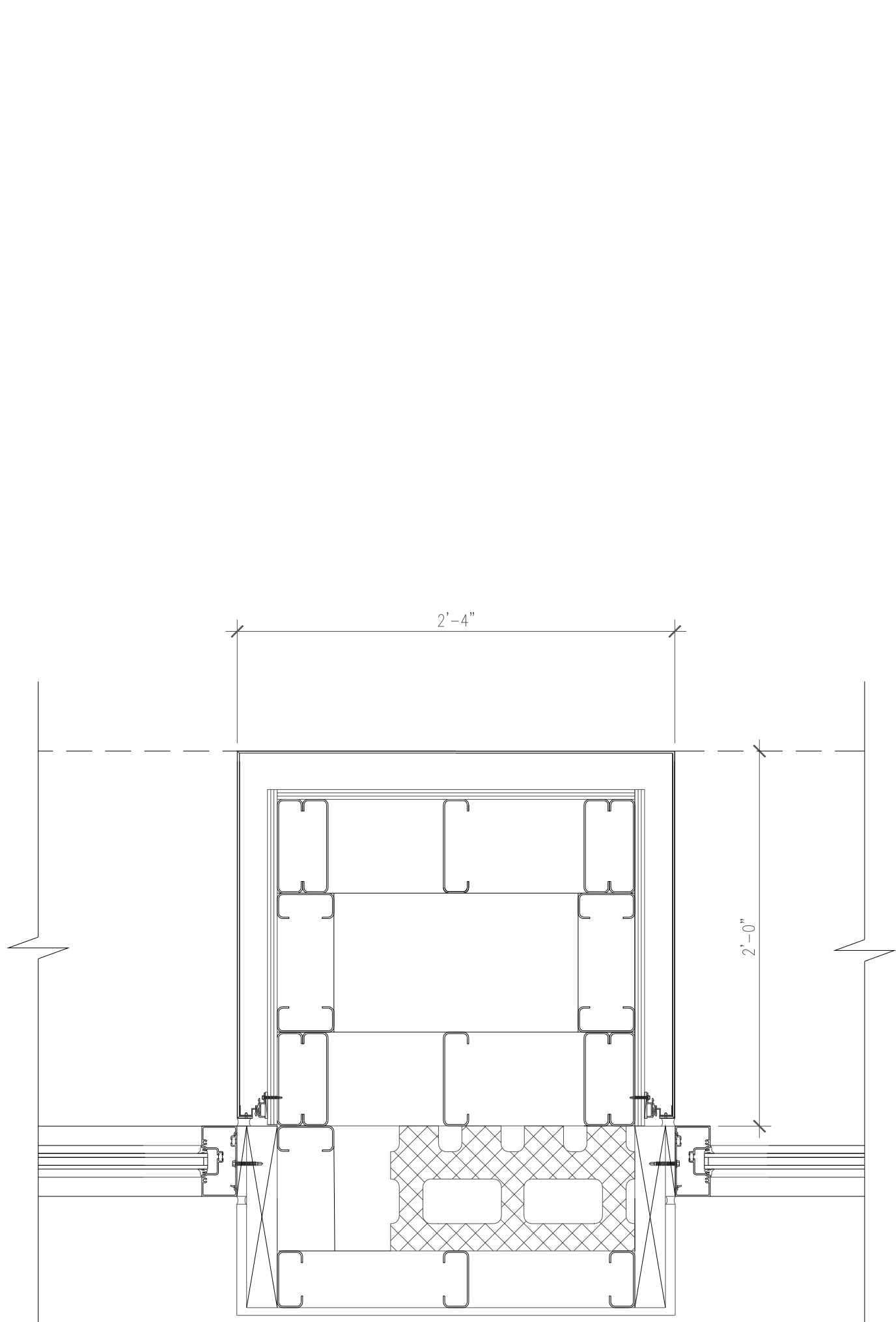
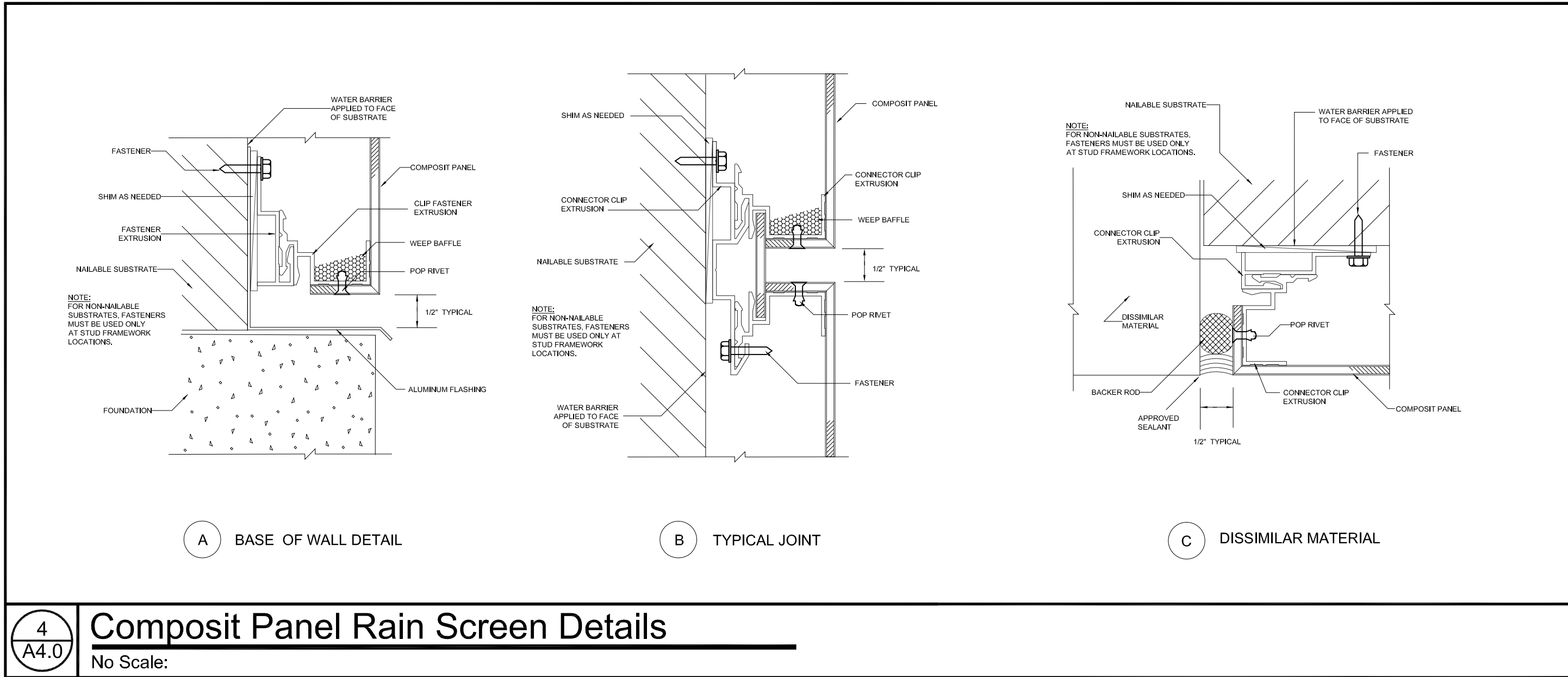
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DETAILS

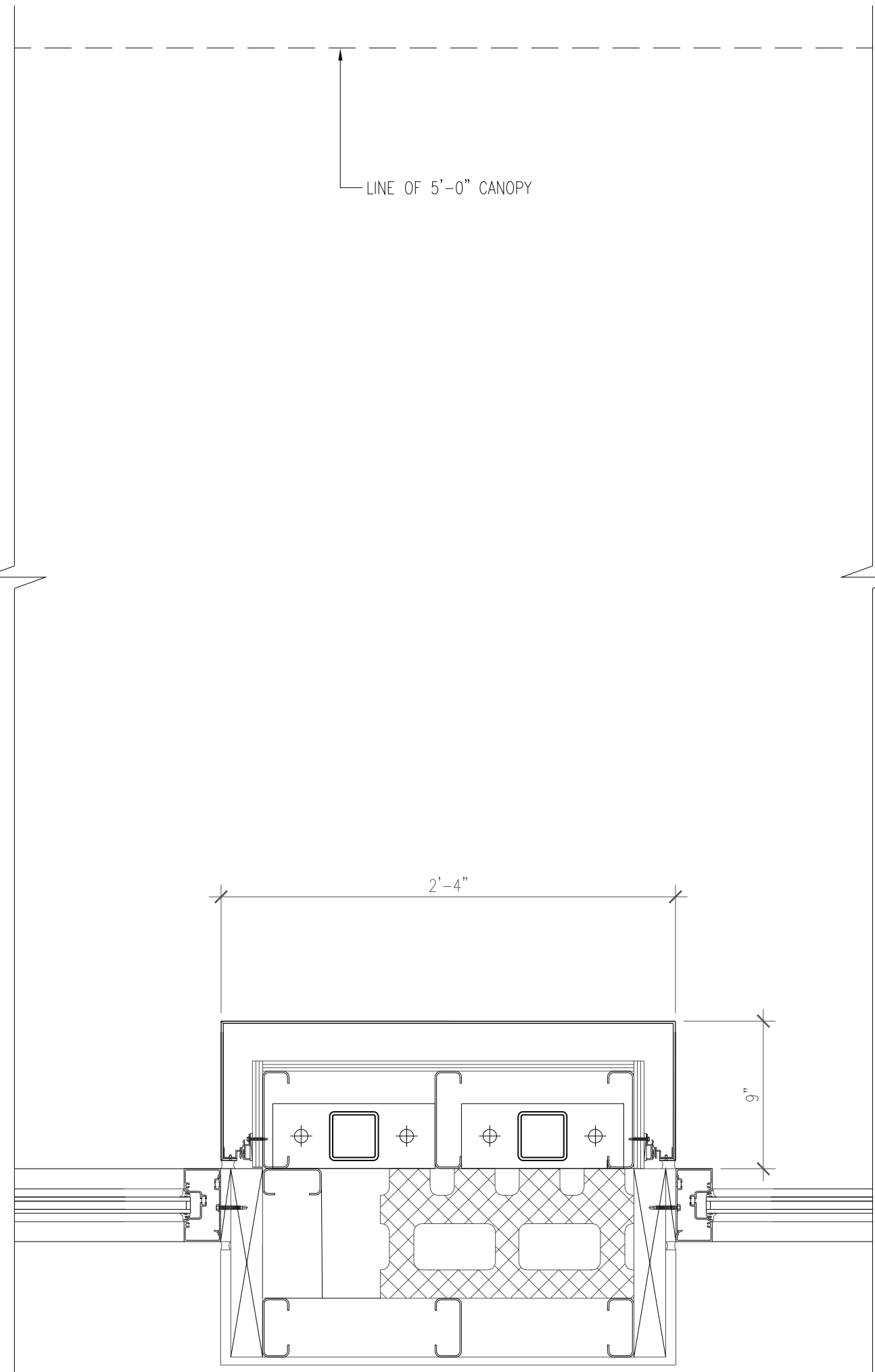
DRAWING NO.

A4.0



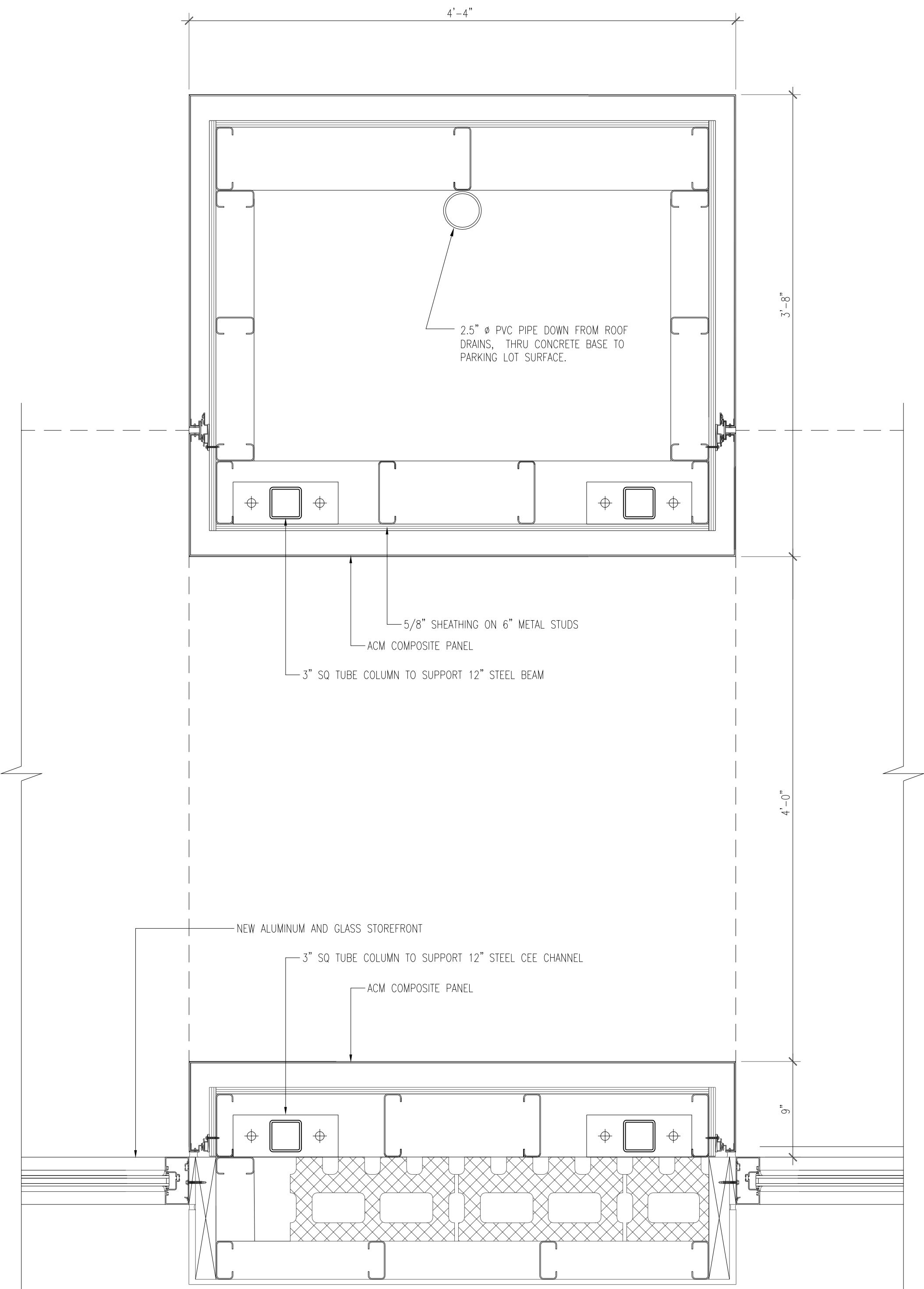
3
A4.0

Plan Detail
Scale: 1-1/2" = 1'-0"



2
A4.0

Plan Detail
Scale: 1-1/2" = 1'-0"



1
A4.0

Plan Detail
Scale: 1-1/2" = 1'-0"

REVIEWED FOR COMPLIANCE WITH THE CITY CODE, ADOPTED BUILDING CODES, ZONING ORDINANCE AND DESIGN STANDARDS. THIS REVIEW AND APPROVAL DOES NOT RELIEVE THE DEVELOPER OR HIS AGENTS OF ANY RESPONSIBILITY FOR COMPLIANCE WITH ALL APPLICABLE REQUIREMENTS, OR FOR OBTAINING NECESSARY PERMITS OR OVERRIDE THE REQUIREMENTS OF OTHER AGENCIES, UNLESS SPECIFICALLY NOTED OTHERWISE.

MISSOURI CERTIFICATE OF AUTHORITY NO. A-2013038840

CONSULTANTS

MECHANICAL ENGINEER:

LATIFI ENGINEERING
P.O. BOX 1800
Nixa, MO 65714
TEL: 417-849-1989

STRUCTURAL ENGINEER:

EDELMAN ENGINEERING
5820 E. VILLAGE LANE
SPRINGFIELD, MO. 65809
417.862.8850 PHONE

SIGNATURE
PRJ202002336

DATE
01/20/21

EXTERIOR REMODEL FOR:
THE LONG DRIVE CENTER
1845 EAST TURNER STREET
SPRINGFIELD, GREENE COUNTY, MISSOURI
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ISSUE DATE

12-14-2020

REVISIONS

NO. DATE TYPE

PROJECT NO.

ARCHITECTURAL : LDC-20

ENGINEERING : 2451

DRAWING TITLE

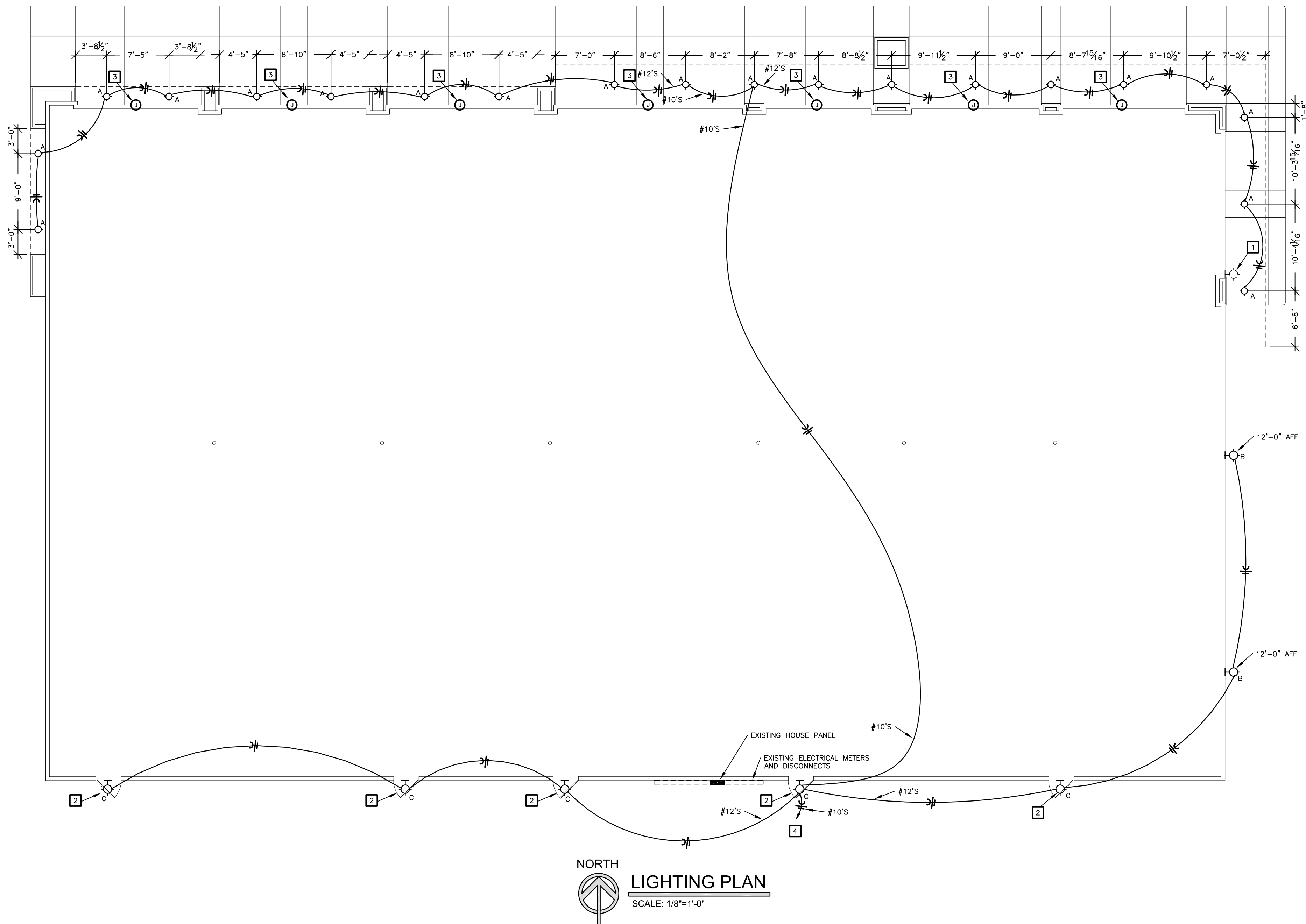
ELECTRICAL PLAN

DRAWING NO.

E1.0

SPECIAL NOTES

- EXISTING EXTERIOR LIGHT TO BE REMOVED.
- REPLACE EXISTING EXTERIOR WALL PACK WITH NEW MARK 55 LIGHT.
- JUNCTION BOX AT 14'-0" AFF FOR SIGN. EXTEND 1" CONDUIT FROM JUNCTION BOX ON EXTERIOR WALL TO A JUNCTION BOX INSIDE ABOVE CEILING AS HIGH AS POSSIBLE FOR UNOCCUPIED SPACE. FOR FUTURE WIRING, WIRE NEW JUNCTION BOX FOR EXISTING OCCUPIED SPACES TO EXISTING CIRCUIT SERVING EXISTING SIGN. VERIFY LOCATION OF JUNCTION BOXES FOR EXISTING SIGNS.
- WIRE TO EXISTING 20A, 1P CIRCUIT IN HOUSE PANEL SERVING EXISTING REMOVED EXTERIOR LIGHTS. CIRCUIT VIA EXISTING "PEC" CONTROL. VERIFY CIRCUIT LOAD FOR NEW LIGHTS IS 688 V-A.



ELECTRICAL SYMBOLS

- WIRING. DIAGONAL LINES INDICATE NUMBER OF WIRES. ARROW INDICATES HOME RUN.
- GROUND WIRE
- ELECTRICAL PANEL
- JUNCTION BOX
- SPECIAL NOTE

LIGHT FIXTURE SCHEDULE

MARK	MANUFACTURER	CAT. NUMBER	LAMP		ESTIMATED TOTAL LED INPUT WATT	VOLT.	FINISH	MOUNTING
			TYPE	LUMENS				
A	HALO	HC6-20-D010 HW6-20-840 (4000K) 61ND-C	LED	2,000	21.1	120	CLR/ALZAK	RECESSED
B	MC-GRAW EDISON	GWC-AF01-LED-E1-T4W-BZ (4000K)	LED	6,105	59	120	BRONZE	WALL
C	LUMARK	XTOR3B-W (4000K)	LED	2,710	26	120	BRONZE	WALL

GENERAL NOTES:

- PROVIDE SUITABLE RECESSED CAN HOUSING FOR DIRECT CONTACT WITH INSULATION FOR ALL INSULATED CEILING.
- ALL FIXTURES SHALL BE PROVIDED WITH LAMPS AS INDICATED.

ELECTRICAL SPECIFICATIONS

SAFETY-ADHERE TO OSHA REGULATIONS AND TO ELECTRICAL INDUSTRY SAFETY PRACTICES.

PERMITS, FEES AND LICENSES-SECURE AND PAY FOR ALL FEES, PERMITS, LICENSES AND INSPECTIONS NECESSARY.

THE PLANS ARE DIAGRAMMATIC AND NOT TO BE SCALED. FIELD MEASUREMENTS FOR FINAL DIMENSIONS.

ALL MATERIAL AND INSTALLATION IS TO BE IN COMPLIANCE WITH THE NATIONAL ELECTRICAL CODE. ALL MATERIAL IS TO BE UL LISTED.

PROVIDE ALL HARDWARE AND ACCESSORIES NECESSARY FOR A COMPLETE ELECTRICAL INSTALLATION.

GUARANTEE-GUARANTEE ALL EQUIPMENT, MATERIAL AND WORKMANSHIP FOR ONE YEAR FROM DATE OF ACCEPTANCE.

GROUNDING AND BONDING SHALL BE IN COMPLIANCE WITH ARTICLE 250 OF THE NATIONAL ELECTRICAL CODE.

POWER AND LIGHTING CONDUCTORS SHALL BE COPPER BUILDING WIRE, 600 VOLT, THWN/THHN AND NOT SMALLER THAN #12 AWG. COMMUNICATION AND DATA CABLE SHALL BE COPPER, 300 VOLT, AND LISTED FOR USE IN THE LOCATION IN WHICH IT IS INSTALLED. TEMPERATURE CONTROL CONDUCTORS SHALL BE COLOR CODED AND A MINIMUM OF #16 STRANDED COPPER, THWN. SERVICES AND FEEDERS ABOVE GROUND SHALL BE 90°C THHN, BELOW GROUND SHALL BE 75°C THWN. WIRING THRU FLUORESCENT FIXTURES SHALL BE THHN. ALL BRANCH CIRCUITS SHALL HAVE A GREEN GROUNDING CONDUCTOR SIZED IN COMPLIANCE WITH TABLE 250-122 OF THE NATIONAL ELECTRICAL CODE, ROUTED WITH THE BRANCH CIRCUIT CONDUCTORS.

ALL WIRE SIZES INDICATED ON THE PLANS ARE BASED ON COPPER. THE ELECTRICAL CONTRACTOR MAY SELECT TO USE ALUMINUM WIRING FOR ELECTRICAL SERVICE AND SERVICE TO PANEL. ALUMINUM WIRES SHALL BE SO SIZED TO HAVE AMPACITY RATING OF NOT LESS THAN THE SPECIFIED COPPER SIZE.

INSTALL CONDUIT PARALLEL AND PERPENDICULAR TO THE LINES OF THE BUILDING. SUPPORT CONDUIT WITH MANUFACTURED HANGERS SPACED IN COMPLIANCE WITH THE NATIONAL ELECTRICAL CODE. PENETRATIONS OF EXTERIOR WALLS SHALL BE MADE WATERTIGHT.

FIRE RATED PENETRATIONS SHALL BE PROTECTED WITH UL LISTED THROUGH-PENETRATION SYSTEMS SUITABLE FOR THE CONSTRUCTION PENETRATED.

INSTALL CONDUCTORS WITH PULLING LUBRICANT.

INCREASE WIRE SIZES FOR ALL CIRCUITS FOR MAXIMUM 2.5% VOLTAGE DROP.