

**Springfield Land Clearance for Redevelopment  
Authority  
Tuesday, March 2, 2021  
Meeting via Video Conference**

**1. Call To Order**

**2. Roll Call**

**3. Approval Of Minutes**

**3.1. Minutes - January 5, 201**

Documents:

[MINUTES LCRA JANUARY 5 2021.PDF](#)

**4. New Business**

**4.1. Request For Real Property Tax Abatement For Redevelopment  
Project Located Inside The Kearney Street Corridor  
Redevelopment Area At 1930 East Kearney Street, Glen-Kearney  
Development, LLC, Applicant**

Documents:

[1930 E KEARNEY STREET LCRA ABATEMENT APPLICATION.PDF](#)

**5. Other Business**

**6. Adjourn**

# **Springfield Land Clearance for Redevelopment Authority**

**Tuesday, January 5, 2021, at 4:00 PM  
Meeting via Video Conference**

## Minutes

### 1. Call to Order

### 2. Roll Call

*Present:* Ryan Cosby, Ben Edmondson, Nancy Herchenroeder, Stephanie Shadwick and Dan Scott

*Others Present:* Matt Wine, Spencer Fane;

*Staff:* Sarah Kerner, Matt Schaefer, Kyle Tolbert, and Judy White

### 3. Approval of Minutes – November 17, 2020

Dan Scott made a motion to approve. Nancy Herchenroeder seconded the motion. Motion was approved (5-0).

### 4. New Business

- a. Request for Real Property Tax Abatement for Redevelopment Project located inside the East Cherry Pocket Neighborhood Redevelopment Area at 1361-1365 East Cherry Street, Rountree's Pocket, LLC, Applicant.

Applicant requested the application to be withdrawn.

### 5. Other Business

### 6. Adjourn

Dan Scott made a motion to adjourn at 4:12 p.m. Nancy Herchenroeder seconded the motion. Motion was approved (5-0).





## Land Clearance for Redevelopment Authority Application for Real Property Tax Abatement

Sections 99.700-99.715, RSMo

Property Address: 1930 E Kearney, Springfield, MO 65803

Redevelopment Area: Kearney Street Corridor

Developer Name: O'Reilly Hospitality Management, LLC

Contact Person: Kristin Marquess

Mailing Address: 4045 E Sunshine, Suite 200, Springfield, MO 65809

Telephone: 417.207.5301 Fax: \_\_\_\_\_

Email: kristin.marquess@ohospitalitymanagement.com

Does Applicant Own or Lease the Property? Own

Signature:  Date: 1/26/21

Printed Name: Tim O'Reilly, Manager

### Required Attachments:

- Legal description of project
- \$451 application fee
- Ten (10) hard copies and one electronic (.pdf) copy of the following:
  - Narrative identifying the scope of the proposed project
  - Site plan and floor plans
  - Concept plan and/or renderings, if available
  - Narrative describing relationship of project to the adopted redevelopment or urban renewal plan for the area.
- If property is located in the *Downtown Redevelopment Area*, please note additional requirements on page 2 of this application.

## Kearney Street Corridor Redevelopment Area

### Project Narrative

|                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                               |
|-------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| <b>Project Name:</b> Springfield BigShots                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                     |
| <b>Property Address:</b> 1930 E Kearney, Springfield, MO 65803                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                |
| <b>Property Owner/Applicant Name:</b> Glen-Kearney Development, LLC                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                           |
| <b>Property Owner Address:</b> 4045 E Sunshine, Suite 200, Springfield, MO 65809                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                              |
| <b>New Construction:</b> Yes                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                  |
| <b>Proposed Project:</b> New construction of a “golf entertainment” facility, constructed on 12 acres at the corner of Kearney and Glenstone in North Springfield. The project consists of a two-story building with two full bars, restaurant and kitchen, meeting spaces, support spaces, mini golf course and fifty-six golf bays with 60k sq ft of turf bordered by 160-foot poles and netting system. An assortment of games is displayed on an individual TV screen in each bay and the golf balls are tracked via a sophisticated Doppler Rader System. BigShots will employ over 120 full and part-time team members. |

### Relationship of Project to the Adopted Redevelopment Area Narrative

|                                    |                                                                                                                                                                                                                                                                                                                                                                                                                           |
|------------------------------------|---------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| <b>Excluded Uses:</b>              | The BigShots development is not an excluded use of the property defined in Kearney Street Corridor Redevelopment Plan dated April 2018.                                                                                                                                                                                                                                                                                   |
| <b>Frontage Requirements:</b>      | The BigShots property has frontage visible from both Kearney and Glenstone.                                                                                                                                                                                                                                                                                                                                               |
| <b>Landscaping Requirements:</b>   | This project consists of a newly constructed building that meets all state and local Green Space requirements.                                                                                                                                                                                                                                                                                                            |
| <b>Building Materials:</b>         | The exterior of this building is constructed of durable metal panels with a structural steel frame, strong enough to outlast the period of abatement, as the panels come with a 10-year manufacturer’s warranty. The exterior design also includes stucco and glass that will improve the aesthetics and building quality within the Kearney and Glenstone corridor. See Exhibit A for elevation with exterior materials. |
| <b>Consolidation of Curb Cuts:</b> | The BigShots’ property has two driveways facing Kearney Street. The eastern driveway was incorporated via lot combination and will provide shared access to the former restaurant site and BigShots. Allowing both driveways to remain meets the intent of the Redevelopment Plan to improve traffic safety in the corridor, as the traffic study and MoDOT review did not require closing either driveway.               |

# Exhibit A



ARCHITECT  
**DEMONICA KEMPER ARCHITECTS**  
100 HARRISON STREET  
PEORIA, IL - 61602  
P: 309.282.0100  
REGISTRATION NO. 2019026304

MEP / FP  
**KEITH ENGINEERING DESIGN**  
707 NE JEFFERSON AVE.  
PEORIA, IL - 61603  
P: 309.938.4005  
REGISTRATION NO. F001331110

STRUCTURAL  
**RLG CONSULTING ENGINEERS**  
905 W. MAIN ST., SUITE 200  
PEORIA, IL - 61606  
P: 309.713.2885  
REGISTRATION NO. 2007032432

CIVIL  
**AUSTIN ENGINEERING CO., INC.**  
311 SW. WATER ST., SUITE 215  
PEORIA, IL - 61602  
P: 309.204.0694  
MISSOURI PE CORP NO. 000577

LANDSCAPE  
**TURF SOLUTIONS GROUP**  
3523 W. WILLOW KNOLLS DR.  
PEORIA, IL - 61614  
P: 877.586.1363

**GLEN-KEARNEY DEV., LLC**  
**BIGSHOTS GEN. TWO PROTOTYPE**  
1930 E KEARNEY STREET  
SPRINGFIELD, MO 65803  
DKA PROJECT NO: 19-004



SHEET STATUS: 08/20/2019  
**PERMITTING / BIDDING /  
CONSTRUCTION  
DOCUMENTATION**

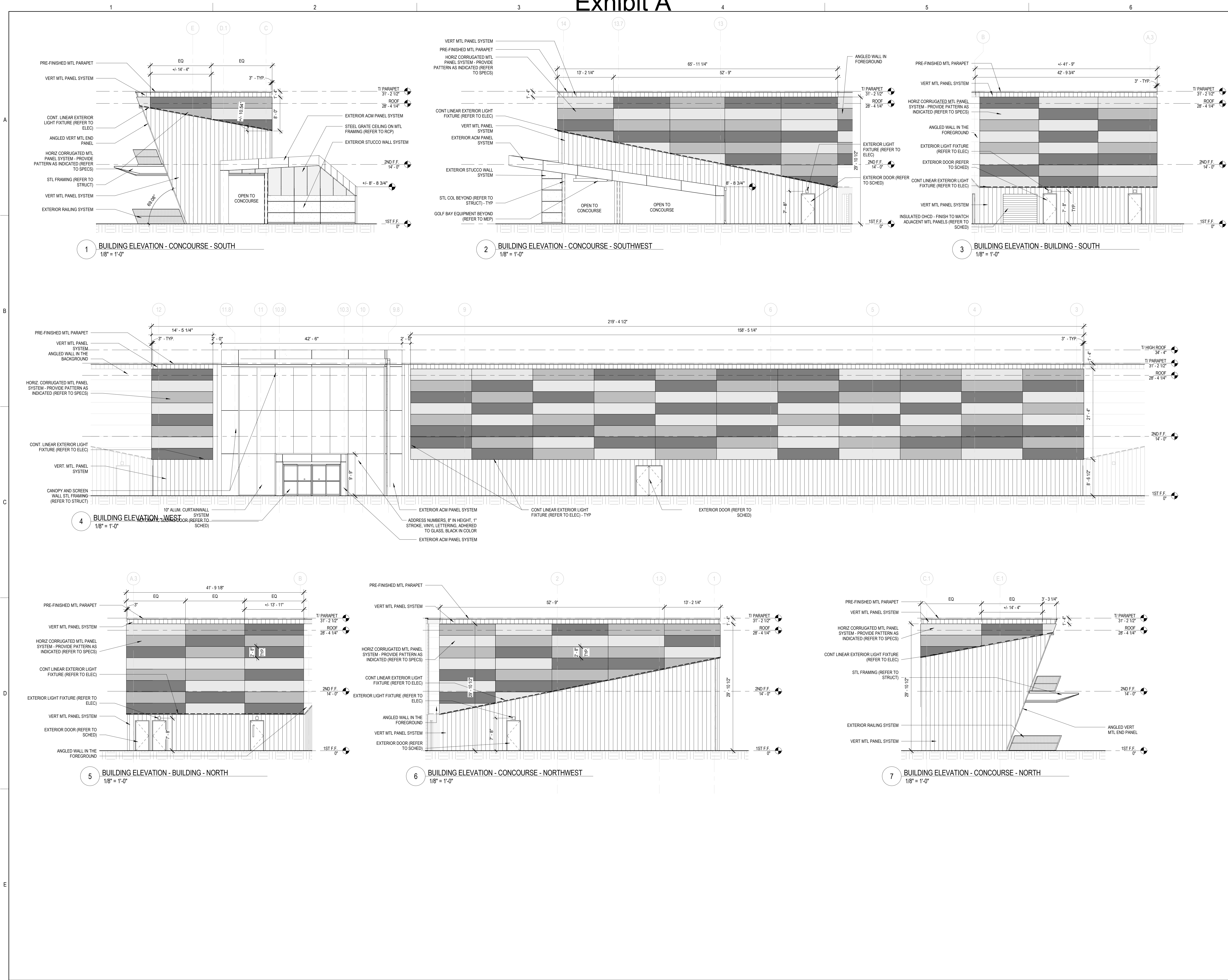
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SHEET TITLE:  
**EXTERIOR  
ELEVATIONS**

SHEET NUMBER:

**A4.02**

8/20/2019 4:10:28 PM





EXTERIOR VIEW

PROPOSED SITE AREA: 12.60  
ZONING: HC W/ VARIANCE 575 SR  
BICYCLE PARKING PROVIDED: 32  
MINIMUM BICYCLE PARKING REQUIRED: 6  
PARKING PROVIDED:  
\*HANDICAP SPACES 7  
\*STANDARD SPACES 283  
TOTAL = 296  
PARKING REQUIRED PER ABC 2019-00033:  
EXISTING RESTAURANT 10,825 SF (159/60 SF) = 136  
BIGSHOTS RESTAURANT 4850 ± SF (1 SP/60 SF) = 61  
BIGSHOTS OFFICE 903 SF (1 SP/150 SF) = 3  
56 TEE BOXES (2 SP/TEE BOX) = 112  
-5% VEHICULAR PARKING REDUCTION (10% MAX) = -16  
TOTAL = 280

\*OPEN SPACE: 68% (370,554/545,698)  
MINIMUM OPEN SPACE REQUIRED: 20%  
IMPERVIOUS SURFACE: 32%  
MAXIMUM IMPERVIOUS SURFACE ALLOWED: 80%  
\*4.83 ACRES (55%) OF THE OPEN SPACE IS THE TURF DRIVING RANGE. THE PUTTING GREENS WERE COUNTED AS IMPERVIOUS.

OWNER/DEVELOPER:  
GLEN-KEARNEY DEVELOPMENT, LLC  
4045 E SUNSHINE, SUITE 210  
SPRINGFIELD, MO  
417-890-1555

BUILDING SETBACKS:  
FRONT 25' (KEARNEY ST)  
REAR NONE  
SIDE YARD NONE

BULK PLANE NOTE:  
VARIANCE 575 SR ALLOWS THE POLES FOR THE NETTING SYSTEM TO EXTEND INTO THE BULK PLANE.

FIRE APPARATUS ACCESS:  
WHERE IS FIRE APP ACCESS IS FROM KEARNEY ST AND THE ACCESS EASEMENT ROAD.

WATER QUALITY NOTE:  
WATER QUALITY IS NOT REQUIRED.  
EXISTING IMPERVIOUS AC AC  
PROPOSED IMPERVIOUS=4.09 AC

DETENTION NOTE:  
DETENTION IS NOT REQUIRED. NO IMPERVIOUS SURFACE HAS BEEN ADDED. THE ARTIFICIAL TURF RANGE CAN BE MODELED SIMILARLY TO A POROUS PAVEMENT SYSTEM. JUSTIFICATION FOR THIS IS FOUND IN THE HYDROLOGY REPORT.

#### GENERAL NOTES:

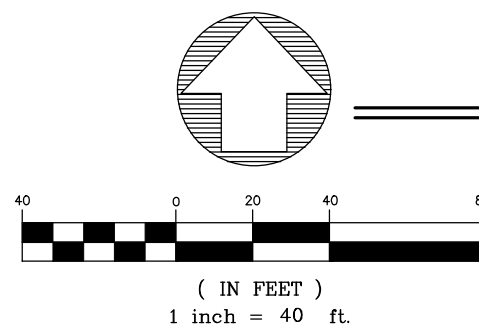
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE THE EXACT HORIZONTAL AND VERTICAL LOCATION OF EXISTING UNDERGROUND UTILITIES PRIOR TO BEGINNING INSTALLATION OF NEW FACILITIES. CONTACT THE ENGINEER FOR INSTRUCTIONS WHEREVER ANY CONFLICTS ARE DISCOVERED.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO CORRECT ANY DAMAGE TO UNDERGROUND UTILITIES OR OTHER OBSTRUCTIONS WHICH IS DUE TO HIS OPERATIONS.
- THE CONTRACTOR AND/OR BUILDER WILL KEEP THE PROJECT AREA NEAT AND ORDERLY AT ALL TIMES WHILE BUILDING IS TAKING PLACE. ACCESS STREETS TO THE PROJECT SHALL BE KEPT CLEAN OF MUD, DEBRIS, PAPER AND WASTE MATERIAL AT ALL TIMES. CONTRACTOR SHALL PROVIDE GRAVEL CONSTRUCTION ENTRANCES AT EACH ACCESS POINT.
- THE CONTRACTOR SHALL STRICTLY COMPLY WITH ALL OSHA SAFETY RULES AND REGULATIONS AND USE ONLY APPROVED EQUIPMENT REQUIRED FOR THE PERFORMANCE OF THE WORK. THE CONTRACTOR SHALL ALSO STRICTLY COMPLY WITH ALL OSHA SAFETY RULES AND REGULATIONS AND USE ONLY APPROVED METHODS OF EXCAVATION, TRENCHING AND SHORING METHODS AS DESCRIBED IN OSHA 29 CFR 1926.650. THE CONTRACTOR SHALL MAINTAIN AND CLOSELY SUPERVISE ALL SAFETY PRACTICES AND CODES.
- THE CONTRACTOR SHALL ADHERE TO ALL PROVISIONS AND RECOMMENDATIONS INCLUDED IN THE GEOTECHNICAL REPORT PREPARED BY TERRACON DATED 05/22/19 (PROJECT NO. 85190000). ANY SOILS IN EXCAVATED SOFT OR WET AREAS THAT DO NOT MEET STANDARD PROCTOR DENSITY SHALL BE REMOVED, RECOMPACTED, AND RETESTED.
- THE CONTRACTOR SHALL MINIMIZE DISTURBANCE OF AREA AND PHASE CONSTRUCTION SUCH THAT NO DISCHARGE OF SEDIMENT OR SEDIMENT-LADEN WATER OCCURS ON OFF-SITE PROPERTY. ANY ACCUMULATED SEDIMENT IN STORM DRAINS OR OFF-SITE PROPERTY SHALL BE REMOVED PRIOR TO FINAL ACCEPTANCE.
- THE CONTRACTOR SHALL CLEAN STREETS, BOTH INTERIOR AND ADJACENT TO THE SITE, AS NEEDED, AFTER EACH RAINFALL, AND AT THE END OF CONSTRUCTION.
- THE CONTRACTOR SHALL VISIT THE SITE AND BECOME FULLY FAMILIAR WITH ALL OF THE CONDITIONS THAT PERTAIN TO THE WORK DESCRIBED HEREIN. THE FAILURE TO UNDERSTAND OR TO HAVE KNOWLEDGE OF ISSUES THAT COULD HAVE BEEN DETERMINED PRIOR TO BIDDING WILL NOT CONSTITUTE GROUNDS FOR ASKING FOR WORK CHANGE ORDERS OR EXTRA WORK.
- THE CONTRACTOR IS TO CONTACT THE CONSTRUCTION OFFICE OF THE CITY OF SPRINGFIELD PUBLIC WORKS (PHONE 864-1152) PRIOR TO ANY CONSTRUCTION. FAILURE TO DO SO MAY RESULT IN REJECTION OF ANY WORK PRIOR TO CONTACT. CONTRACTOR MUST CONTACT CONSTRUCTION INSPECTION AT LEAST 72 HOURS PRIOR TO ANY WORK TAKING PLACE ON PUBLIC RIGHT OF WAY. A COPY OF THE FILED PLANS MUST BE ON SITE AT ALL TIMES.
- THE CONTRACTOR IS RESPONSIBLE FOR REPAIRING ANY DAMAGE TO CURB AND PAVEMENT BACK TO CITY SPECIFICATIONS.
- THE CONTRACTOR IS REQUIRED TO CONTACT PUBLICS WORKS- TRAFFIC (864-1980) FOR TRAFFIC CONTROL INFORMATION AT LEAST 5 BUSINESS DAYS BEFORE ANY WORK AFFECTING STREET, TRAFFIC/ROW.
- THE CONTRACTOR IS REQUIRED TO RETAIN FLOATABLE WINDBLOWN MATERIALS ON SITE BY STORING ALL TRASH AND BUILDING MATERIAL WASTE IN ENCLOSURES UNTIL PROPER DISPOSAL AT OFF-SITE FACILITIES. CONTRACTOR IS REQUIRED TO CHECK ADJACENT AREAS DAILY AND PICK UP CONSTRUCTION WASTE MATERIALS AND DEBRIS THAT HAVE BLOWN OR WASHED OFF-SITE.
- THE CONTRACTOR IS REQUIRED TO TAKE CARE NOT TO DAMAGE ANY EXISTING STREET, CURB & GUTTER, SIDEWALK AND DRIVEWAY DURING CONSTRUCTION.
- CONTRACTOR IS REQUIRED TO KEEP THE ROCK, MUD AND DIRT OFF OF ALL ROADWAYS DURING CONSTRUCTION.
- CLOSURE OF ALL OLD DRIVEWAY ENTRANCES IS TO BE REPLACED WITH CURB & GUTTER, SIDEWALK, AND GRASS TO CITY SPECIFICATIONS.
- CALL DOUG THOMAS IN PW INSPECTION (838-5055) AT LEAST 24 HOURS IN ADVANCE OF CONSTRUCTION OF DRIVEWAYS AND SIDEWALKS.
- ALL WORK SHALL BE IN CONFORMANCE WITH THE CITY OF SPRINGFIELD GENERAL CONDITIONS AND TECHNICAL SPECIFICATIONS, CITY OF SPRINGFIELD STANDARD DRAWING DETAILS, AND CITY OF SPRINGFIELD DESIGN STANDARDS.
- THE ASPHALT MIX SHALL FOLLOW MODOT'S STANDARD 401 GENERAL SPECIFICATION.
  - MODOT BITUMINOUS PAVEMENT BP-2.
  - MODOT TYPE 1 AGGREGATE BASE COMPACTED TO 95% SPD AS DETERMINED BY ASTM D698.
  - COMPACT SUBGRADE TO 95% STANDARD PROCTOR.

#### CONSTRUCTION NOTES:

- PROPOSED BUILDING (SEE ARCHITECTURAL PLANS)
- EXISTING BUILDING (1950 E KEARNEY ST)
- BICYCLE PARKING SEE DETAIL SHEET C4.0
- HANDICAPPED ACCESSIBLE SIGN TYPICAL AT EACH HANDICAPPED SPACE. SEE HANDICAPPED ACCESSIBLE SIGN DETAIL SHEET C4.0
- CONCRETE RETAINING WALL. SEE STRUCTURAL PLANS FOR WALL DETAILS.
- TRASH ENCLOSURE. SEE ARCHITECTURAL DRAWINGS. SEE SHEET C4.0 FOR TRASH PAD DETAIL.
- NEW PRIVACY FENCE. SEE ARCHITECTURAL PLAN FOR DETAILS
- 26" AERIAL FIRE APPARATUS ACCESS FOR BUILDINGS MORE THAN 30' ROAD IS CAPABLE OF IMPOSED LOAD OF 75,000LB. CONTRACTOR SHALL MARK WITH 4" RED STRIPING ON EITHER SIDE OF THE FIRE LANE ALONG THE ENTIRE LENGTH OF THE LAND AND "NO PARKING FIRE LANE" SHALL BE STENOILED IN 12" LETTERS EVERY 50' PERPENDICULAR TO THE FIRE LANE. WHERE CURB IS PRESENT ALONG ONE SIDE OF THE LANE, THE CURB SHOULD BE PAINTED RED IN PLACE OF THE 4" STRIPING.

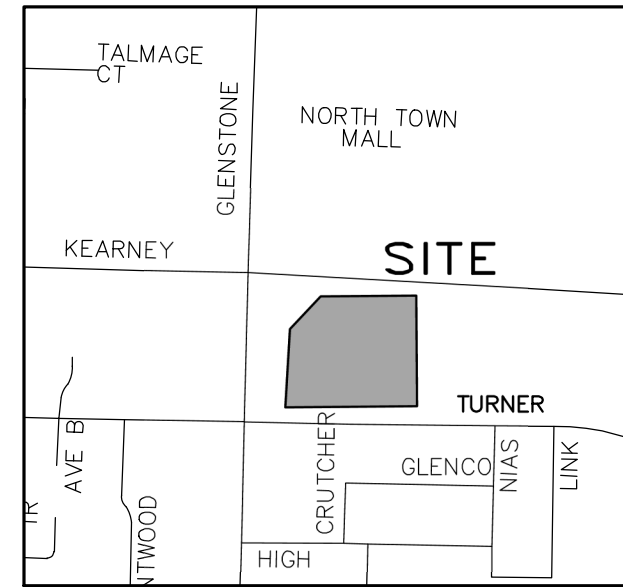
- PAVING CONSTRUCTION NOTES:
  - MEDIUM ASPHALT PAVING SEE HEAVY ASPHALT PAVEMENT DETAIL SHEET C4.0
  - LIGHT ASPHALT PAVING SEE LIGHT ASPHALT PAVEMENT DETAIL SHEET C4.0
  - CONCRETE TRASH DUMPSTER PAD. SEE DETAIL SHEET C4.0
  - 4" CONCRETE SIDEWALK SEE DETAIL SHEET C4.0
  - SPILL CURB SEE DETAIL SHEET C4.0
  - CATCH CURB SEE DETAIL SHEET C4.0
  - TURNED-DOWN SIDEWALK SEE DETAIL SHEET C4.0
  - EXISTING DRIVE ENTRANCE TO REMAIN
  - CONCRETE WHEEL STOP
  - CONCRETE PINNED-ON ISLAND
  - SAWCUT EXISTING PAVEMENT

## SITE PLAN



BENCHMARK:  
CITY BM 235A - @ NE CORNER OF GLENSTONE & KEARNEY  
ELEVATION = 1359.36  
BENCHMARK:  
DNR BM TRUCK - KEARNEY, 200' WEST OF BARNES  
ELEVATION = 1351.86 (NAVD 1988)

FLOOD NOTE:  
This property lies in Flood Zone "X" (areas determined to be outside of the 0.2% annual chance floodplain) according to FIRM Community Panel 29077C 0332 E, effective December 17, 2010.



VICINITY MAP  
NOT TO SCALE

#### LEGEND

- FOUND IRON PIN
- SET IRON PIN OR MARKER AS NOTED
- R/W MARKER
- BOUNDARY LINE
- R/W LINE
- EASEMENT LINE
- SETBACK LINE
- MEASURED
- FLAT
- DEED
- RECORD
- LIGHT POLE
- SANITARY SEWER MANHOLE
- SANITARY SEWER CLEANOUT
- SANITARY SEWER LINE
- UTILITY POLE
- ELECTRIC METER
- OVERHEAD ELECTRIC
- UNDERGROUND ELECTRIC
- GUY WIRE
- PHONE/COMMUNICATION MANHOLE
- PHONE PEDESTAL
- CABLE TV RISER
- CABLE TV LINE
- UNDERGROUND PHONE
- OVERHEAD PHONE
- FIBER OPTIC LINE
- WATER VALVE
- WATER METER
- WATER LINE
- FIRE HYDRANT
- GAS VALVE
- GAS METER
- GAS LINE
- FENCE LINE (AS NOTED)
- ROAD SIGN (STOP, SPEED LIMIT, ETC)
- ABBREVIATIONS:
  - XFMR TRANSFORMER
  - ICV IRRIGATION CONTROL VALVE
  - CI STORMWATER CURB INLET

#### DESCRIPTION

All that part of Kearney-Glenstone Subdivision and that part of the Northwest Quarter of the Northwest Quarter of Section Eight, Township 29 North, Range 21 West of the Fifth Principal Meridian, City of Springfield, Greene County, Missouri, being more particularly described as follows: BEGINNING at the Southwest corner of Lot 2 of Glen-Kearney Subdivision as shown on the plat recorded in Plat Book EE at Page 65 in office of the Greene County, Missouri Recorder of Deeds; thence, North 01°59'45" East, along and with the West line of said Lot 2, a distance of 286.85 feet to the North line of said Lot 2; thence, Northeasterly, along and with the North line of Lots 2, 3, 4 and 5 on a 925.37-foot non-tangent curve to the right, having a chord bearing of North 68°03'31" East and chord length of 411.49 feet, an arc distance of 414.96 feet to the South right-of-way line of Kearney Street; thence, South 86°21'15" East, along and with said South line, a distance of 186.50 feet; thence, North 83°45'00" East, along and with said South line, a distance of 29.72 feet; thence, South 86°09'48" East, along and with said South line, a distance of 77.26 feet to the Northeast corner of Lot 8 of said Kearney-Glenstone Subdivision; thence, South 87°05'20" East, continuing along and with the South right-of-way line of Kearney Street, a distance of 249.71 feet to the East line of the Northwest Quarter of the Northwest Quarter of the aforementioned Section Eight; thence, South 01°51'49" West, along and with said East line, a distance of 661.16 feet to the North right-of-way line of Turner Street; thence, North 89°11'33" West, along and with said North line, a distance of 716.15 feet to the East line of Lot 1 of the Re-Plot of Lot One of Kearney-Glenstone Subdivision; thence, North 01°59'37" East, along and with said East line, a distance of 234.16 feet to the Northeast corner of said Lot 1, also being the Southeast corner of Lot 3 of Kearney-Glenstone Subdivision; thence, North 89°13'53" West, along and with the South line of Lots 3 and 2 of Kearney-Glenstone Subdivision, also being the North line of said Lot 1 of the Re-Plot of Lot One of Kearney-Glenstone Subdivision, a distance of 204.40 feet to the POINT OF BEGINNING, containing 12.60 acres and being subject to easements, restrictions or rights-of-way, if any.

#### BIDDING NOTES:

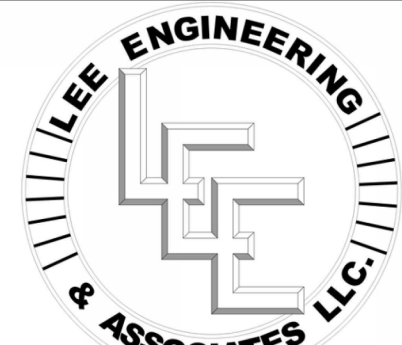
CONTRACTOR SHALL MAKE AN ALLOWANCE FOR APPROXIMATELY 1500 SY OF SOIL REMEDIATION IN ACCORDANCE WITH THE RECOMMENDATIONS LISTED IN THE GEOTECHNICAL REPORT. THIS WORK SHALL BE PAID FOR AT THE UNIT PRICES LISTED IN THE BID FOR THE QUANTITIES ACTUALLY PROVIDED.  
CONTRACTOR SHALL MAKE AN ALLOWANCE FOR 200 CY OF TRENCH ROCK. THIS WORK SHALL BE PAID FOR AT THE UNIT PRICES LISTED IN THE BID FOR THE QUANTITIES ACTUALLY REMOVED.



ARCHITECT OF RECORD:  
DEMONICA KEMPER ARCHITECTS  
100 HARRISON STREET  
PEORIA, IL - 61602  
P: 309.282.0100



CIVIL:  
AUSTIN ENGINEERING, CO., INC.  
311 SW WATER ST., SUITE 215  
PEORIA, IL - 61602  
www.austinenengineeringcompany.com  
MISSOURI PE CORP. #00577



LEE Engineering & Associates, L.L.C.  
1200 E. Woodhurst Dr., Suite 2000, Springfield, Missouri 65807  
417-888-9100 (phone) 417-888-9336 (fax)

The Contractor shall verify and be responsible for all dimensions. DO NOT SCALE the drawing. Any errors or omissions shall be reported to DKA without delay. The Copyright to all designs and drawings are the property of those firms listed in this block. Reproduction or use for any purpose other than that authorized by said firms is prohibited.

O'REILLY HOSPITALITY MGMT.  
BIGSHOTS GEN. TWO PROTOTYPE

1930 E KEARNEY STREET  
SPRINGFIELD, MO 65803  
DKA PROJECT NO: 19-004



SHEET STATUS: 04/03/2020  
ISSUED FOR CONSTRUCTION

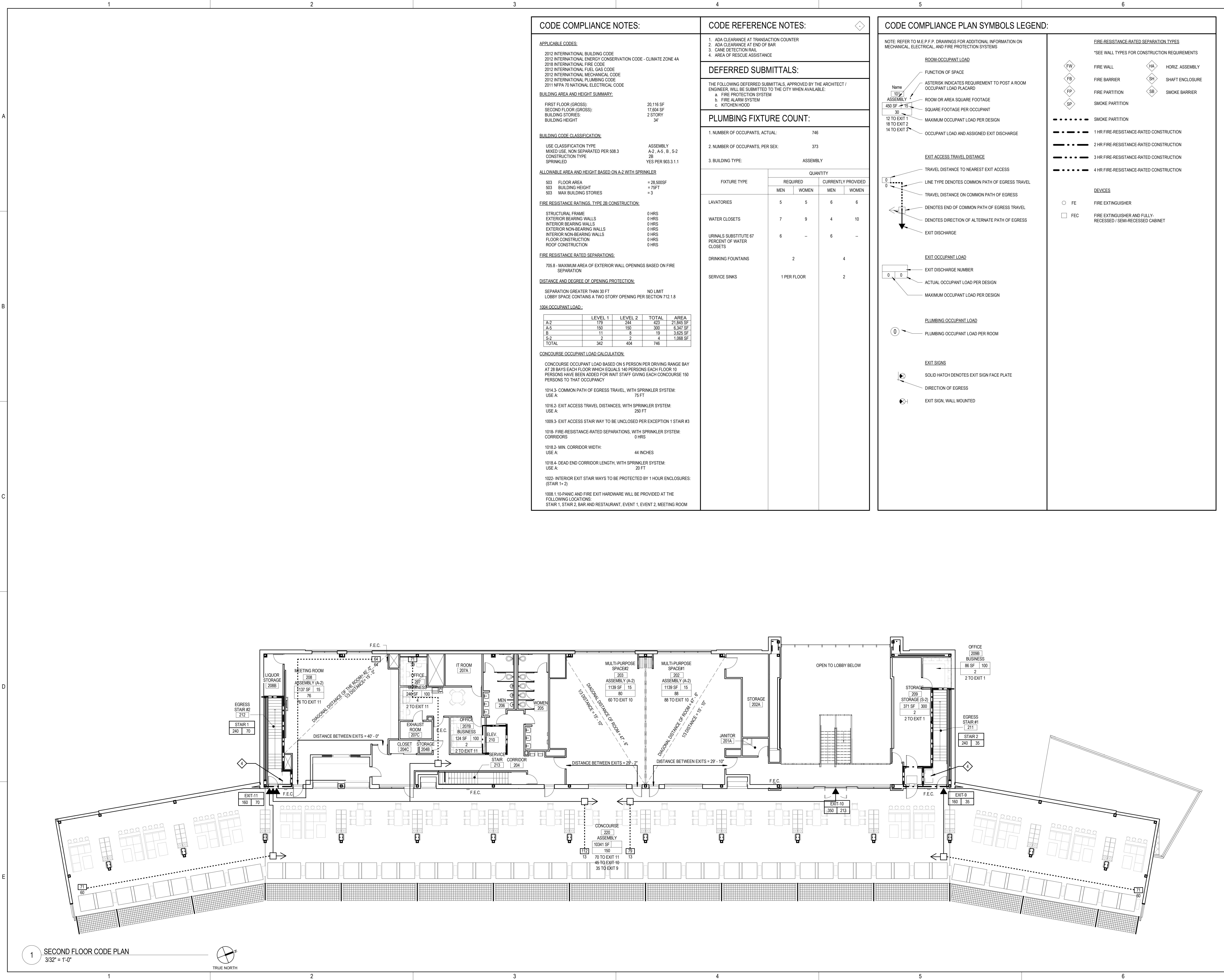
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SHEET TITLE:  
SITE PLAN

SHEET NUMBER:

C1.0





**CODE COMPLIANCE NOTES:**

APPLICABLE CODES:

2012 INTERNATIONAL BUILDING CODE  
2012 INTERNATIONAL ENERGY CONSERVATION CODE - CLIMATE ZONE 4A  
2018 INTERNATIONAL FIRE CODE  
2012 INTERNATIONAL FUEL GAS CODE  
2012 INTERNATIONAL MECHANICAL CODE  
2012 INTERNATIONAL PLUMBING CODE  
2011 NFPA 70 NATIONAL ELECTRICAL CODE

BUILDING AREA AND HEIGHT SUMMARY:

FIRST FLOOR (GROSS): 20,116 SF  
SECOND FLOOR (GROSS): 17,804 SF  
BUILDING STORIES: 2 STORY  
BUILDING HEIGHT: 34'

BUILDING CODE CLASSIFICATION:

USE CLASSIFICATION TYPE: ASSEMBLY  
MIXED USE, NON SEPARATED PER 508.3  
CONSTRUCTION TYPE: 2B  
SPRINKLED: YES PER 903.3.1.1

ALLOWABLE AREA AND HEIGHT BASED ON A-2 WITH SPRINKLER:

503 FLOOR AREA = 28,500 SF  
503 BUILDING HEIGHT = 75 FT  
503 MAX BUILDING STORIES = 3

FIRE RESISTANCE RATINGS, TYPE 2B CONSTRUCTION:

STRUCTURAL FRAME: 0 HRS  
EXTERIOR BEARING WALLS: 0 HRS  
INTERIOR BEARING WALLS: 0 HRS  
EXTERIOR NON-BEARING WALLS: 0 HRS  
INTERIOR NON-BEARING WALLS: 0 HRS  
FLOOR CONSTRUCTION: 0 HRS  
ROOF CONSTRUCTION: 0 HRS

FIRE RESISTANCE RATED SEPARATIONS:

705.8 - MAXIMUM AREA OF EXTERIOR WALL OPENINGS BASED ON FIRE SEPARATION

DISTANCE AND DEGREE OF EGRESS PROTECTION:

SEPARATION GREATER THAN 30 FT: NO LIMIT  
LOBBY SPACE CONTAINS A TWO STORY OPENING PER SECTION 712.1.8

1004 OCCUPANT LOAD:

|       | LEVEL 1 | LEVEL 2 | TOTAL | AREA      |
|-------|---------|---------|-------|-----------|
| A-2   | 179     | 244     | 423   | 21,845 SF |
| A-S   | 150     | 150     | 300   | 6,347 SF  |
| B     | 11      | 8       | 19    | 3,625 SF  |
| S-2   | 2       | 2       | 4     | 1,068 SF  |
| TOTAL | 342     | 404     | 746   |           |

CONCOURSE OCCUPANT LOAD CALCULATION:

CONCOURSE OCCUPANT LOAD BASED ON 5 PERSON PER DRIVING RANGE BAY AT 28 BAYS EACH FLOOR WHICH EQUALS 140 PERSONS EACH FLOOR 10 PERSONS HAVE BEEN ADDED FOR WAIT STAFF GIVING EACH CONCOURSE 150 PERSONS TO THAT OCCUPANCY

1014.3 - COMMON PATH OF EGRESS TRAVEL, WITH SPRINKLER SYSTEM:  
USE A: 75 FT

1016.2 - EXIT ACCESS TRAVEL DISTANCES, WITH SPRINKLER SYSTEM:  
USE A: 250 FT

1009.3 - EXIT ACCESS STAIR WAY TO BE UNCLOSED PER EXCEPTION 1 STAIR #3

1018 - FIRE-RESISTANCE-RATED SEPARATIONS, WITH SPRINKLER SYSTEM:  
CORRIDORS: 0 HRS

1018.2 - MIN. CORRIDOR WIDTH:  
USE A: 44 INCHES

1018.4 - DEAD END CORRIDOR LENGTH, WITH SPRINKLER SYSTEM:  
USE A: 20 FT

1022 - INTERIOR EXIT STAIR WAYS TO BE PROTECTED BY 1 HOUR ENCLOSURES: (STAIR 1+ 2)

1008.1.10-PANIC AND FIRE EXIT HARDWARE WILL BE PROVIDED AT THE FOLLOWING LOCATIONS:  
STAIR 1, STAIR 2, BAR AND RESTAURANT, EVENT 1, EVENT 2, MEETING ROOM

**CODE REFERENCE NOTES:**

1. ADA CLEARANCE AT TRANSACTION COUNTER  
2. ADA CLEARANCE AT END OF BAR  
3. CANE DETECTION RAIL  
4. AREA OF RESCUE ASSISTANCE

**DEFERRED SUBMITTALS:**

THE FOLLOWING DEFERRED SUBMITTALS, APPROVED BY THE ARCHITECT / ENGINEER, WILL BE SUBMITTED TO THE CITY WHEN AVAILABLE:

a. FIRE PROTECTION SYSTEM  
b. FIRE ALARM SYSTEM  
c. KITCHEN HOOD

**PLUMBING FIXTURE COUNT:**

| FIXTURE TYPE                                   | QUANTITY    |       |                    |       |
|------------------------------------------------|-------------|-------|--------------------|-------|
|                                                | REQUIRED    |       | CURRENTLY PROVIDED |       |
|                                                | MEN         | WOMEN | MEN                | WOMEN |
| LAVATORIES                                     | 5           | 5     | 6                  | 6     |
| WATER CLOSETS                                  | 7           | 9     | 4                  | 10    |
| URINALS SUBSTITUTE 67 PERCENT OF WATER CLOSETS | 6           | -     | 6                  | -     |
| DRINKING FOUNTAINS                             | 2           |       | 4                  |       |
| SERVICE SINKS                                  | 1 PER FLOOR |       | 2                  |       |

**CODE COMPLIANCE PLAN SYMBOLS LEGEND:**

NOTE: REFER TO M.E.P.F.P. DRAWINGS FOR ADDITIONAL INFORMATION ON MECHANICAL, ELECTRICAL, AND FIRE PROTECTION SYSTEMS

ROOM OCCUPANT LOAD

FUNCTION OF SPACE  
ASTERISK INDICATES REQUIREMENT TO POST A ROOM OCCUPANT LOAD PLACARD  
ROOM OR AREA SQUARE FOOTAGE  
SQUARE FOOTAGE PER OCCUPANT  
MAXIMUM OCCUPANT LOAD PER DESIGN  
OCCUPANT LOAD AND ASSIGNED EXIT DISCHARGE

EXIT ACCESS TRAVEL DISTANCE

TRAVEL DISTANCE TO NEAREST EXIT ACCESS  
LINE TYPE DENOTES COMMON PATH OF EGRESS TRAVEL  
TRAVEL DISTANCE ON COMMON PATH OF EGRESS  
DENOTES END OF COMMON PATH OF EGRESS TRAVEL  
DENOTES DIRECTION OF ALTERNATE PATH OF EGRESS  
EXIT DISCHARGE

EXIT OCCUPANT LOAD

EXIT DISCHARGE NUMBER  
ACTUAL OCCUPANT LOAD PER DESIGN  
MAXIMUM OCCUPANT LOAD PER DESIGN

PLUMBING OCCUPANT LOAD

PLUMBING OCCUPANT LOAD PER ROOM

EXIT SIGNS

SOLID HATCH DENOTES EXIT SIGN FACE PLATE  
DIRECTION OF EGRESS  
EXIT SIGN, WALL MOUNTED

FIRE-RESISTANCE-RATED SEPARATION TYPES

\*SEE WALL TYPES FOR CONSTRUCTION REQUIREMENTS

FW: FIRE WALL  
FB: FIRE BARRIER  
FP: FIRE PARTITION  
SP: SMOKE PARTITION  
HA: HORIZ. ASSEMBLY  
SH: SHAFT ENCLOSURE  
SB: SMOKE BARRIER

----- SMOKE PARTITION  
----- 1 HR FIRE-RESISTANCE-RATED CONSTRUCTION  
----- 2 HR FIRE-RESISTANCE-RATED CONSTRUCTION  
----- 3 HR FIRE-RESISTANCE-RATED CONSTRUCTION  
----- 4 HR FIRE-RESISTANCE-RATED CONSTRUCTION

DEVICES

FE: FIRE EXTINGUISHER  
FEC: FIRE EXTINGUISHER AND FULLY RECESSED / SEMI-RECESSED CABINET



ARCHITECT  
**DEMONICA KEMPER ARCHITECTS**  
100 HARRISON STREET  
PEORIA, IL - 61602  
P: 309.282.0100  
REGISTRATION NO. 2019026304

MEP / FP  
**KEITH ENGINEERING DESIGN**  
707 NE JEFFERSON AVE.  
PEORIA, IL - 61603  
P: 309.938.4005  
REGISTRATION NO. F001331110

STRUCTURAL  
**RLG CONSULTING ENGINEERS**  
905 W. MAIN ST., SUITE 200  
PEORIA, IL - 61606  
P: 309.713.2885  
REGISTRATION NO. 2007032432

CIVIL  
**AUSTIN ENGINEERING CO., INC.**  
311 SW. WATER ST., SUITE 215  
PEORIA, IL - 61602  
P: 309.204.0694  
MISSOURI PE CORP NO. 000577

LANDSCAPE  
**TURF SOLUTIONS GROUP**  
3523 W. WILLOW KNOLLS DR.  
PEORIA, IL - 61614  
P: 877.586.1363

**GLEN-KEARNEY DEV., LLC**  
**BIGSHOTS GEN. TWO PROTOTYPE**  
1930 E KEARNEY STREET  
SPRINGFIELD, MO 65803  
DKA PROJECT NO: 19-004



11/26/19 12/3/20

SHEET STATUS: 04/03/20  
**ISSUED FOR CONSTRUCTION**

| NO. | DESCRIPTION: | DATE: |
|-----|--------------|-------|
|     |              |       |
|     |              |       |
|     |              |       |
|     |              |       |

SHEET TITLE:  
**SECOND FLOOR CODE PLAN**

SHEET NUMBER:

**G1.20**

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