

City of Springfield

Agenda

Landmarks Board



John Hawkins, Chair Walnut Street Representative	Vacant Historian Representative	Bryan Lenox Real Estate Representative
Wanda Quintana Mid-Town Representative	Nicole Falconer Architect Representative	Lisa Napoli Meagher At-Large Representative
Seva Nix Commerical Street Representative	Genevieve Henry, Vice-Chair At-Large Representative	Vacant At-Large Representative

May 6, 2026

5:30 PM

**Busch Building 2nd Floor West
Conference Room
840 Boonville Avenue**

- 1. Roll Call**
- 2. Closed Session.**

The Landmarks Board will hold a closed meeting to discuss legal actions, causes of action or litigation involving a public governmental body and any confidential or privileged communications between a public governmental body or its representatives and its attorneys pursuant to Section 610.021(13), RSMo.; and this meeting and record shall be closed and the Landmarks Board will convene at conclusion of the closed session.

- 3. Approval of Minutes**

- 3.1. April 22, 2026

- 4. Unfinished Business**

- 4.1. Certificate of Appropriateness
812 East Walnut Street (Applicant: JDI Rentals, LLC)

- 5. New Business**

- 5.1. Certificate of Appropriateness
1336 East Walnut Street (Applicant: Joey Heet)

- 5.2. Certificate of Appropriateness
404 West Commercial Street (Applicant: BadFish, LLC)

In accordance with ADA guidelines, if you need special accommodations when attending this meeting, please notify the Planning and Development office at 417-864-1611 as soon as possible to accommodate your needs.

- 5.3. Discussion of Potential Nomination of Historic Site
3535 South Lone Pine Avenue

6. Communications

- 6.1. Preservation of Murals and other Artwork

- 6.2. Historic Preservation Plans & Policies
 - 6.2.1 Goals and Priorities

- 6.3. Community Outreach

7. Reports

- 7.1. Administrative Certificate of Appropriateness - 101 East Commercial Street

8. Adjourn

MINUTES OF THE LANDMARKS BOARD

DATE: April 22, 2026

TIME: 5:30pm

The meeting and public hearing of the Landmarks Board was held on the above date and time in person in the Busch Building, 2 West Conference Room.

ROLL CALL:

Landmarks Board members: John Hawkins-Chair, Genevieve Henry-Vice Chair, Nicole Falconer, Bryan Lenox, and Seva Nix. Absent: Wanda Quintana and Lisa Napoli Meagher. Staff members: Andrew Menke, Senior Planner, Justin Crighton, Assistant Planning Director, and Kyle Tolbert, Assistant City Attorney.

APPROVAL OF MINUTES: March 11, 2026 were approved.

UNFINISHED BUSINESS: None

NEW BUSINESS.

Certificate of Appropriateness: **812 East Walnut Street** – Abigail Knopf, 419 W. High Street, Eldon, MO and Josiah Mote 36 Cave Drive, Eldon, MO presented the first phase of work for the historic home, focusing on city-flagged maintenance issues and upgrades. Noting reconstruction of deteriorated front porch roof structure (already removed), repair of wooden window trim, replacement of exterior elements (fascia, soffit) as needed, localized tuckpointing and masonry repair, graffiti removal, and repainting of affected exterior surfaces, and removal of old window air conditioning units. Stone cleaning will be done by a specialty company.

Primary focus discussion was on replacing the deteriorated built-in eave-troughs, on the front porch. The applicants expressed desire to use a more maintainable, exposed gutter system (e.g., copper half-round or custom metal box gutter) instead of recreating the built-in system that is prone to deterioration. They noted built-in gutters (eave-troughs) are expensive, time-consuming to rebuild, and prone to hidden leaks causing significant wood rot.

Board members requested renderings or sketches of the proposed gutter system to make an informed decision on its aesthetic appropriateness, aiming for a look that mimics the original concealed profile. They also expressed openness to a squared or box-style gutter that could be painted to blend in, rather than exposed copper, and were supportive of a consistent approach for the entire house.

Board Action: (split the question)

Genevieve Henry motioned to **split the question** for the porch gutter replacement from the remaining items (tuckpointing, masonry, stone cleaning, minor wood rot, window trim repair/paint) for 812 East Walnut Street. Bryan Lenox seconded the motion. The motion carried as follows - Ayes: John Hawkins-Chair, Genevieve Henry-Vice Chair, Nicole Falconer, Bryan Lenox, and Seva Nix. Nays: None. Abstain: None. Absent: Wanda Quintana and Lisa Napoli Meagher.

Board Action: (postponement)

Genevieve Henry motioned to **postpone** to May 6, 2026 the porch gutter replacement for 812 East Walnut Street. Nicole Falconer seconded the motion. The motion carried as follows - Ayes: John Hawkins-Chair, Genevieve Henry-Vice Chair, Nicole Falconer, Bryan Lenox, and Seva Nix. Nays: None. Abstain: None. Absent: Wanda Quintana and Lisa Napoli Meagher.

Board Action: (remaining items)

Genevieve Henry motioned to **approve** the remaining items (tuckpointing, masonry, stone cleaning, minor wood rot, window trim repair/paint) for 812 East Walnut Street. Seva Nix seconded the motion. The motion carried as follows - Ayes: John Hawkins-Chair, Genevieve Henry-Vice Chair, Nicole Falconer, Bryan Lenox, and Seva Nix. Nays: None. Abstain: None. Absent: Wanda Quintana and Lisa Napoli Meagher.

COMMUNICATIONS:

Preservation of Murals and other Artwork.

A citizen inquired about designating the horse mural on the Alamo Draft House as historic. The Board opted to first discuss the topic of designating murals and artwork in general before discussing one or more individual cases. Current city code defines historic landmarks and sites as "properties or structures," not explicitly "artwork." Designating artwork would require an amendment to the city code.

Board discussed other historic designations, e.g., a historic "tree" having historic site status, and asked questions about what constitutes a "structure" and concerns were raised about the implications of designating artwork, who would be responsible for its maintenance if attached to private property, and whether the board wishes to expand its purview in this direction.

Preservation of Murals and other Artwork is to be reviewed again at the next meeting (May 6, 2026), with staff tasked to review definition differences in the former code and current code, which went into effect on April 7, 2026.

House Bill 3490.

A proposed House Bill, initially for Kansas City, now expanded statewide, aims to exempt public and private colleges/universities from historic designation requirements and COA processes. If passed, this will require Certified Local Governments (CLGs) to receive signed consent from all public and private universities/colleges within their jurisdiction to participate in the local government's historic preservation program. If even one institution refuses, the CLG status is lost for the entire municipality and loss of CLG status could lead to the state losing federal Historic Preservation Fund (HPF) grants (up to \$1.3 million directly, with larger indirect impacts for other CLGs).

Board members were urged to contact their state representatives to oppose or amend the bill.

Social Media Sub-Committee Minutes February 11, 2026 - Historic Preservation Plans & Policies - Community Outreach.

Updates on Board member bios for the new Facebook page were discussed. Opportunities to leverage the upcoming Route 66 Festival for promoting the Landmarks Board's Facebook page and the College Street historic survey were discussed/explored. Andrew Menke stated that consultant has been hired for the College Street corridor survey, with a public meeting planned for June 2026.

REPORTS:

Administrative Certificate of Appropriateness – 533 South Jefferson Avenue

Andrew Menke noted the approval for a 6-foot-tall black wrought iron fence between the rectory and the cathedral for security reasons.

Administrative Certificate of Appropriateness – 1116 East Walnut Street

Andrew Menke noted the approval for removing a carport, replacing windows with a sliding glass door, closing in an eastern-facing door on a non-contributing secondary structure (duplex), and installing a fence to the rear of the structure.

Any other matters that fall under the jurisdiction of the Board: None

ADJOURNMENT:

There being no further business, the meeting was adjourned.



Andrew Menke, Senior Planner



LANDMARKS BOARD STAFF REPORT

LANDMARKS BOARD PUBLIC HEARING:



MAY 6, 2026

CASE: Certificate of Appropriateness

DESIGNATION: Walnut Street Urban Conservation District - East

LOCATION: 1336 East Walnut Street

APPLICANT: Joey Heet

STAFF: Andrew Menke, 417-864-1613

SUMMARY OF PROPOSAL:

1. Replace vinyl siding with fiber cement or engineered wood siding.
2. Replace wood and vinyl windows with fiberglass windows.

RECOMMENDATION:

Staff recommends approval:

1. Replace vinyl siding with fiber cement or engineered wood siding.

Staff recommends denial:

1. Replace wood and vinyl windows with fiberglass windows.

FINDINGS FOR STAFF RECOMMENDATION:

1. The house at 1336 East Walnut Street is a contributing structure in the District.
2. The *Secretary of the Interior's Standards* states, "Deteriorated historic features will be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature will match the old in design, color, texture and, where possible, materials."
3. The house was originally clad in wood siding. Staff believes that vinyl siding has been an element of the home since the Walnut Street National Historic District nomination in March of 1985.
4. As of 2023, the installation of replacement vinyl siding on historic buildings no longer represents best preservation practices. The use of Fiber Cement or Cellulose Fiber / Polymer Composite materials in place of original wood siding, when necessary, is supported by the National Parks Service (Preservation Brief #16).



LANDMARKS BOARD STAFF REPORT

5. The Walnut Street Design Guidelines recommend repairing the historic siding, but if not feasible, replacing in kind. What is left of the original wood siding underneath the vinyl has deteriorated and will need to be removed so that the new siding can be securely fastened.
6. Attached to this staff report is an affidavit from 2009 that a vinyl siding installer provided regarding the condition of the underlying wood siding at that time.
7. From the information available, it is unclear how many windows, if any, are original.
8. Photo documentation has been provided of at least one window that has severely deteriorated.
9. The Walnut Street Design Guidelines state that, if repairing the original window is not feasible, the applicant should consider replacing the window in kind. The proposed windows are made of fiberglass. Existing windows are a mixture of vinyl inserts and wood casement.
10. The Walnut Street Design Guidelines state that the applicant should consider retaining all original windows in place, and, if not feasible, repairing the original windows.

APPLICANT'S DESCRIPTION OF PROPOSAL:

See application for description.

STAFF COMMENTS:

1. The house was originally clad in wood siding. Staff believes that vinyl siding has been an element of the home since the Walnut Street National Historic District nomination in March of 1985.
2. The Walnut Street Design Guidelines recommend repairing the historic siding, but if not feasible, replacing in kind. What is left of the original wood siding underneath the vinyl has deteriorated and will need to be removed so that the new siding can be securely fastened. Attached to this staff report is an affidavit from 2009 that a vinyl siding installer provided regarding the condition of the underlying wood siding at that time.
3. The installation of replacement vinyl siding on historic buildings no longer represents best preservation practices. Preservation Brief #8, Aluminum and Vinyl Siding on Historic Buildings, was rescinded in October 2023.
4. Preservation Brief #16, The Use of Substitute Materials on Historic Building Exteriors, is supportive of the use of Fiber Cement or Cellulose Fiber / Polymer Composite materials in place of original wood siding when necessary.
5. According to Preservation Brief #16, "Surface texture is an important aspect in matching the appearance of a historic material, especially when a material is viewed at close range...[M]any of the substitute materials produced for siding and trim have an embossed wood grain, making them incompatible for replacing historic wood that was typically planed to a smooth surface. Some substitute products are available with a smooth surface as well." Staff recommends that the texture selected for the siding meet this criteria.
6. The proposed windows are made of fiberglass. From the information provided, it is unclear how many existing windows are vinyl inserts or older wood casement. It is unknown how many, if any, are original. An addition was added to the south side of the home in 1995. The windows on the south elevation and the two southern windows on the east elevation are associated with that addition and are not historic.



LANDMARKS BOARD STAFF REPORT

7. The *Secretary of the Interior's Standards* states, "Deteriorated historic features will be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature will match the old in design, color, texture and, where possible, materials." Photo documentation has been provided of at least one window that has severely deteriorated. The severity of deterioration of each window is not known. The replacement of windows made of wood material with windows made of fiberglass do not meet this criteria.
8. The Walnut Street Design Guidelines state that, if repairing the original window is not feasible, the applicant should consider replacing the window in kind, recognizing the importance of sash type, size, muntins, mullions, and glass. The proposed windows will match the grille pattern, size, casement style, and direction of opening, but the window material itself will be different from the original.
9. The Walnut Street Design Guidelines state that the applicant should consider retaining all original windows in place, and, if not feasible, repairing the original windows.

DESIGN STANDARDS & GUIDELINES:

WALNUT STREET DESIGN GUIDELINES:

SIDING:

The Applicant Should Consider:

1. Retaining the historic siding.
2. Repairing the historic siding or, if not feasible,
3. Replacing in kind.

The Applicant Should Avoid:

1. Removing any original or historic material.
2. Covering with any artificial material.
3. Painting unpainted surfaces.
4. Using abrasive cleaning for paint removal or to clean unpainted masonry.
5. Using chemical sealers.

WINDOWS:

The Applicant Should Consider:

1. Retaining all original windows in place.
2. Repairing the original window or, if not feasible,
3. Replacing the window in kind, recognizing the importance of sash type, size, muntins, mullions, and glass.
4. Using interior or exterior storm windows that match size, meeting rails, and heads of the original windows.
5. Using clear glass.
6. Installing "greenhouse" windows and skylights on side and rear elevations.

The Applicant Should Avoid:

1. Altering the size or type of windows.
2. Changing the location of windows.
3. Partially or wholly blocking existing windows.
4. Using glass that isn't clear unless colored or stained glass is historically documented or appropriate.
5. Installing "greenhouse" windows and skylights on principal elevations.



LANDMARKS BOARD STAFF REPORT

SECRETARY OF THE INTERIOR'S STANDARDS FOR REHABILITATION:

The following standards would apply to this proposed alteration:

2. The historic character of a property will be retained and preserved. The removal of distinctive materials or alteration of features, spaces and spatial relationships that characterize a property will be avoided.
3. Each property will be recognized as a physical record of its time, place and use. Changes that create a false sense of historical development, such as adding conjectural features or elements from other historic properties, will not be undertaken.
4. Changes to a property that have acquired historic significance in their own right will be retained and preserved.
5. Distinctive materials, features, finishes, and construction techniques or examples of craftsmanship that characterize a property will be preserved.
6. Deteriorated historic features will be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature will match the old in design, color, texture and, where possible, materials. Replacement of missing features will be substantiated by documentary and physical evidence.
9. New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work will be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.
10. New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

[PRESERVATION BRIEF #16, THE USE OF SUBSTITUTE MATERIALS ON HISTORIC BUILDING EXTERIORS](#) (see link for complete article)

ZONING ORDINANCE:

In addition, General Ordinance No. 3549 & 3560, which created the Walnut Street Urban Conservation District-East states:

In the event the Board concludes that the request, if granted, will have a detrimental effect upon the Urban Conservation District (UCD) or any adverse effect on an historical or architectural resource, then the Board shall deny the request for a certificate.

ARCHITECTURAL SIGNIFICANCE OF PROPERTY:

See attached 1984 Architectural Inventory form.



Application for Certificate of Appropriateness

****E-PLANS INSTRUCTIONS****

****PLEASE FOLLOW STEPS 1 & 2 BEFORE SUBMITTING THIS APPLICATION****

1. Pre-apply and, if needed, pay your processing fees online at this [LINK](#)
2. Wait for a "pre-screen complete" e-mail from the City of Springfield with instructions for e-plans review process.
3. Complete this application and upload a digital (pdf) copy through e-plans.

Office Use Only

Date Filed:	
Received By:	
Review:	
<input type="checkbox"/>	Administrative
<input type="checkbox"/>	Landmarks Board

The applicant seeks to show the following:

1. That the proposed work will be done in conformance with the Secretary of Interior Standards for Rehabilitation.
2. That the proposed work will be done in conformance with any applicable design guidelines or standards that the Landmarks Board has established and adopted. (Commercial Street and Walnut Street Districts and Mid-Town Neighborhood historic sites only)
3. That the proposed work will be done in conformance with all other relevant requirements of the Springfield Zoning Ordinance.

THEREFORE, applicant requests that the Certificate of Appropriateness be approved for the property as proposed in this submittal.

We, the signers of this application, do attest to the truth and correctness of all facts and information presented with this application and understand that, if approved, all work must be done under a building permit issued by the Department of Building Development Services. Approval of this application does not constitute approval of a building permit, nor does it certify that the zoning is appropriate for the proposed uses. These are separate processes that must be initiated by the applicants. We further understand that approval of this application does not constitute approval for tax certification under the Tax Reform Act of 1986 or amendments thereto.

Signature(s):

Date:

Jeffrey Maez

3/10/26

Please type or print name(s) clearly:

Jeffrey Maez

Exhibit A: REQUEST FOR CERTIFICATE OF APPROPRIATENESS

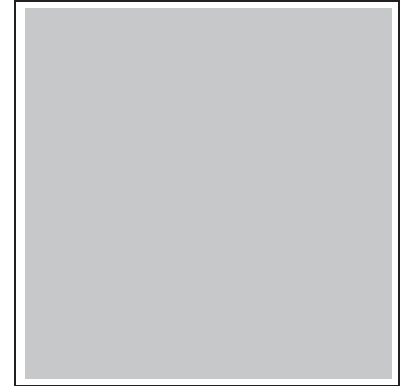
Please use this form only. Form may be photocopied. Please type or print.

For instructions, see pages 5-8

1. Property address: 1336 E Walnut St, Springfield, MO 65802

APPLICANT INFORMATION:

2. Name of current property owner: Kathryn Heet
If corporation: Corporate Official: _____
Mailing Address: 1336 E Walnut St, Springfield, MO 65802
Zip Code: 65802 Telephone: 636-262-0966 Fax: _____
E-mail: Wilsonktm@gmail.com



(Corporate Seal)

3. AUTHORIZED REPRESENTATIVE:

(The representative should have the authority to commit the applicant to changes that may be suggested by the Board):

Name: Jeffrey Maez
Signature: *Jeffrey Maez*
Mailing Address: 3608 W Elcastile Zip Code: 65807 Fax: _____
Telephone: 417-300-9083 E-mail: jeffm@arcc.best

4. BUILDING DEVELOPMENT SERVICES DISCUSSION: *(Before submitting this application, the applicant should discuss the project with BDS. Their phone number is 417-864-1059.)*

Date of discussion: 3/09/25

NOTE: The property owner must either sign this application or give City staff a power of attorney showing that another person is authorized to sign.

Exhibit B: DESCRIPTION OF PROPOSED WORK & SUPPORTING INFORMATION

Please use this form only. Form may be photocopied. Please type or print.

1. **TYPE OF WORK PROPOSED:** (Check all that apply. All work items require a written description of the proposed work. Additional required supporting information is denoted after each item and **must** be attached. See Instructions, page 5. **Maximum size for drawings: 11 x 17 inches.** NOTE: Even though you check the "Other" or the "New Construction" box, you must still give information on individual features such as windows, doors, etc., included in a large project.)

- | | | |
|---|--|--|
| <input type="checkbox"/> Addition (1,2, 3, 7) | <input type="checkbox"/> Handicapped Ramp (1, 2, 3) | <input type="checkbox"/> Sidewalk (1, 3) |
| <input type="checkbox"/> Awnings (2, 3, 4 or 5, 6) | <input type="checkbox"/> New Construction (1, 2, 3, 7) | <input checked="" type="checkbox"/> Siding (3, 4 or 5) |
| <input type="checkbox"/> Building Relocation (1, 2, 3, 7) | <input type="checkbox"/> Parking (1, 3) | <input type="checkbox"/> Sign (1, 2, 3, 6) |
| <input type="checkbox"/> Demolition (1, 2, 3, 7) | <input type="checkbox"/> Porch (1, 2, 3) | <input checked="" type="checkbox"/> Window (2, 3, 4 or 5, 6) |
| <input type="checkbox"/> Door (2, 3, 4 or 5, 6) | <input type="checkbox"/> Retaining Wall (1, 2, 3) | <input type="checkbox"/> Archeological Site (1, 3, 8) |
| <input type="checkbox"/> Fence (1, 2, 3, 5) | <input type="checkbox"/> Roof-New (3, 4 or 5, 7) | |
| <input checked="" type="checkbox"/> Guttering (2, 3, 4 or 5, 6) | <input checked="" type="checkbox"/> Re-roof (3, 4) | |

Other (specify): _____

- | | |
|------------------------------------|--|
| 1 – Site Plans | 5 – Product literature |
| 2 – Elevations | 6 – Drawings |
| 3 – Photographs | 7 – Exhibit C – Why proposed work should be approved |
| 4 – Sample of materials to be used | 8 – State historic Preservation Officer Comments |

2. **DESCRIPTION OF PROPOSED WORK:** (attach additional pages if necessary)

1) WINDOWS- The current windows are a mix of older wood casement and some vinyl inserts. Some existing windows may be original. The existing windows are no longer functional or repairable. The Grille pattern will match the existing windows. The new windows will imitate the original in looks but will be made of a synthetic material. The windows will function the same in opening and grid pattern. All windows will be replaced with the same size and casement style.

2) SIDING- The siding is currently a "White" vinyl overlay of the original White wood siding. The replacement siding is proposed to use White James Hardie Siding or White LP Engineered Wood Siding. The new siding will have a wood texture to represent a more historic look.

<https://www.jameshardie.com/product-catalog/exterior-siding-products/hardie-plank-lap-siding/select-cedarmil>

NOTE: An application is considered incomplete until **all** supporting materials, as specified in Item 1 above, are attached. Incomplete applications will **not** be processed or scheduled for a public hearing.

Exhibit C: WHY PROPOSED WORK SHOULD BE APPROVED

Please use this form only. Form may be photocopied. Please type or print.

When proposing a major project, please use this page to give information in support of your request. (See Exhibit B, item 1, above: "Type of Work Proposed," key # 7. Suggested items of discussion are included in the Instructions, page 7.)

WHY PROPOSED WORK SHOULD BE APPROVED

WINDOWS

The existing windows are a mix of older wood casement and some vinyl inserts that have reached the end of their service life. The older wood casement style windows are rotted and defunct at this point.

We have many years of restoration experience and these windows are beyond repair.

The proposed replacement windows will match the existing casement style and operation, maintain the same size and proportions as the original units, and replicate the existing grille/grid pattern to preserve the architectural character of the home.

The new windows will be constructed of modern synthetic materials to improve durability, energy efficiency, and long-term performance. While the materials will be upgraded, the overall appearance will closely match the original historic design, ensuring visual consistency with the structure.

SIDING

The current exterior consists of a white vinyl overlay installed over the original wood siding. This overlay does not accurately reflect the home's original historic appearance and may be concealing underlying deterioration. The proposed siding replacement will include removal of the existing vinyl overlay and the deteriorated, original wood cladding beneath the existing siding. The replacement installation will be white fiber cement siding or engineered wood siding. The new siding will feature a wood-grain texture to replicate traditional wood siding and restore a more historically appropriate appearance. The selected materials will improve durability, weather resistance, and long-term performance while maintaining the visual character of the home.

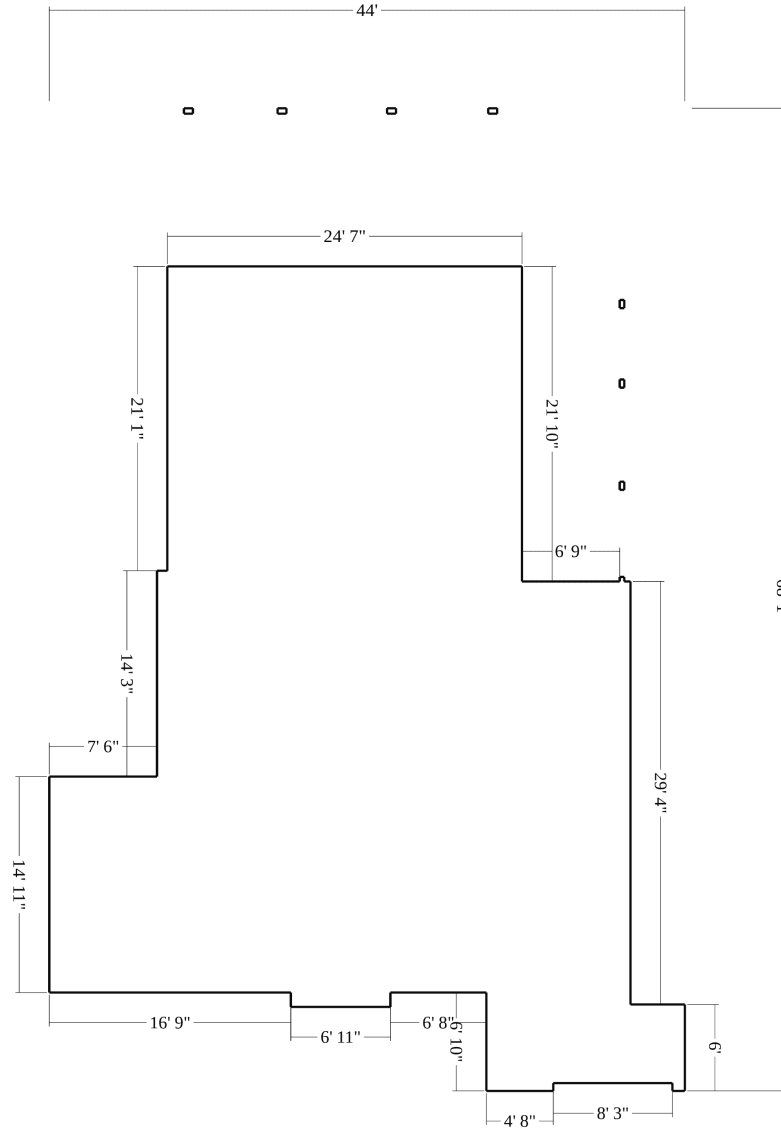
CONCLUSION

The proposed improvements are designed to preserve the original architectural character of the home while enhancing structural integrity and performance through the use of modern materials. The work will maintain visual consistency with the existing design and surrounding properties. These updates provide a balance between historical accuracy and long-term durability, making the project appropriate and suitable for approval.

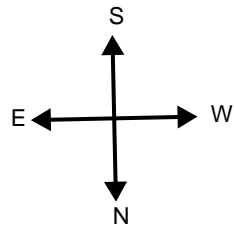


VIEW 3D MODEL

BACK



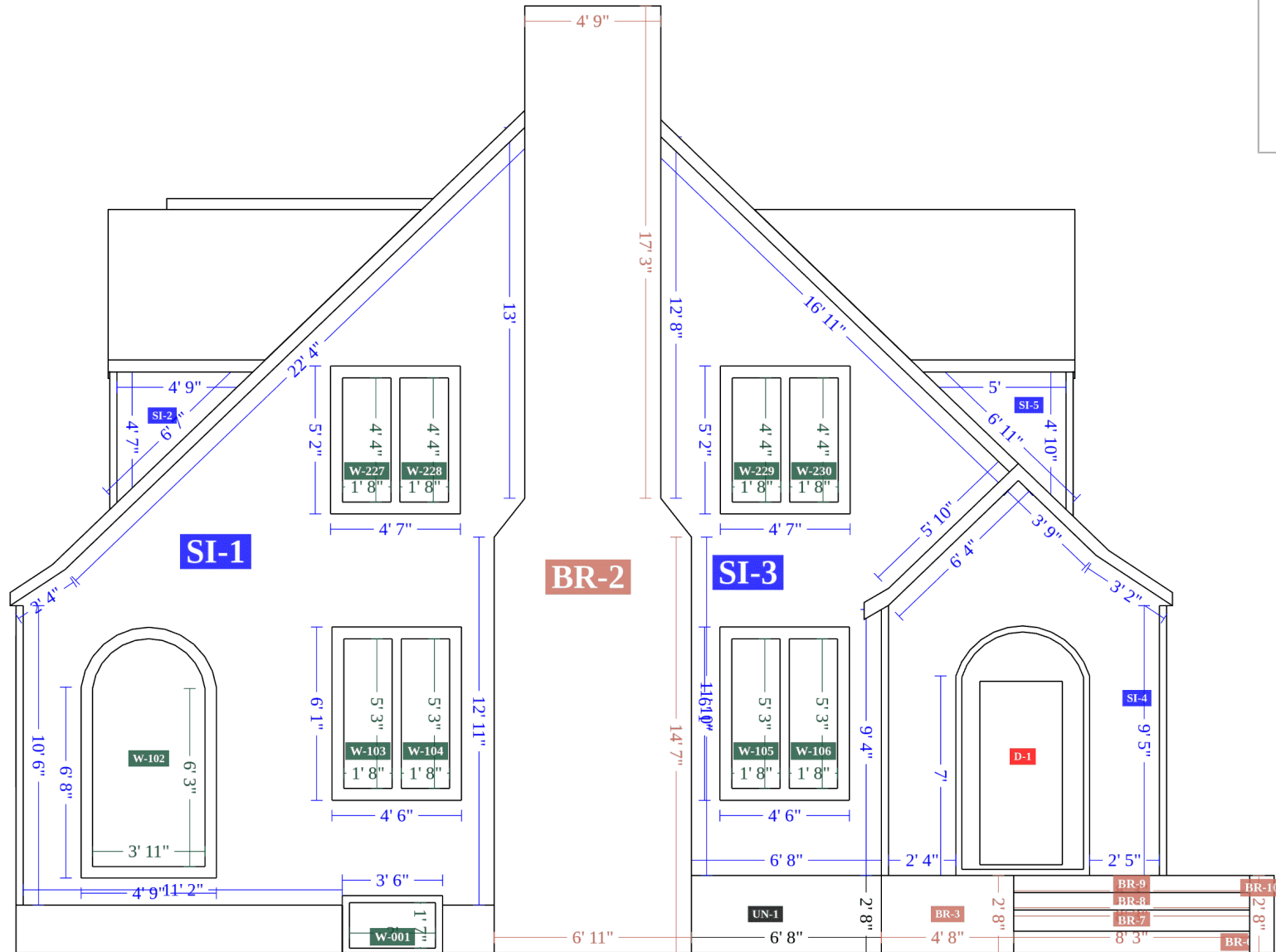
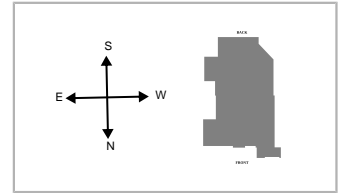
FRONT

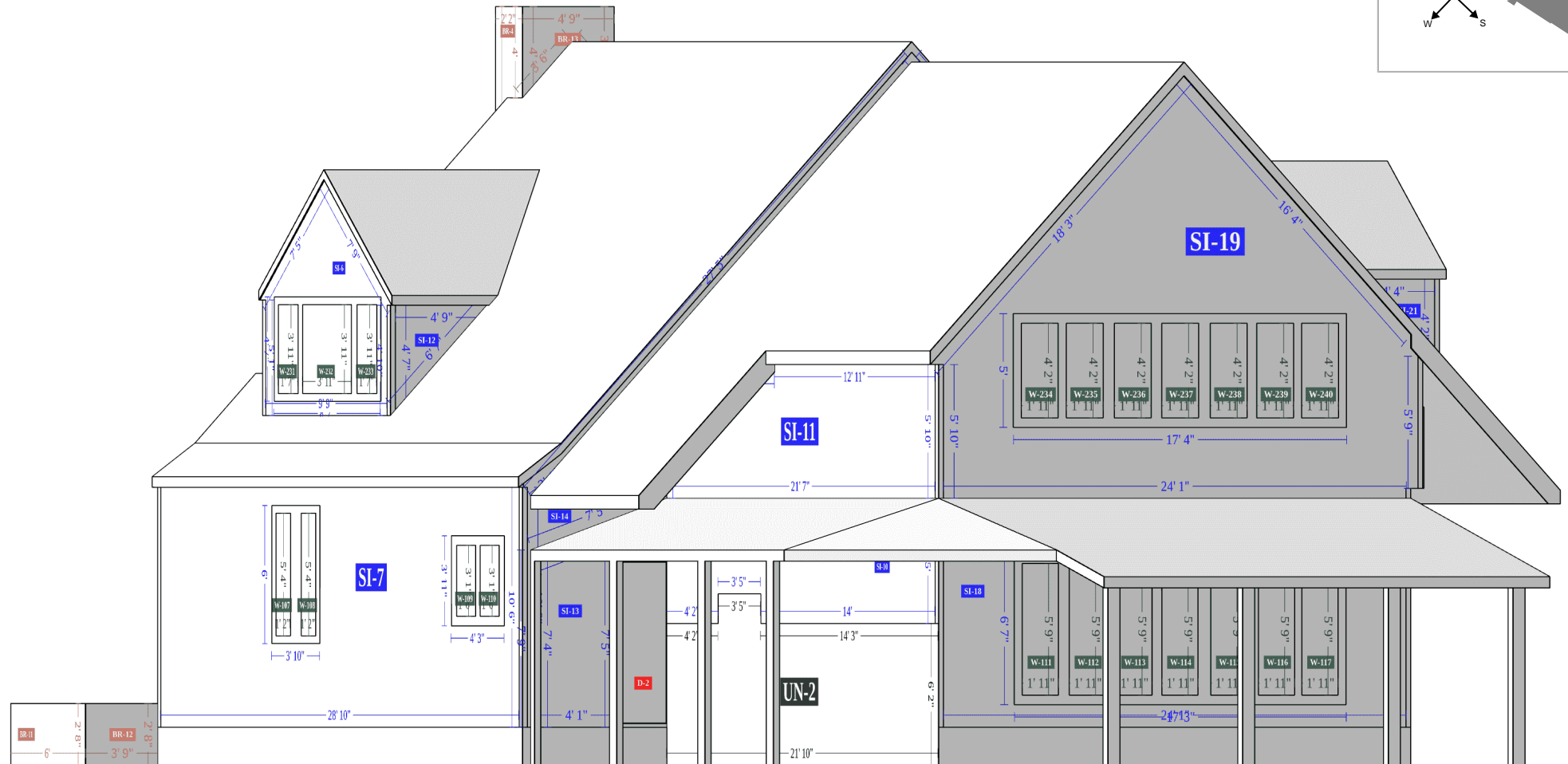
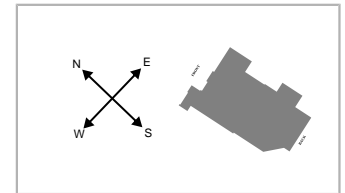


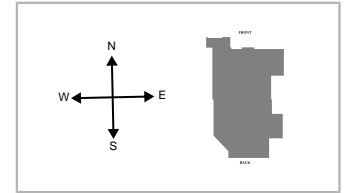
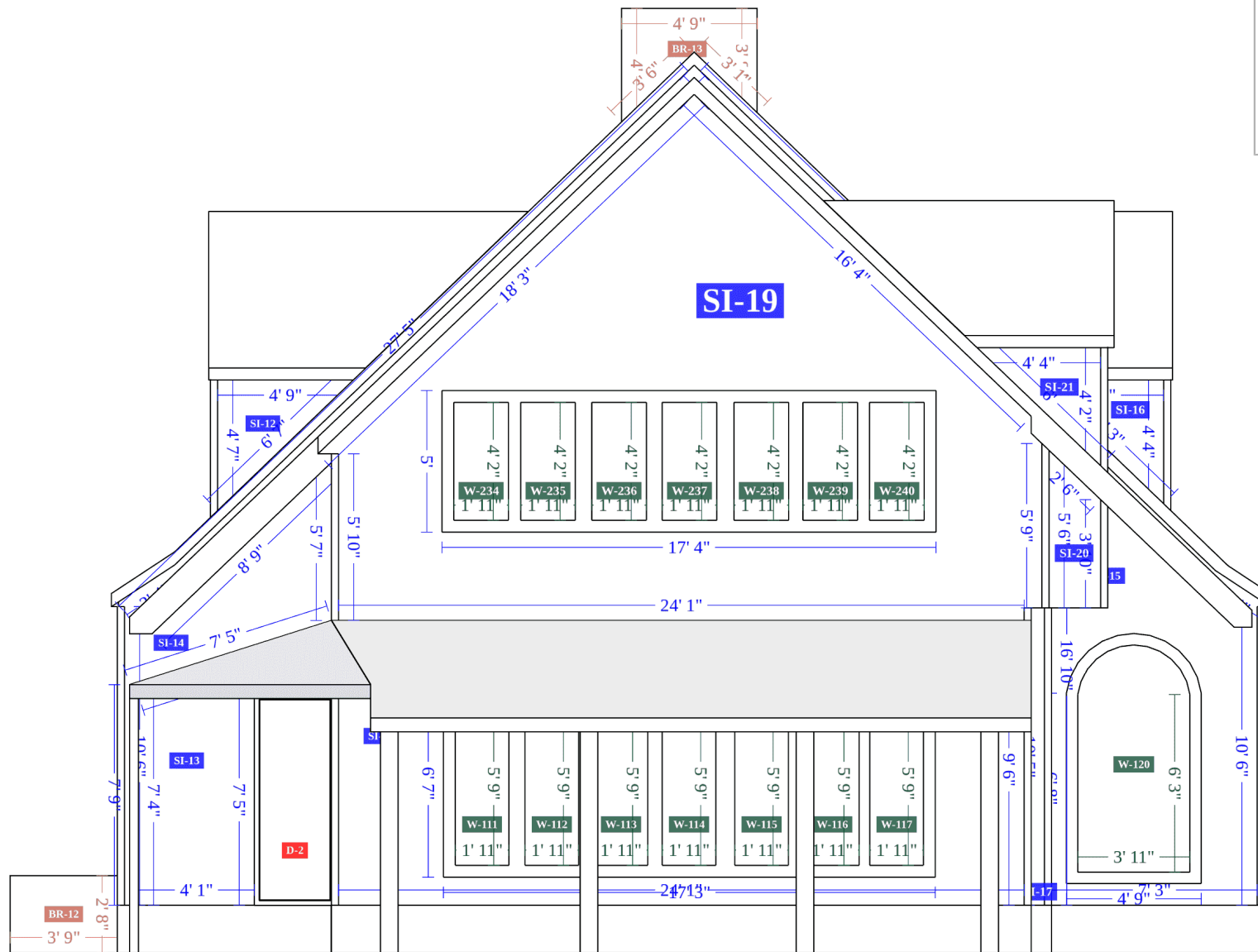
Number of Stories: > 1

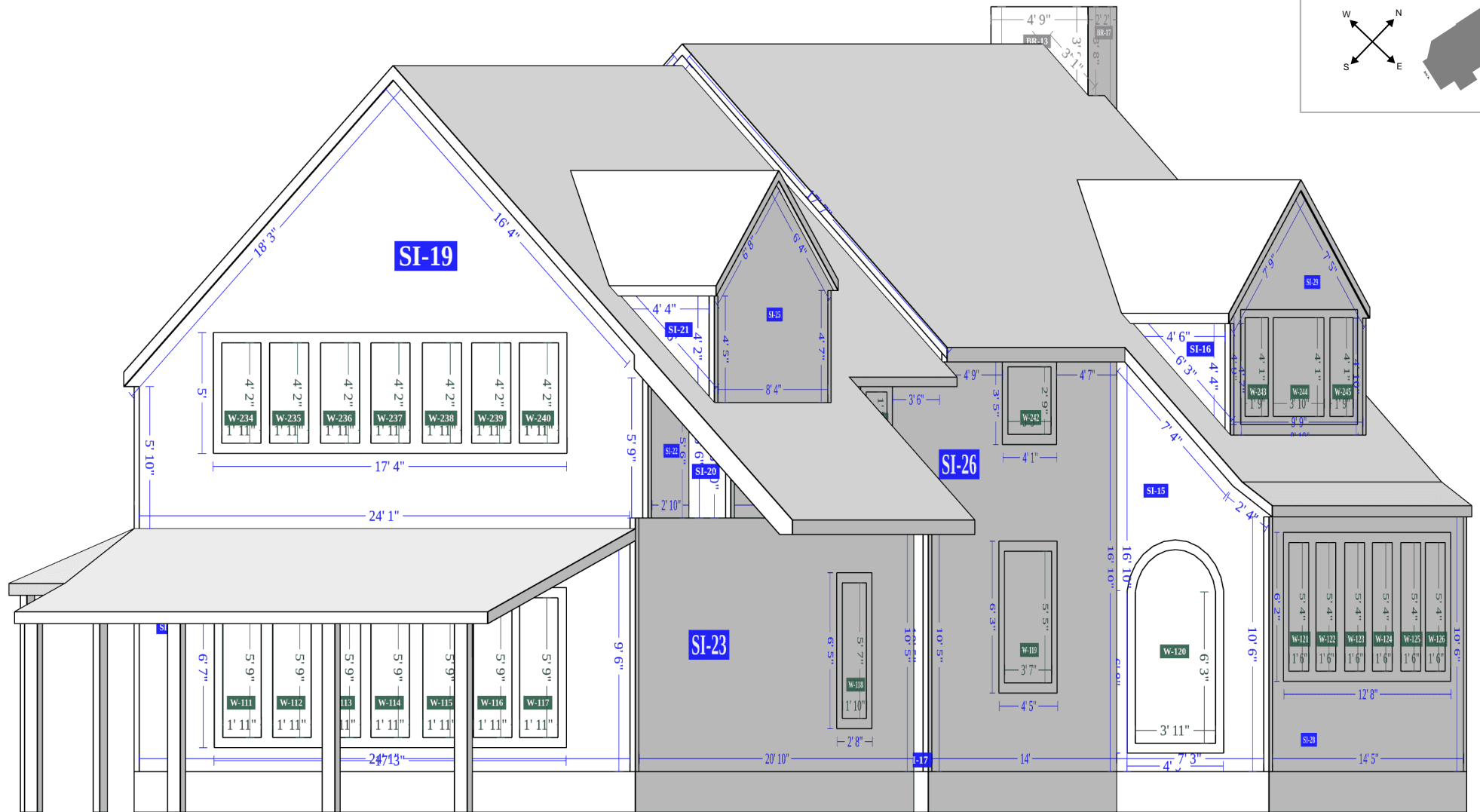
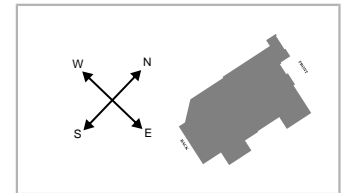
Footprint Perimeter: 219' 3"

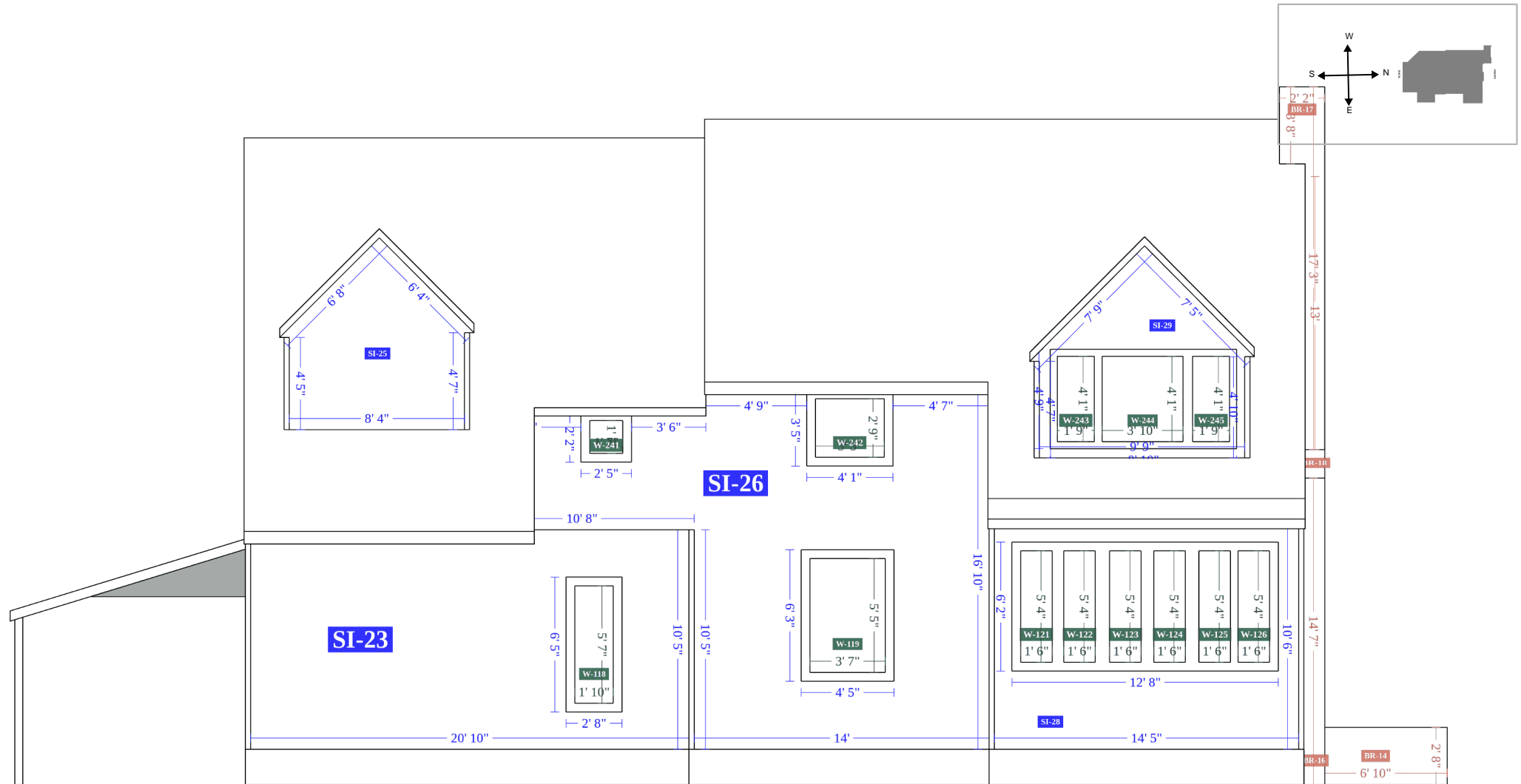
Footprint Area: 1677 ft²

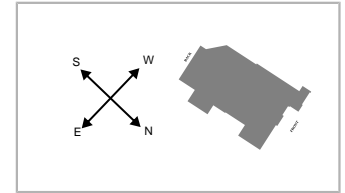












Siding

Facade	Area	Inside Corners	Outside Corners	Openings	Shutters	Vents
SI-1	224 ft ²	-	1	6	-	-
SI-2	11 ft ²	-	1	-	-	-
SI-3	125 ft ²	1	-	4	-	-
SI-4	72 ft ²	-	2	1	-	-
SI-5	12 ft ²	-	1	-	-	-
SI-6	38 ft ²	-	2	3	-	-
SI-7	262 ft ²	-	2	4	-	-
SI-8	8 ft ²	1	1	-	-	-
SI-9	10 ft ²	-	1	-	-	-
SI-10	103 ft ²	1	1	-	-	-
SI-11	124 ft ²	1	1	-	-	-
SI-12	11 ft ²	-	1	-	-	-
SI-13	37 ft ²	1	-	1	-	-
SI-14	38 ft ²	1	1	-	-	-
SI-15	61 ft ²	1	1	1	-	-
SI-16	10 ft ²	-	1	-	-	-
SI-17	5 ft ²	1	1	-	-	-
SI-18	115 ft ²	-	2	7	-	-
SI-19	224 ft ²	-	3	7	-	-

Siding (cont.)

Facade	Area	Inside Corners	Outside Corners	Openings	Shutters	Vents
SI-20	8 ft ²	1	1	-	-	-
SI-21	9 ft ²	-	1	-	-	-
SI-22	16 ft ²	1	1	-	-	-
SI-23	200 ft ²	1	1	1	-	-
SI-24	25 ft ²	-	2	-	-	-
SI-25	59 ft ²	-	2	-	-	-
SI-26	247 ft ²	2	1	3	-	-
SI-27	5 ft ²	1	1	-	-	-
SI-28	74 ft ²	-	2	6	-	-
SI-29	33 ft ²	-	2	3	-	-
Total	2166 ft²	14	37	47	0	0

Brick

Facade	Area	Openings	Shutters	Vents
BR-1	14 ft ²	-	-	-
BR-2	190 ft ²	-	-	-
BR-3	13 ft ²	-	-	-
BR-4	22 ft ²	-	-	-
BR-5	4 ft ²	-	-	-
BR-6	6 ft ²	-	-	-
BR-7	6 ft ²	-	-	-
BR-8	5 ft ²	-	-	-
BR-9	5 ft ²	-	-	-
BR-10	2 ft ²	-	-	-
BR-11	16 ft ²	-	-	-
BR-12	10 ft ²	-	-	-
BR-13	13 ft ²	-	-	-
BR-14	18 ft ²	-	-	-
BR-15	4 ft ²	-	-	-
BR-16	14 ft ²	-	-	-
BR-17	21 ft ²	-	-	-
BR-18*	2 ft ²	-	-	-
BR-19*	2 ft ²	-	-	-

Brick (cont.)

Facade	Area	Openings	Shutters	Vents
Total	367 ft ²	0	0	0

Unknown (missing photos)

Facade	Area	Openings	Shutters	Vents
UN-1	18 ft ²	-	-	-
UN-2	140 ft ²	-	-	-
Total	158 ft ²	0	0	0

Facades

Facade	Area	Trim			Corners		Roofline		Openings		
		Level Starter	Sloped	Vertical	Inside	Outside	Level Frieze Board	Sloped Frieze Board	Tops	Sills	Sides
SI-1	224 ft ²	13' 5"	1' 9"	25' 10"	-	10' 6"	-	24' 8"	12' 7"	13' 10"	43' 5"
SI-2	11 ft ²	-	6' 7"	-	-	4' 10"	4' 9"	-	-	-	-
SI-3	125 ft ²	6' 8"	8' 7"	25' 1"	9' 4"	-	-	17' 7"	9' 1"	9' 1"	22' 6"
SI-4	72 ft ²	5' 3"	-	-	-	18' 9"	-	13' 3"	-	-	20' 3"
SI-5	12 ft ²	-	6' 11"	-	-	5' 1"	5'	-	-	-	-
SI-6	38 ft ²	10' 8"	-	-	-	9' 11"	-	15' 2"	8' 7"	8' 7"	9' 1"
SI-7	262 ft ²	28' 10"	-	-	-	19' 11"	28' 10"	-	8' 1"	8' 1"	19' 11"
SI-8	8 ft ²	1' 9"	-	-	5' 5"	3' 7"	-	2' 4"	-	-	-
SI-9	10 ft ²	-	6' 4"	-	-	4' 7"	4' 7"	-	-	-	-
SI-10	103 ft ²	21' 7"	-	2' 7"	2' 1"	5'	21' 7"	-	-	-	2' 10"
SI-11	124 ft ²	21' 7"	-	4"	5' 7"	5' 10"	21' 7"	-	-	-	-
SI-12	11 ft ²	-	6' 7"	-	-	4' 10"	4' 9"	-	-	-	-
SI-13	37 ft ²	4' 1"	-	7' 4"	2' 1"	-	-	7' 1"	2' 8"	-	7' 5"
SI-14	38 ft ²	5"	52' 5"	8' 8"	5' 7"	10' 6"	9"	54'	-	-	-
SI-15	61 ft ²	7' 8"	-	-	16' 10"	10' 6"	5"	9' 8"	-	4' 9"	20' 3"
SI-16	10 ft ²	-	6' 3"	-	-	4' 7"	4' 6"	-	-	-	-
SI-17	5 ft ²	6"	-	-	10' 5"	10' 5"	6"	-	-	-	-
SI-18	115 ft ²	24' 1"	-	-	-	14' 6"	24' 1"	-	17' 3"	17' 3"	13' 2"

Facades (cont.)

Facade	Area	Trim			Corners		Roofline		Openings		
		Level Starter	Sloped	Vertical	Inside	Outside	Level Frieze Board	Sloped Frieze Board	Tops	Sills	Sides
SI-19	224 ft ²	25' 5"	-	7"	-	11' 10"	-	35' 2"	17' 4"	17' 4"	9' 11"
SI-20	8 ft ²	1' 10"	-	-	5' 6"	3' 7"	-	2' 6"	-	-	-
SI-21	9 ft ²	-	6'	-	-	4' 5"	4' 4"	-	-	-	-
SI-22	16 ft ²	2' 10"	-	-	5' 6"	5' 6"	2' 10"	-	-	-	-
SI-23	200 ft ²	20' 10"	-	-	10' 5"	9' 6"	20' 10"	-	2' 8"	2' 8"	12' 10"
SI-24	25 ft ²	7' 1"	-	-	-	7' 1"	7' 1"	-	-	-	-
SI-25	59 ft ²	9' 3"	-	-	-	9'	-	13' 1"	-	-	-
SI-26	247 ft ²	24' 8"	-	1'	22' 3"	10' 5"	18' 2"	-	4' 5"	10' 11"	23' 8"
SI-27	5 ft ²	7"	-	-	9' 4"	9' 4"	7"	-	-	-	-
SI-28	74 ft ²	14' 5"	-	-	-	21'	14' 5"	-	12' 8"	12' 8"	12' 3"
SI-29	33 ft ²	10' 8"	-	-	-	9' 5"	-	15' 2"	8' 10"	8' 10"	9' 5"
Total*	2166 ft²	263' 11"	101' 6"	71' 6"	55' 2"	122' 4"	189' 8"	209' 8"	104' 3"	114'	227' 1"

*Totals de-duplicate any line segments that are shared between multiple facades, and as a result may not represent a total summation of the corresponding column.

Example Waste Factor Calculations

SIDING & TRIM ONLY

	Zero Waste	+10%	+18%
SI-1	224 ft ²	246 ft ²	264 ft ²
SI-2	11 ft ²	12 ft ²	13 ft ²
SI-3	125 ft ²	138 ft ²	148 ft ²
SI-4	72 ft ²	79 ft ²	85 ft ²
SI-5	12 ft ²	13 ft ²	14 ft ²
SI-6	38 ft ²	42 ft ²	45 ft ²
SI-7	262 ft ²	288 ft ²	309 ft ²
SI-8	8 ft ²	9 ft ²	9 ft ²
SI-9	10 ft ²	11 ft ²	12 ft ²
SI-10	103 ft ²	113 ft ²	122 ft ²
SI-11	124 ft ²	136 ft ²	146 ft ²
SI-12	11 ft ²	12 ft ²	13 ft ²
SI-13	37 ft ²	41 ft ²	44 ft ²
SI-14	38 ft ²	42 ft ²	45 ft ²
SI-15	61 ft ²	67 ft ²	72 ft ²
SI-16	10 ft ²	11 ft ²	12 ft ²

+ OPENINGS < 20FT²

	Zero Waste	+10%	+18%
	261 ft ²	287 ft ²	308 ft ²
	11 ft ²	12 ft ²	13 ft ²
	157 ft ²	173 ft ²	185 ft ²
	72 ft ²	79 ft ²	85 ft ²
	12 ft ²	13 ft ²	14 ft ²
	65 ft ²	72 ft ²	77 ft ²
	284 ft ²	312 ft ²	335 ft ²
	8 ft ²	9 ft ²	9 ft ²
	10 ft ²	11 ft ²	12 ft ²
	103 ft ²	113 ft ²	122 ft ²
	124 ft ²	136 ft ²	146 ft ²
	11 ft ²	12 ft ²	13 ft ²
	55 ft ²	61 ft ²	65 ft ²
	38 ft ²	42 ft ²	45 ft ²
	61 ft ²	67 ft ²	72 ft ²
	10 ft ²	11 ft ²	12 ft ²

+ OPENINGS < 33FT²

	Zero Waste	+10%	+18%
	292 ft ²	321 ft ²	345 ft ²
	11 ft ²	12 ft ²	13 ft ²
	157 ft ²	173 ft ²	185 ft ²
	92 ft ²	101 ft ²	109 ft ²
	12 ft ²	13 ft ²	14 ft ²
	65 ft ²	72 ft ²	77 ft ²
	284 ft ²	312 ft ²	335 ft ²
	8 ft ²	9 ft ²	9 ft ²
	10 ft ²	11 ft ²	12 ft ²
	103 ft ²	113 ft ²	122 ft ²
	124 ft ²	136 ft ²	146 ft ²
	11 ft ²	12 ft ²	13 ft ²
	55 ft ²	61 ft ²	65 ft ²
	38 ft ²	42 ft ²	45 ft ²
	92 ft ²	101 ft ²	109 ft ²
	10 ft ²	11 ft ²	12 ft ²

SIDING & TRIM ONLY (CONT.)

	Zero Waste	+10%	+18%
SI-17	5 ft ²	6 ft ²	6 ft ²
SI-18	115 ft ²	127 ft ²	136 ft ²
SI-19	224 ft ²	246 ft ²	264 ft ²
SI-20	8 ft ²	9 ft ²	9 ft ²
SI-21	9 ft ²	10 ft ²	11 ft ²
SI-22	16 ft ²	18 ft ²	19 ft ²
SI-23	200 ft ²	220 ft ²	236 ft ²
SI-24	25 ft ²	28 ft ²	30 ft ²
SI-25	59 ft ²	65 ft ²	70 ft ²
SI-26	247 ft ²	272 ft ²	291 ft ²
SI-27	5 ft ²	6 ft ²	6 ft ²
SI-28	74 ft ²	81 ft ²	87 ft ²
SI-29	33 ft ²	36 ft ²	39 ft ²
UN-1	18 ft ²	20 ft ²	21 ft ²
UN-2	140 ft ²	154 ft ²	165 ft ²
Trims	93 ft ²	102 ft ²	110 ft ²

+ OPENINGS < 20FT²

	Zero Waste	+10%	+18%
	5 ft ²	6 ft ²	6 ft ²
	192 ft ²	211 ft ²	227 ft ²
	280 ft ²	308 ft ²	330 ft ²
	8 ft ²	9 ft ²	9 ft ²
	9 ft ²	10 ft ²	11 ft ²
	16 ft ²	18 ft ²	19 ft ²
	210 ft ²	231 ft ²	248 ft ²
	25 ft ²	28 ft ²	30 ft ²
	59 ft ²	65 ft ²	70 ft ²
	277 ft ²	305 ft ²	327 ft ²
	5 ft ²	6 ft ²	6 ft ²
	122 ft ²	134 ft ²	144 ft ²
	63 ft ²	69 ft ²	74 ft ²
	18 ft ²	20 ft ²	21 ft ²
	140 ft ²	154 ft ²	165 ft ²
	322 ft ²	354 ft ²	380 ft ²

+ OPENINGS < 33FT²

	Zero Waste	+10%	+18%
	5 ft ²	6 ft ²	6 ft ²
	192 ft ²	211 ft ²	227 ft ²
	280 ft ²	308 ft ²	330 ft ²
	8 ft ²	9 ft ²	9 ft ²
	9 ft ²	10 ft ²	11 ft ²
	16 ft ²	18 ft ²	19 ft ²
	210 ft ²	231 ft ²	248 ft ²
	25 ft ²	28 ft ²	30 ft ²
	59 ft ²	65 ft ²	70 ft ²
	277 ft ²	305 ft ²	327 ft ²
	5 ft ²	6 ft ²	6 ft ²
	122 ft ²	134 ft ²	144 ft ²
	63 ft ²	69 ft ²	74 ft ²
	18 ft ²	20 ft ²	21 ft ²
	140 ft ²	154 ft ²	165 ft ²
	322 ft ²	354 ft ²	380 ft ²

SIDING & TRIM ONLY (CONT.)

Total

Zero Waste	+10%	+18%
2417 ft ²	2660 ft ²	2853 ft ²

+ OPENINGS < 20FT²

Zero Waste	+10%	+18%
3033 ft ²	3338 ft ²	3580 ft ²

+ OPENINGS < 33FT²

Zero Waste	+10%	+18%
3115 ft ²	3428 ft ²	3678 ft ²

The first Siding Waste Factor table is calculated using the total ft² of siding facades, ft² of trim touching siding, and ft² of unknowns touching siding.

The tables above provide the area of siding on a given property, segmented by individual and in sum total form. Values include openings (doors & windows) and waste percentages as noted. Please consider that area values and specific waste factors can be influenced by the size and complexity of the property, captured image quality, specific siding techniques, and your own level of expertise. Accessories are not included in these values and may require additional material.

These tables are only intended to make common waste calculations easier and should not be interpreted as recommendations.

Windows

Group	Group Width x Height	Group United Inches	Opening	Width x Height	United Inches	Area
WG-1	36" x 19"	55"	W-001	36" x 19"	55"	5 ft ²
WG-2	47" x 96"	143"	W-102	47" x 96"	143"	31 ft ²
WG-3	44" x 63"	107"	W-103	20" x 63"	83"	9 ft ²
			W-104	20" x 63"	83"	9 ft ²
WG-4	44" x 63"	107"	W-105	20" x 63"	83"	9 ft ²
			W-106	20" x 63"	83"	9 ft ²
WG-5	38" x 64"	103"	W-107	14" x 64"	78"	6 ft ²
			W-108	14" x 64"	78"	6 ft ²
WG-6	41" x 37"	78"	W-109	18" x 37"	56"	5 ft ²
			W-110	18" x 37"	56"	5 ft ²
WG-7	197" x 69"	266"	W-111	23" x 69"	92"	11 ft ²
			W-112	23" x 69"	92"	11 ft ²
			W-113	23" x 69"	92"	11 ft ²
			W-114	23" x 69"	92"	11 ft ²
			W-115	23" x 69"	92"	11 ft ²
			W-116	23" x 69"	92"	11 ft ²
			W-117	23" x 69"	92"	11 ft ²
WG-8	22" x 67"	89"	W-118	22" x 67"	89"	10 ft ²

Windows (cont.)

Group	Group Width x Height	Group United Inches	Opening	Width x Height	United Inches	Area
WG-9	43" x 65"	108"	W-119	43" x 65"	108"	19 ft ²
WG-10	47" x 96"	143"	W-120	47" x 96"	143"	31 ft ²
WG-11	142" x 64"	205"	W-121	18" x 64"	82"	8 ft ²
			W-122	18" x 64"	82"	8 ft ²
			W-123	18" x 64"	82"	8 ft ²
			W-124	18" x 64"	82"	8 ft ²
			W-125	18" x 64"	82"	8 ft ²
			W-126	18" x 64"	82"	8 ft ²
WG-12	45" x 52"	97"	W-227	20" x 52"	73"	7 ft ²
			W-228	20" x 52"	73"	7 ft ²
WG-13	45" x 52"	97"	W-229	20" x 52"	73"	7 ft ²
			W-230	20" x 52"	73"	7 ft ²
WG-14	95" x 47"	142"	W-231	19" x 47"	66"	6 ft ²
			W-232	47" x 47"	94"	15 ft ²
			W-233	19" x 47"	66"	6 ft ²

Windows (cont.)

Group	Group Width x Height	Group United Inches	Opening	Width x Height	United Inches	Area
WG-15	198" x 50"	248"	W-234	23" x 50"	73"	8 ft ²
			W-235	23" x 50"	73"	8 ft ²
			W-236	23" x 50"	73"	8 ft ²
			W-237	23" x 50"	73"	8 ft ²
			W-238	23" x 50"	73"	8 ft ²
			W-239	23" x 50"	73"	8 ft ²
			W-240	23" x 50"	73"	8 ft ²
WG-16	19" x 19"	38"	W-241	19" x 19"	38"	2 ft ²
WG-17	39" x 33"	73"	W-242	39" x 33"	73"	9 ft ²
WG-18	98" x 49"	147"	W-243	21" x 49"	70"	7 ft ²
			W-244	46" x 49"	95"	16 ft ²
			W-245	21" x 49"	70"	7 ft ²
			Total	-	3638"	431 ft ²

Doors

Opening	Width x Height
D-1	36" x 80"
D-2	32" x 82"

*Door height and width have been snapped to standard

Entire Doors

Opening	Width x Height	Area
D-1	51" x 100"	34 ft ²
D-2	30" x 85"	18 ft ²
Total	-	52 ft ²

*Total door square footage includes entire door package (e.g. with transoms, sidelites, etc.)













Link provided in Description of Proposed Work in application submittal:



Individual colors may vary depending on display settings. Please check with your contractor or local dealer for availability in your area.

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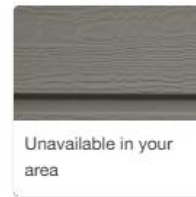
Smooth



Beaded Select Cedarmill®

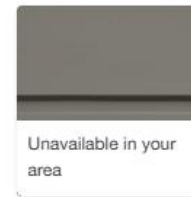


Beaded Smooth



Unavailable in your area

Custom Colonial Roughsawn



Unavailable in your area

Custom Colonial Smooth

Source: <https://www.jameshardie.com/product-catalog/exterior-siding-products/hardie-plank-lap-siding/select-cedarmil>



CUSTOMER + LIST COPY

QUOTATION #3507888

Date Entered: 2/9/2026
 Date Printed: 2/9/2026
 Printed By: Bill Adney

SOLD TO:
 Niangua Glass

SHIP TO:
 Niangua Glass

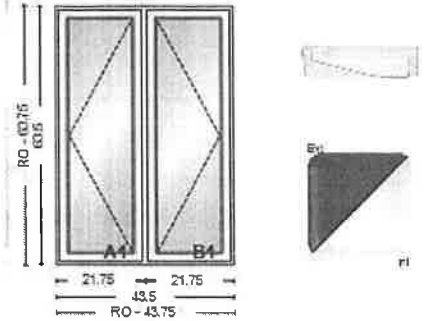
Phone:
 Fax:

Phone:
 Fax:

PO NUMBER	QUOTE NAME	PROJECT NAME
	kts renovation	kts reno

LineItem #	Qty.	Description	List Price	Unit Price	Ext. Price
100-1	2	perfeXion Platinum Double Casement 43.5" X 63.5" Operation = Left / Right, Unit 1: Operation = Left, Unit 2: Operation = Right, Frame = Replacement, Ext. Color = Chocolate (Painted), Int. Color = White, Glass Package = Standard Glass Options, ProSolar Low E, Argon, Intercept, 7/8"IGU, Glass Thickness = 1/8 in - 1/8 out DS, Annealed, White, Flush Mount Crank, Coastal Hardware, Sill Extender, Screen Coverage = Full, Fiberglass, Extruded, U-Factor = 0.27, SHGC = 0.24, VT = 0.44, STC = 28, CPD Number = SBP-A-61-23348- 00001, Meets Energy Star Zones = None, DP = 45, AAMA, TDI = WIN-1309, Florida Approval Code = 107, Common Frame, T-Mullion (Vertical)	\$3,460.92	\$1,248.70	\$2,497.40

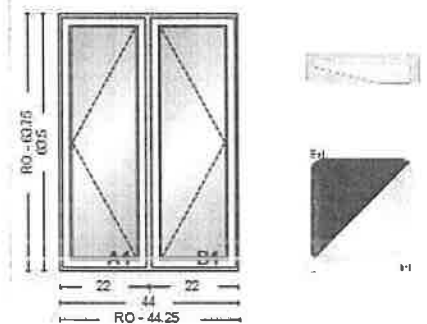
RO:
 43.75 x 63.75
Room ID:
 Living Room



Initials: _____

LineItem #	Qty.	Description	List Price	Unit Price	Ext. Price
200-1	3	perfeXion Platinum Double Casement 44" X 63.5" Operation = Left / Right, Unit 1: Operation = Left, Unit 2: Operation = Right, Frame = Replacement, Ext. Color = Chocolate (Painted), Int. Color = White, Glass Package = Standard Glass Options, ProSolar Low E, Argon, Intercept, 7/8"IGU, Glass Thickness = 1/8 in - 1/8 out DS, Annealed, White, Flush Mount Crank, Coastal Hardware, Sill Extender, Screen Coverage = Full, Fiberglass, Extruded, U-Factor = 0.27, SHGC = 0.24, VT = 0.44, STC = 28, CPD Number = SBP-A-61-23348- 00001, Meets Energy Star Zones = None, DP = 45, AAMA, TDI = WIN-1309, Florida Approval Code = 107, Common Frame, T-Mullion (Vertical)	\$3,460.92	\$1,248.70	\$3,746.10

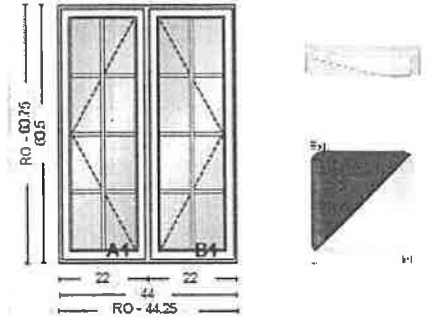
RO:
 44.25 x 63.75
Room ID:
 Custom
 green room



Initials: _____

LineItem #	Qty.	Description	List Price	Unit Price	Ext. Price
300-1	1	perfeXion Platinum Double Casement 44" X 63.5" Operation = Left / Right, Unit 1: Operation = Left, Unit 2: Operation = Right, Frame = Replacement, Ext. Color = Chocolate (Painted), Int. Color = White, Glass Package = Standard Glass Options, ProSolar Low E, Argon, Intercept, 7/8"IGU, Glass Thickness = 1/8 in - 1/8 out DS, Annealed, White, Flush Mount Crank, Coastal Hardware, Sill Extender, Screen Coverage = Full, Fiberglass, Extruded, Grille Pattern = Colonial, Grille App = 5/8" Flat, White, 2W4H, U-Factor = 0.27, SHGC = 0.22, VT = 0.4, STC = 28, CPD Number = SBP-A- 61-23348-00002, Meets Energy Star Zones = South Central, Southern, DP = 45, AAMA, TDI = WIN- 1309, Florida Approval Code = 107, Common Frame, T-Mullion (Vertical)	\$3,612.92	\$1,303.54	\$1,303.54

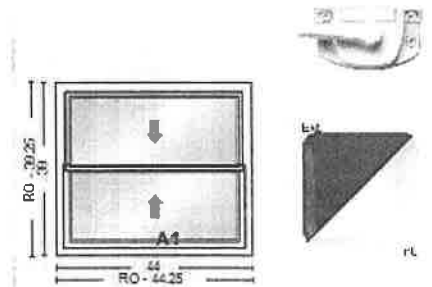
RO:
44.25 x 63.75
Room ID:
Custom
entry room



Initials: _____

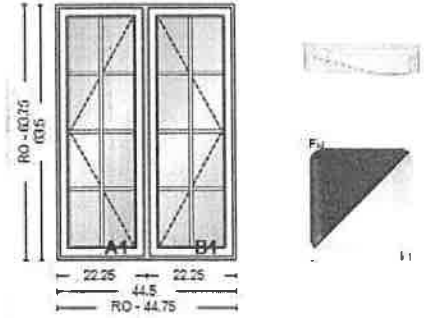
LineItem #	Qty.	Description	List Price	Unit Price	Ext. Price
400-1	1	perfeXion Platinum Double Hung 44" X 39" Operation = Operating, Frame = Replacement, Ext. Color = Chocolate (Painted), Int. Color = White, Glass Package = Standard Glass Options, ProSolar Low E, Argon, Intercept, 7/8"IGU, Glass Thickness = 1/8 in - 1/8 out DS, Upper = Annealed, Obscure Upper, Lower = Annealed, Obscure Lower, Locks = 2, White, Cam, Air Latches = 2, Sill Extender, Screen Coverage = Full, Fiberglass, Extruded, U- Factor = 0.3, SHGC = 0.28, VT = 0.5, STC = 28, CPD Number = SBP-A-44-56883-00001, Meets Energy Star Zones = None, DP = 25, AAMA, TDI = WIN-1308, Florida Approval Code = 5167	\$1,420.63	\$512.56	\$512.56

RO:
44.25 x 39.25
Room ID:
Bathroom



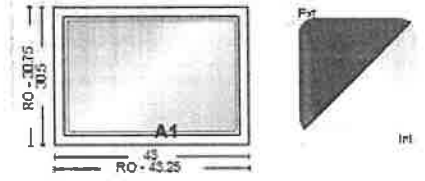
Initials: _____

LineItem #	Qty.	Description	List Price	Unit Price	Ext. Price
500-1	1	perfeXion Platinum Double Casement 44.5" X 63.5"	\$3,612.92	\$1,303.54	\$1,303.54
RO:		Operation = Left / Right, Unit 1: Operation = Left, Unit 2: Operation = Right, Frame = Replacement, Ext. Color = Chocolate (Painted), Int. Color = White, Glass Package = Standard Glass Options, ProSolar Low E, Argon, Intercept, 7/8"IGU, Glass Thickness = 1/8 in - 1/8 out DS, Annealed, White, Flush Mount Crank, Coastal Hardware, Sill Extender, Screen Coverage = Full, Fiberglass, Extruded, Grille Pattern = Colonial, Grille App = 5/8" Flat, White, 2W4H, U-Factor = 0.27, SHGC = 0.22, VT = 0.4, STC = 28, CPD Number = SBP-A-61-23348-00002, Meets Energy Star Zones = South Central, Southern, DP = 45, AAMA, TDI = WIN-1309, Florida Approval Code = 107, Common Frame, T-Mullion (Vertical)			
44.75 x 63.75					
Room ID:					
Dining					



Initials: _____

LineItem #	Qty.	Description	List Price	Unit Price	Ext. Price
600-1	2	perfeXion Platinum Picture 43" X 30.5" Operation = Fixed, Frame = Replacement, Ext. Color = Chocolate (Painted), Int. Color = White, Glass Package = Standard Glass Options, ProSolar Low E, Argon, Intercept, 7/8"IGU, Glass Thickness = 1/8 in - 1/8 out DS, Annealed, Sill Extender, Screen Coverage = None, U-Factor = 0.27, SHGC = 0.3, VT = 0.55, STC = 0, CPD Number = SBP-A-43-25153-00001, Meets Energy Star Zones = None, DP = 55, AAMA, TDI = WIN-1270, Florida Approval Code = 5177	\$1,178.63	\$425.25	\$850.50
RO:					
43.25 x 30.75					
Room ID:					
Basement					



Initials: _____

LineItem #	Qty.	Description	List Price	Unit Price	Ext. Price
700-1	3	perfeXion Platinum Casement 25.5" X 69.5"	\$1,815.05	\$654.88	\$1,964.64
RO: 25.75 x 69.75 Room ID: Family Room		Operation = Left, Frame = Replacement, Ext. Color = Chocolate (Painted), Int. Color = White, Glass Package = Standard Glass Options, ProSolar Low E, Argon, Intercept, 7/8"IGU, Glass Thickness = 1/8 in - 1/8 out DS, Annealed, White, Flush Mount Crank, Coastal Hardware, Sill Extender, Screen Coverage = Full, Fiberglass, Extruded, U-Factor = 0.27, SHGC = 0.24, VT = 0.44, STC = 28, CPD Number = SBP-A-61-23348-00001, Meets Energy Star Zones = None, DP = 55, AAMA, TDI = WIN-1309, Florida Approval Code = 107			

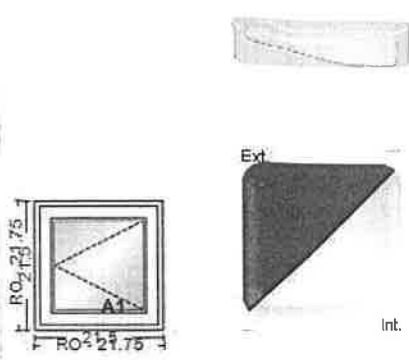


Initials: _____

LineItem #	Qty.	Description	List Price	Unit Price	Ext. Price
800-1	7	perfeXion Platinum Casement 25.5" X 49.5"	\$1,611.95	\$581.59	\$4,071.13
RO: 25.75 x 49.75 Room ID: Custom upstairs bed		Operation = Left, Frame = Replacement, Ext. Color = Chocolate (Painted), Int. Color = White, Glass Package = Standard Glass Options, ProSolar Low E, Argon, Intercept, 7/8"IGU, Glass Thickness = 1/8 in - 1/8 out DS, Annealed, White, Flush Mount Crank, Coastal Hardware, Sill Extender, Screen Coverage = Full, Fiberglass, Extruded, Grille Pattern = Colonial, Grille App = 5/8" Flat, White, 2W4H, U-Factor = 0.27, SHGC = 0.22, VT = 0.4, STC = 28, CPD Number = SBP-A-61-23348-00002, Meets Energy Star Zones = South Central, Southern, DP = 55, AAMA, TDI = WIN-1309, Florida Approval Code = 107			

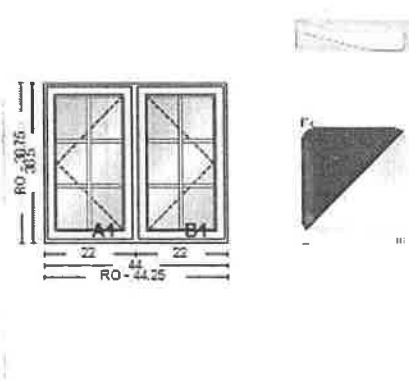


Initials: _____

LineItem #	Qty.	Description	List Price	Unit Price	Ext. Price
900-1	1	perfeXion Platinum Casement 21.5" X 21.5"	\$1,128.09	\$407.01	\$407.01
RO: 21.75 x 21.75 Room ID: Custom upstairs bath		Operation = Left, Frame = Replacement, Ext. Color = Chocolate (Painted), Int. Color = White, Glass Package = Standard Glass Options, Obscure, ProSolar Low E, Argon, Intercept, 7/8"IGU, Glass Thickness = 1/8 in - 1/8 out DS, Annealed, White, Flush Mount Crank, Coastal Hardware, Sill Extender, Screen Coverage = Full, Fiberglass, Extruded, U-Factor = 0.27, SHGC = 0.24, VT = 0.44, STC = 28, CPD Number = SBP-A-61-23348-00001, Meets Energy Star Zones = None, DP = 55, AAMA, TDI = WIN-1309, Florida Approval Code = 107			



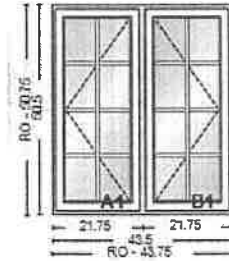
Initials: _____

LineItem #	Qty.	Description	List Price	Unit Price	Ext. Price
1000-1	1	perfeXion Platinum Double Casement 44" X 38.5"	\$3,024.97	\$1,091.41	\$1,091.41
RO: 44.25 x 38.75 Room ID: Custom upstairs office		Operation = Left / Right, Unit 1: Operation = Left, Unit 2: Operation = Right, Frame = Replacement, Ext. Color = Chocolate (Painted), Int. Color = White, Glass Package = Standard Glass Options, Obscure, ProSolar Low E, Argon, Intercept, 7/8"IGU, Glass Thickness = 1/8 in - 1/8 out DS, Annealed, White, Flush Mount Crank, Coastal Hardware, Sill Extender, Screen Coverage = Full, Fiberglass, Extruded, Grille Pattern = Colonial, Grille App = 5/8" Flat, White, 2W3H, U-Factor = 0.27, SHGC = 0.22, VT = 0.4, STC = 28, CPD Number = SBP-A-61-23348-00002, Meets Energy Star Zones = South Central, Southern, DP = 50, AAMA, TDI = WIN-1309, Florida Approval Code = 107, Common Frame, T-Mullion (Vertical)			



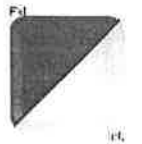
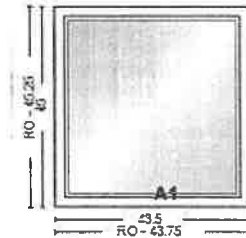
Initials: _____

LineItem #	Qty.	Description	List Price	Unit Price	Ext. Price
1100-1	1	perfeXion Platinum Double Casement 43.5" X 50.5"	\$3,381.49	\$1,220.04	\$1,220.04
RO:		Operation = Left / Right, Unit 1: Operation = Left, Unit 2: Operation = Right, Frame = Replacement, Ext. Color = Chocolate (Painted), Int. Color = White, Glass Package = Standard Glass Options, Obscure, ProSolar Low E, Argon, Intercept, 7/8"IGU, Glass Thickness = 1/8 in - 1/8 out DS, Annealed, White, Flush Mount Crank, Coastal Hardware, Sill Extender, Screen Coverage = Full, Fiberglass, Extruded, Grille Pattern = Colonial, Grille App = 5/8" Flat, White, 2W4H, U-Factor = 0.27, SHGC = 0.22, VT = 0.4, STC = 28, CPD Number = SBP-A-61-23348-00002, Meets Energy Star Zones = South Central, Southern, DP = 50, AAMA, TDI = WIN-1309, Florida Approval Code = 107, Common Frame, T-Mullion (Vertical)			
43.75 x 50.75					
Room ID:		Custom upstairs master			


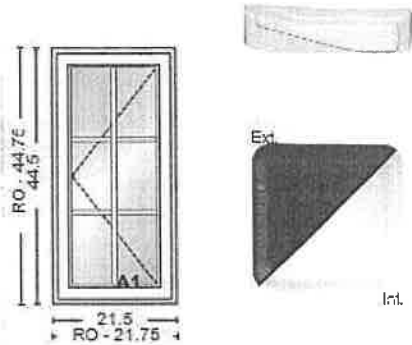


Initials: _____


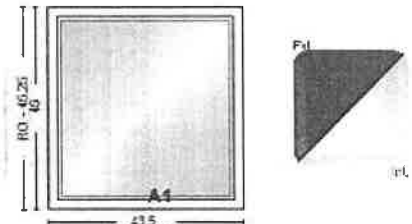
LineItem #	Qty.	Description	List Price	Unit Price	Ext. Price
1200-1	1	perfeXion Platinum Picture 43.5" X 45" Operation = Fixed, Frame = Replacement, Ext. Color = Chocolate (Painted), Int. Color = White, Glass Package = Standard Glass Options, Obscure, ProSolar Low E, Argon, Intercept, 7/8"IGU, Glass Thickness = 1/8 in - 1/8 out DS, Annealed, Sill Extender, Screen Coverage = None, U-Factor = 0.27, SHGC = 0.3, VT = 0.55, STC = 0, CPD Number = SBP-A-43-25153-00001, Meets Energy Star Zones = None, DP = 55, AAMA, TDI = WIN-1270, Florida Approval Code = 5177	\$1,261.73	\$455.24	\$455.24
RO:					
43.75 x 45.25					
Room ID:		Custom upstairs master			



Initials: _____

LineItem #	Qty.	Description	List Price	Unit Price	Ext. Price
1300-1	2	perfeXion Platinum Casement 21.5" X 44.5"	\$1,545.76	\$557.71	\$1,115.42
RO: Operation = Left, Frame = Replacement, Ext. Color = Chocolate (Painted), Int. Color = White, Glass Package = Standard Glass Options, Obscure, ProSolar Low E, Argon, Intercept, 7/8"IGU, Glass Thickness = 1/8 in - 1/8 out DS, Annealed, White, Flush Mount Crank, Coastal Hardware, Sill Extender, Screen Coverage = Full, Fiberglass, Extruded, Grille Pattern = Colonial, Grille App = 5/8" Flat, White, 2W3H, U-Factor = 0.27, SHGC = 0.22, VT = 0.4, STC = 28, CPD Number = SBP-A-61-23348-00002, Meets Energy Star Zones = South Central, Southern, DP = 55, AAMA, TDI = WIN-1309, Florida Approval Code = 107					
21.75 x 44.75 Room ID: Custom upstairs master					
					
					

Initials: _____

LineItem #	Qty.	Description	List Price	Unit Price	Ext. Price
1400-1	1	perfeXion Platinum Picture 43.5" X 45"	\$1,261.73	\$455.24	\$455.24
RO: Operation = Fixed, Frame = Replacement, Ext. Color = Chocolate (Painted), Int. Color = White, Glass Package = Standard Glass Options, Obscure, ProSolar Low E, Argon, Intercept, 7/8"IGU, Glass Thickness = 1/8 in - 1/8 out DS, Annealed, Sill Extender, Screen Coverage = None, U-Factor = 0.27, SHGC = 0.3, VT = 0.55, STC = 0, CPD Number = SBP-A-43-25153-00001, Meets Energy Star Zones = None, DP = 55, AAMA, TDI = WIN-1270, Florida Approval Code = 5177					
43.75 x 45.25 Room ID: Custom upstairs guest					
					
					

Initials: _____

LineItem #	Qty.	Description	List Price	Unit Price	Ext. Price
1500-1	2	perfeXion Platinum Casement 21.5" X 44.5"	\$1,545.76	\$557.71	\$1,115.42
<p>RO: Operation = Left, Frame = Replacement, Ext. Color = Chocolate (Painted), Int. Color = White, Glass Package = Standard Glass Options, Obscure, ProSolar Low E, Argon, Intercept, 7/8"IGU, Glass Thickness = 1/8 in - 1/8 out DS, Annealed, White, Flush Mount Crank, Coastal Hardware, Sill Extender, Screen Coverage = Full, Fiberglass, Extruded, Grille Pattern = Colonial, Grille App = 5/8" Flat, White, 2W3H, U-Factor = 0.27, SHGC = 0.22, VT = 0.4, STC = 28, CPD Number = SBP-A-61-23348-00002, Meets Energy Star Zones = South Central, Southern, DP = 55, AAMA, TDI = WIN-1309, Florida Approval Code = 107</p>					
<p>21.75 x 44.75</p> <p>Room ID: Custom upstairs guest</p>					



Initials: _____

LineItem #	Qty.	Description	List Price	Unit Price	Ext. Price
1600-1	1	perfeXion Platinum Double Casement 43.5" X 50.5"	\$3,381.49	\$1,220.04	\$1,220.04
<p>RO: Operation = Left / Right, Unit 1: Operation = Left, Unit 2: Operation = Right, Frame = Replacement, Ext. Color = Chocolate (Painted), Int. Color = White, Glass Package = Standard Glass Options, Obscure, ProSolar Low E, Argon, Intercept, 7/8"IGU, Glass Thickness = 1/8 in - 1/8 out DS, Annealed, White, Flush Mount Crank, Coastal Hardware, Sill Extender, Screen Coverage = Full, Fiberglass, Extruded, Grille Pattern = Colonial, Grille App = 5/8" Flat, White, 2W4H, U-Factor = 0.27, SHGC = 0.22, VT = 0.4, STC = 28, CPD Number = SBP-A-61-23348-00002, Meets Energy Star Zones = South Central, Southern, DP = 50, AAMA, TDI = WIN-1309, Florida Approval Code = 107, Common Frame, T-Mullion (Vertical)</p>					
<p>43.75 x 50.75</p> <p>Room ID: Custom upstairs guest</p>					

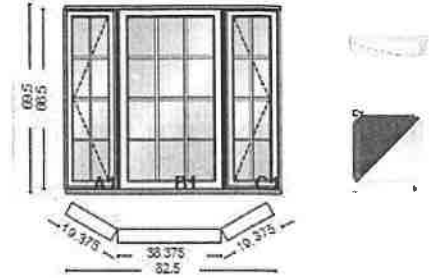


Initials: _____

LineItem #	Qty.	Description	List Price	Unit Price	Ext. Price
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1700-1	1	perfeXion Platinum Premium Casement Bay Window 82.5" X 69.5" 30 Deg, Wall Thickness = 4 9/16, Projection = 12.75, Operation = Left / Fixed / Right, Unit 1: Operation = Left, Unit 2: Operation = Fixed, Unit 3: Operation = Right, Frame = Replacement, Ext. Color = Chocolate (Painted), Int. Color = White, Glass Package = Standard Glass Options, Obscure, ProSolar Low E, Argon, Unit 1, 3: Intercept, Unit 2: Super Spacer, 7/8"IGU, Unit 1, 3: Glass Thickness = 1/8 in - 1/8 out DS, Unit 2: Glass Thickness = 3/16 in - 3/16 out 3S, Annealed, White, Flush Mount Crank, Coastal Hardware, Seatboard Finish = Oak, Insulated Seat, Windows Installed, Unit 1, 3: Screen Coverage = Full, Unit 2: Screen Coverage = None, Fiberglass, Extruded, Grille Pattern = Colonial, Grille App = 5/8" Flat, White, Unit 1 Glass, 3 Glass: 2W4H, Unit 2 Glass: 3W4H, Unit 1, 3: U-Factor = 0.27, Unit 2: U-Factor = 0.26, Unit 1, 3: SHGC = 0.22, Unit 2: SHGC = 0.26, Unit 1, 3: VT = 0.4, Unit 2: VT = 0.46, Unit 1, 3: STC = 28, Unit 2: STC = 0, Unit 1, 3: CPD Number = SBP-A-61-23348-00002, Unit 2: CPD Number = SBP-A-69-27081-00002, Unit 1, 3: Meets Energy Star Zones = South Central, Southern, Unit 2: Meets Energy Star Zones = None, Unit 1, 3: DP = 55, Unit 2: DP = 60, AAMA, Unit 1, 3: TDI = WIN-1309, Unit 2: TDI = WIN-2131, Unit 1, 3: Florida Approval Code = 107 Unit 2: Florida Approval Code = 5177 , Factory, 30 Deg Bay Mull	\$9,696.64	\$3,736.35	\$3,736.35
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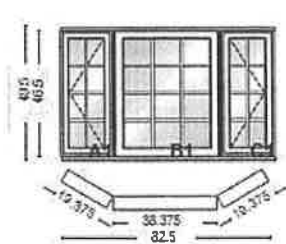
Room ID:
Custom
upstairs guest



Initials: _____

LineItem #	Qty.	Description	List Price	Unit Price	Ext. Price
1800-1	1	perfeXion Platinum Premium Casement Bay Window 82.5" X 49.5" 30 Deg, Wall Thickness = 4 9/16, Projection = 12.75, Operation = Left / Fixed / Right, Unit 1: Operation = Left, Unit 2: Operation = Fixed, Unit 3: Operation = Right, Frame = Replacement, Ext. Color = Chocolate (Painted), Int. Color = White, Glass Package = Standard Glass Options, Obscure, ProSolar Low E, Argon, Intercept, 7/8"IGU, Glass Thickness = 1/8 in - 1/8 out DS, Annealed, White, Flush Mount Crank, Coastal Hardware, Seatboard Finish = Oak, Insulated Seat, Windows Installed, Unit 1, 3: Screen Coverage = Full, Unit 2: Screen Coverage = None, Fiberglass, Extruded, Grille Pattern = Colonial, Grille App = 5/8" Flat, White, Unit 1 Glass, 3 Glass: 2W4H, Unit 2 Glass: 3W4H, U-Factor = 0.27, Unit 1, 3: SHGC = 0.22, Unit 2: SHGC = 0.26, Unit 1, 3: VT = 0.4, Unit 2: VT = 0.47, Unit 1, 3: STC = 28, Unit 2: STC = 0, Unit 1, 3: CPD Number = SBP-A-61-23348-00002, Unit 2: CPD Number = SBP-A-69-25369-00002, Unit 1, 3: Meets Energy Star Zones = South Central, Southern, Unit 2: Meets Energy Star Zones = None, Unit 1, 3: DP = 55, Unit 2: DP = 60, AAMA, Unit 1, 3: TDI = WIN-1309, Unit 2: TDI = WIN-2131, Unit 1, 3: Florida Approval Code = 107 Unit 2: Florida Approval Code = 5177 , Factory, 30 Deg Bay Mull	\$8,274.04	\$3,199.26	\$3,199.26

Room ID:
Custom
upstairs guest



Initials: _____

32 Total Qty Units	SUB-TOTAL:	\$30,264.84
Comment: <div style="border: 1px solid black; height: 100px; width: 100%;"></div>	TOTAL TAX:	\$0.00
	TOTAL LABOR:	\$0.00
	TOTAL:	\$30,264.84
	DEPOSIT PAID:	(\$0.00)
	AMOUNT DUE:	\$30264.84

Submitted by: _____ Accepted by: _____ Date _____


AFFIDAVIT OF DAVID VICH

STATE OF MISSOURI)
) ss.
COUNTY OF GREENE)

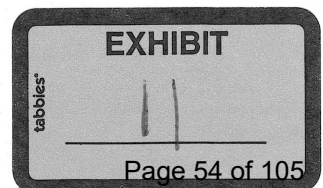
I, David Vich, being duly sworn upon my oath, do hereby certify as follows:

1. My name is David Vich.
2. I am over the age of eighteen (18) years old.
3. I am a vinyl siding installer.
4. I have worked in this field for 25 years.
5. I had the opportunity to install siding on the house located at 1336 E. Walnut, Springfield, Missouri, owned by Lucas and Jennifer Edwards.
6. In the process of installing the vinyl siding, I had to remove pre-existing vinyl siding.
7. In removing the existing vinyl siding, I had occasion to inspect the condition of the underlying exterior of the house.
8. The condition of the underlying exterior of the house varied greatly, whereby some portions of the house still contained wood siding that was in relatively good condition.
9. Other portions of the underlying exterior of the house contained wood siding that had been completely removed.
10. Other portions of the underlying exterior of the house contained wood siding that was of a different size than other wood siding on the house.
11. Other portions of the underlying exterior of the house contained wood siding that had rotted and deteriorated.
12. I also viewed portions of the wood siding that had been damaged due to the installation of the original vinyl siding.

FURTHER AFFIANT SAYETH NOT.



Subscribed and sworn to before me this 13 day of Nov, 2009.



Marla B. Cobb

Marla B. Cobb, Notary Public

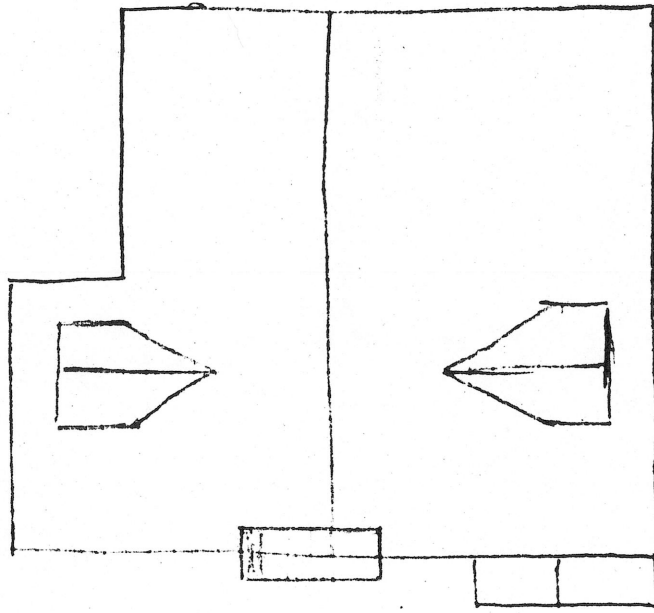
My Commission Expires: Nov. 18, 2009

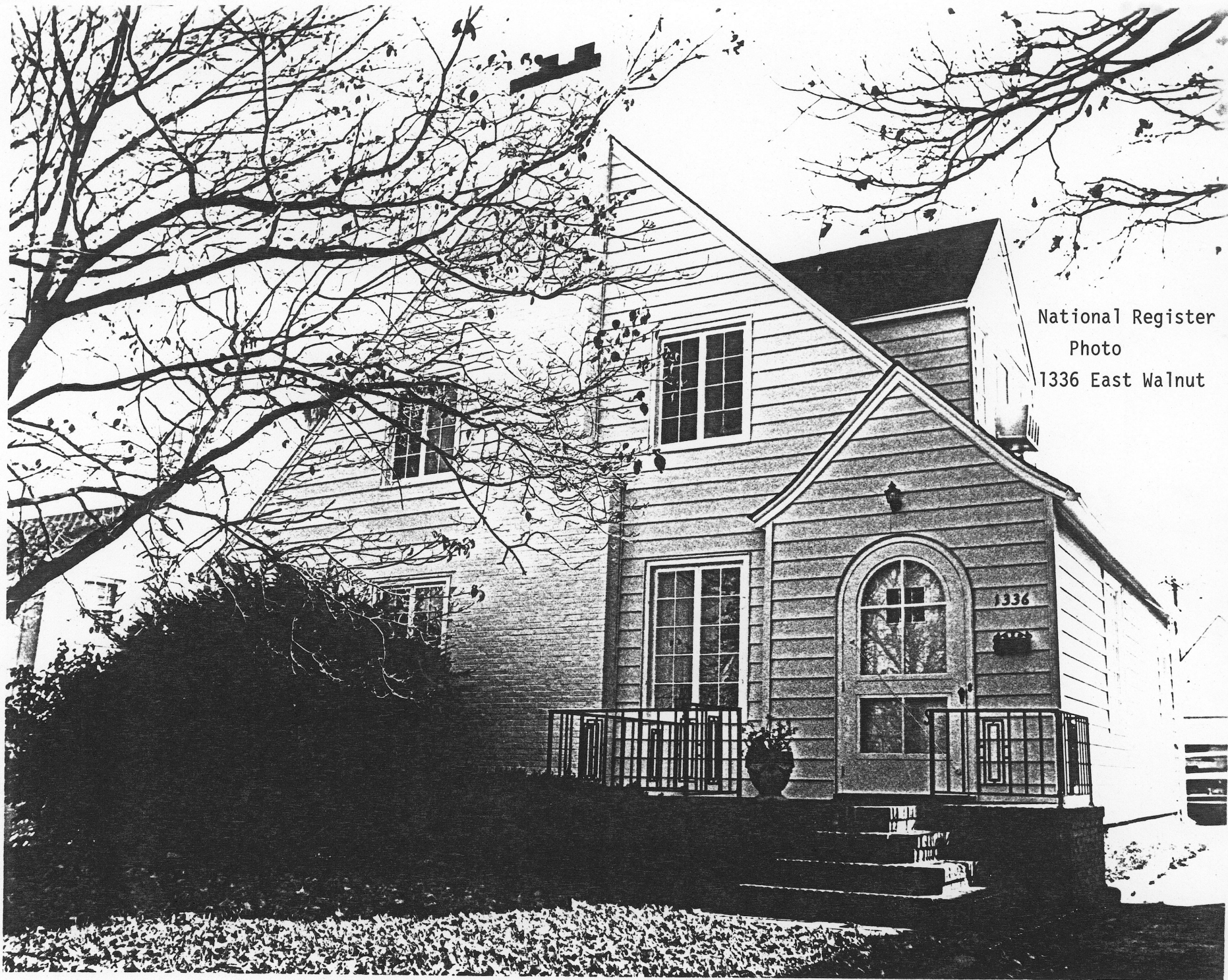
MARLA B. COBB
Notary Public - Notary Seal
STATE OF MISSOURI
Greene County - Comm.#05400482
My Commission Expires Nov. 18, 2009

**Missouri Historic Architectural Inventory for
Division of Parks and Historic Preservation Department of Natural Resources**

<p>38) Ownership — private <input checked="" type="checkbox"/> * — public</p> <p>39) Owners — name Jacqueline Harmon — address 1336 E. Walnut</p> <p><input type="checkbox"/> 40) Local contact <input type="checkbox"/> 41) Coordinates (UTM)</p> <p>42) Quad</p>	<p>1) inventory number 2) name (cont) 3) name - historical 4) street address 5) town or vicinity 6) legal description 7) county</p>	<p>74</p> <p>1336 E. Walnut Springfield Chamberlain's Add. Lot Greene L</p>
<p>43) Other survey</p>	<p>8) category (site, structure, building, object)</p>	<p>Building</p>
<p>44) History</p> <p align="center">Build 1926-1927 by Charles C. Skeels.</p>	<p>9) significance 10) date 11) style 12) architect 13) builder 14) original use 15) present use</p>	<p>Contributing 1926-1927 Cottage Revival</p> <p>Residence Residence</p>
<p>45) Additional description</p> <p>In the center of the front facade is a red brick chimney engaged to the wall which rises to the peak of the roof. The entire facade is the gable of the wide sweeping roof line. The eaves are flush in the gable. The window openings have casement sash with multipanes at both stories. The entrance is to the right on the racade with a separate narrow gabled entry wing of only three feet or so depth. There is an arched opening for the doors in the entry. There are gabled dormers on either of the east-west roof faces with tripled window openings. There is a one-story sun parlor on the east elevation with a continuous roof line. There are large window areas with casement windows with multi-paned sash. On the facade is an exterior entrance with arched opening and doubled doors with multi-paned lights.</p>	<p>16) number of stories 17) plan shape 18) basement 19) foundation 20) wall construction 21) roof type - material 22) contact print</p>	<p>1-1/2 Square Full Concrete Frame High gable asphalt shingle</p> <p>35mm</p>
<p>46) Description of environment/outbuildings</p>	<p>23) site plan</p>	
<p>47) Information sources</p> <p align="center">City Directory 1919-1933</p>	<p>24) changes - additions/alterations/moved 25) condition 26) visible from road? 27) distance/frontage 28) accessible?</p>	<p>None visible Good - - -</p>
<p>48) Location of negatives Roll 547-9 #17-18</p> <p>49) Prepared by DDD</p> <p>50) Organization Missouri Heritage Trust</p> <p><i>If additional space is needed, attached separate sheets.</i></p> <p><input type="checkbox"/></p>	<p>29) preservation underway? 30) endangered? 31) on National Register? 32) part of established historical district 33) name of historical district 34) is site eligible? 35) district potential? 36) date 37) revision</p>	<p>No No No No - Yes Yes Jan. 27, 1984</p>

S ↑





National Register
Photo
1336 East Walnut



LANDMARKS BOARD STAFF REPORT

LANDMARKS BOARD PUBLIC HEARING:



MAY 6, 2026

CASE: Certificate of Appropriateness

DESIGNATION: Commercial Street Historic District

LOCATION: 404 West Commercial Street

APPLICANT: BadFish, LLC

STAFF: Andrew Menke, 417-864-1613

SUMMARY OF PROPOSAL:

North Façade (Commercial Street)

1. Replace storefront with new system, layout, and doors.
2. Remove exterior, corrugated metal panels and replace with Cellular PVC Trim.
3. Install metal awning over building entrance.
4. Remove paint from existing brick.
5. Remove non-original windows and replace with plain tempered glass.

South Façade (Blaine Lane)

1. Replace deck and staircase.
2. Install plain tempered glass into original window openings that are currently blocked in.

STAFF RECOMMENDATION:

Staff recommends approval on all alterations, except for the following.

Staff recommends denial:

North Façade (Commercial Street)

1. Replace storefront with new system, layout, and doors.
2. Remove exterior, corrugated metal panels and replace with Cellular PVC Trim.
3. Remove non-original windows and replace with plain tempered glass.



LANDMARKS BOARD STAFF REPORT

Staff has no recommendation:

North Façade (Commercial Street)

1. Install metal awning over building entrance.
2. Remove paint from existing brick

South Façade (Blaine Lane)

1. Install plain tempered glass into original window openings that are currently blocked in.

The Landmarks Board must determine whether the request, if granted, will have a detrimental effect upon the Historic Landmarks or Historic District or any adverse effect on an historical or architectural resource.

FINDINGS FOR STAFF RECOMMENDATION:

1. The property is located within the Local Commercial Street Historic District and within the National District.
2. The *Secretary of the Interior's Standards* states that "changes to a property that have acquired historic significance in their own right will be retained and preserved."
3. The proposal includes replacing the existing, non-original metal storefront with a new system. Though the installation date of the current storefront is unknown, it is believed to have reached an age of significance.
4. Proposed modifications to the storefront are inconsistent with the recommendation of Guideline 4.14.2 of the Commercial Street Design Guidelines, which states, "Contributing modifications to buildings that are of a different Primary Period of Historic Significance than the underlying building should be treated as part of the building's historic condition and preserved in situ."
5. Original windows on the front and rear façade are no longer in place. The front elevation currently has non-original windows and the window openings facing the rear are blocked in. The applicant is requesting to install plain tempered glass as a replacement for the windows along Commercial Street as well as in some of the original window openings facing Blaine Lane.
6. The Commercial Street Design Guidelines recommend that if non-original windows are being replaced and there is no photographic evidence of the historic appearance, that "wood replacement windows matching the profiles, dimensions, muntin configuration, and sash heights of other District building(s) of comparable age, size, and scale shall be used." (Guideline 4.3.2.2) The current proposed window is not consistent with this guideline.
7. Guidelines 4.3.2 and 4.8.2. of the Design Guidelines indicate that there is more leniency for window design when not on the front facade and emphasize the importance of improving appearances on rear facades. Therefore, less scrutiny is required in the consideration of the window installations adjacent to Blaine Lane.
8. While evidence has not been provided that an awning previously existed on the site, the Commercial Street Design Guidelines do not discourage the introduction of a canopy to a building if it is compatible.
9. The applicant is seeking to remove paint from currently painted brick. Caution should be observed as the "removal of finishes applied long ago may have severe detrimental effects on the remaining life of facade materials" according to the Guideline 4.1.3 of the Commercial Street Design Guidelines. The *Secretary of the*



LANDMARKS BOARD STAFF REPORT

Interior's Standards states, "Treatments that cause damage to historic materials will not be used." This guidance does not prohibit the removal of paint from painted surfaces, but provides warning on potential damage that can be done if approached incorrectly.

10. Structural integrity issues on the east side of the first floor of the rear façade require modification to this part of the building. When a proposed design has been finalized, City staff will review and determine the appropriate procedure. The changes shown in this report for this portion of the rear elevation are not part of this application.
11. The Commercial Street Design Guidelines are supportive of the construction of a new deck and exterior staircase along the rear façade of a building. The new construction should be "unobtrusive and generally not-visible from the primary façade." (Guideline 5.12.1)

APPLICANT'S DESCRIPTION OF PROPOSAL:

See applicant's attachments for proposal.

STAFF COMMENTS:

1. The *Secretary of the Interior's Standards* states that "changes to a property that have acquired historic significance in their own right will be retained and preserved." The Commercial Street Guidelines recognize that "some storefronts were significantly-altered early in their existence, resulting in a mix of historic styles on the same building that—as a whole—are contributing. An example would be a Victorian building (1880 – 1910) that was altered in the 1930s with a pigmented structural glass (i.e. Vitrolite) ground-floor cladding and metal storefront system. In these cases, the later modifications should be preserved and modifications to the storefront should conform to the 1930s alterations." The proposal includes replacing the existing, non-original metal storefront with a new system. Though the installation date of the current storefront is unknown, it is believed to have reached an age of significance. The earliest photo the City has on file of the structure is from 1979, which shows the current storefront. The new storefront introduces new door locations and framing materials.
2. Guideline 4.14.2 of the Commercial Street Design Guidelines states, "Contributing modifications to buildings that are of a different Primary Period of Historic Significance than the underlying building should be treated as part of the building's historic condition and preserved in situ." The Guidelines subsequently relay that "should the building owner wish to remove a later contributing modification, the owner must demonstrate that restoration of the building to an earlier condition will improve the building's overall character and quality. Furthermore, the owner must provide documentation of historical evidence of the original condition of the building". No photos have been provided that depict the appearance of the front façade prior to the current storefront.
3. When non-contributing windows have since replaced original windows, the Commercial Street Design Guidelines recommend that they "match...the original windows, providing that photographic evidence of the building's historic condition may be found." It clarifies that if photographic evidence of the historic appearance cannot be found, that "wood replacement windows matching the profiles, dimensions, muntin configuration, and sash heights of other District building(s) of comparable age, size, and scale shall be used." Because photo documentation has not been seen for this property, the Guidelines support the use of wood windows, rather than plain tempered glass inserts.
4. According to Guideline 4.3.2, "Traditionally in restoration work, solid wood replacement windows are the only replacement windows permitted on the front- and/or street-facing façade(s) (the primary facades) of the building." Guideline 4.8.2 recommends, "Clean[ing] up rear facades, adding display windows and treating any new entrances with a level of importance appropriate to its new function." Higher scrutiny is placed on the type of



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windows adjacent to Commercial Street, as opposed to elsewhere on the building. Additionally, emphasis is placed on the importance of improving the appearance on rear facades, such as adding windows. Along Blaine Lane, the applicant is requesting to install plain tempered glass into window openings that are currently blocked in. Placing windows in these openings will not create a false sense of history as *The Secretary of the Interior's Standards* advise against. The Board should consider whether this style of window will be appropriate for this side of the building.

5. While evidence has not been provided that an awning previously existed on the site, the Commercial Street Design Guidelines do not discourage the introduction of a canopy to a building if it is compatible. Guideline 4.9.3 warns against allowing canopies “to dominate against the façade.” It also suggests “keeping[ing] awnings in proportion to neighboring structures and awnings.”
6. The applicant is seeking to remove paint from currently painted brick. Caution should be observed as the “removal of finishes applied long ago may have severe detrimental effects on the remaining life of facade materials” according to the Commercial Street Design Guidelines. Guideline 4.1.4 also suggests, “usually, let painted masonry stay painted and do not paint unpainted masonry.” Chemical or physical treatments, if appropriate, will be undertaken using the gentlest means possible. *The Secretary of the Interior's Standards* states, “Treatments that cause damage to historic materials will not be used.” These recommendations and standards do not prohibit the removal of paint from painted surfaces, but provide warning on potential damage that can be done if approached incorrectly.
7. The Commercial Street Design Guidelines are supportive of the construction of a new deck and exterior staircase along the rear façade of a building. The new construction should be “unobtrusive and generally not-visible from the primary façade.”
8. Structural integrity issues on the east side of the first floor of the rear façade require modification to this part of the building. When a proposed design has been finalized, City staff will review and determine the appropriate procedure. The changes shown in this report for this portion of the rear elevation are not part of this application.
9. All proposed work is required to receive a building permit to be issued by Building Development Services. All other requirements of the COM-1 District, Zoning Ordinance and Building Code shall apply.

DESIGN GUIDELINES AND STANDARDS

COMMERCIAL STREET DESIGN GUIDELINES:

4.1. Rehabilitations

Rehabilitation and renovation work sometimes leave elements of the original façade out of the finished building. In order to preserve the fidelity of the original building and maintain the historic character of the District, it is important that a holistic plan for rehabilitation be established at the outset of the project. This includes understanding the building's period of significance; performing historical and forensic investigation; and using construction techniques that are appropriate to historic materials and techniques.

4.1.1. GUIDELINE:

Incorporate elements of the original façade into the rehabilitation scheme and do not remove historic elements of the façade. Ensure that rehabilitation work:

- i. Does not obscure the original façade or portions thereof with new materials;
- ii. Does not obscure original materials;
- iii. Does not obscure façade details with signs, paint, cladding, or other elements;
- iv. Does not alter the shape of original openings; and
- v. Repairs and/or replaces original building elements with faithful recreations.



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4.1.2. GUIDELINE:

Respect the original character and period of the façade; do not try to make the building look historic with non-original features because this creates a false sense of history. When restoration is called for, follow applicable standards and treatments.

4.1.3. GUIDELINE:

Preserve the original finish of masonry facades; by covering original finishes, the overall value of the building's nature is denied. However, caution is urged because removal of finishes applied long ago may have severe detrimental effects on the remaining life of facade materials.

4.1.4. GUIDELINE:

When cleaning masonry, use only approved methods as outlined in the National Parks Service Preservation Brief #1: Assessing, Cleaning, and Water Repellant Treatments for Historic Masonry Buildings. Never sandblast or surface-grind masonry, because it removes the protective outer face of the brick; usually, let painted masonry stay painted and do not paint unpainted masonry.

Refer to Section 1.9. for a reference to Preservation Brief #1: Assessing, Cleaning, and Water Repellant Treatments for Historic Masonry Buildings.

4.1.5. GUIDELINE:

When repointing historic brickwork, use only Type K mortar or hydrated lime-sand mortar to match the physical qualities of historic mortar. When repointing historic brickwork, it is important that the mortar is softer than the surrounding brick; if not, expansion and contraction of the brick and mortar will cause chipping, cracking, and spalling of the brick. Historic brick is softer than modern brick, and most grades of Portland cement mortars are too hard for historic brickwork.

Refer to Section 1.9. for a reference to Preservation Brief #2, Repointing Mortar Joints in Historic Buildings.

4.2. Additions (Not Part of the Primary Façade)

Additions to historic buildings should conform to the pattern, alignment, size, and shape of the existing building. It is feasible that new treatments can substantially add to the function or attraction of the building by respecting earlier treatments, tones, and massing of elements.

4.2.1. GUIDELINE:

Additions that respect existing scale, massing, and arrangements of elements are encouraged.

4.2.2. GUIDELINE:

Materials used in addition should be similar to those used in the original building.

4.3. Windows

By their arrangement, repetition, alignment, size, and shape, building fenestration binds together the individual facades into a coherent image. Most original windows in the District that have not been previously restored are in a state of serious deterioration. While most windows have been un-boarded, several vacant buildings with boarded windows remain. Significant visual improvement can be made to the District if windows are un-boarded, repaired, and maintained.

4.3.1. Repair and Restoration of Existing Windows

Whenever possible, existing historic windows (windows that are original to the building; of the same period of significance as the building; or are otherwise contributing to the building) should be repaired and restored. Owners who wish to replace historic windows should provide photographic documentation illustrating why repair and restoration is not feasible. Replacement windows that do not respect the basic nature of predecessor window units call attention to their differences and diminish the feeling of authenticity and charm of the block facade.



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4.3.1.1. GUIDELINE:

Where feasible, repair existing window components, including sashes; sash components (muntins, lift rails, meeting rails, stiles, etc.); sills; frames; and brick moulds. Paint and caulk to a state of renewal and proper operation.

4.3.1.2. GUIDELINE:

If either 1) repair of window sashes is not feasible or 2) there is a need for additional insulation performance, window sashes should be replaced and existing frames, sills, and brick mould should be reused. Replacement sashes should match the dimensions, profiles, and muntin configurations of existing sashes.

4.3.1.3. GUIDELINE:

If double-pane insulated glass is to be used, it should be installed such that the exterior muntin depth dimension is preserved. Replacement sashes should utilize true divided light construction with functional muntins, not exterior and interior decorative grilles.

4.3.1.4. GUIDELINE:

Window exteriors should be painted with opaque, pigment-based coatings rated for exterior application. Refer to Section 1.9. for a reference to Preservation Brief #9, The Repair of Historic Wood Windows.

4.3.2. Wood Replacement Windows

Traditionally in restoration work, solid wood replacement windows are the only replacement windows permitted on the front- and/or street-facing façade(s) (the primary facades) of the building. If repair and restoration is not feasible, wood replacement windows are the preferred alternative.

4.3.2.1. GUIDELINE:

Where repair is not feasible, replace existing windows with new wood windows that match the existing profiles, dimensions, muntin configuration, and sash heights. Install windows with brick mould that matches the original brick mould. Furthermore:

- i. If the existing window is comprised of two separate windows side-by-side in one opening, separated by a vertical mullion, replacement windows must have the same configuration and dimensions.
- ii. If the existing window has an arched-head upper sash in an arched opening, replacement windows must have the same configuration.
- iii. If the existing window has a square-head upper sash in an arched opening with a filler panel, replacements windows must have the same configuration.

4.3.2.2. GUIDELINE:

If the building's original windows were replaced with non-contributing replacement windows in the past, replace existing windows with new wood windows that match the profiles, dimensions, muntin configuration, and sash heights of the original windows, providing that photographic evidence of the building's historic condition may be found.

If photographic evidence of the building's historic condition is not available, wood replacement windows matching the profiles, dimensions, muntin configuration, and sash heights of other District building(s) of comparable age, size, and scale shall be used.

4.3.2.3. GUIDELINE:

Window exteriors should be painted with opaque, pigment-based coatings rated for exterior application.

4.3.3. Wood Replacement Windows with Non-Wood Exterior Cladding

It is increasingly common for window manufacturers to offer wood replacement windows with non-wood exterior cladding. Typically executed extruded aluminum, this exterior cladding provides a weatherproof surface that is an alternative to wood. Aluminum-clad windows are available with factory-applied color finishes that do not require painting.



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4.3.3.1. GUIDELINE:

Wood replacement windows with aluminum exterior cladding are permitted on all building façades, per the same conditions described above in the guidelines for Wood Replacement Windows. Wood replacement windows with other non-wood exterior cladding may be used in the future if it is SHPO practice to approve said windows. (Note: Wood replacement windows with non-wood exterior cladding may be prohibited by either SHPO or the NPS on either state or Federal Historic Preservation Tax Credit projects. Inclusion in these guidelines does not impact the approval jurisdiction of either SHPO or NPS.)

4.3.4. Metal Replacement Windows

4.3.4.1. GUIDELINE:

Metal windows may be used only as a replacement for historically-significant existing metal windows (i.e. metal factory windows or metal frame window systems on Mid-Century Modern buildings). When specified, match existing profiles, mullion dimensions, sash heights; specify anodized or baked-on finish to match the appearance and character of the existing windows.

4.4. Storefronts

The storefront, the assembly of doors, windows, and materials of both the ground and upper floors tends to provide the District's most prominent opportunity to develop visual and historic consistency. Ground floors have absorbed most of the radical transformations away from original character. Proposed design changes to the storefronts, especially the first floors, should evolve out of careful examination of the elements of the building, and research into the original treatment of its exterior. The storefront should not dominate the facade but respect it. Many of the buildings have been photographed, and if not, buildings of similar period and character can provide a model. Consult the Landmarks Board for guidance, and refer to Section 1.9. for a reference to Preservation Brief #11, Rehabilitating Historic Storefronts.

4.4.1. GUIDELINE:

Storefront configuration and construction should match the original; if wood, storefronts shall be reconstructed in wood; if metal, in metal. Storefronts using a historically-correct hybrid system (i.e. wood bulkhead and transom windows with metal display window framing) should match the existing system.

- i) Some storefronts were significantly-altered early in their existence, resulting in a mix of historic styles on the same building that—as a whole—are contributing. An example would be a Victorian building (1880 – 1910) that was altered in the 1930s with a pigmented structural glass (i.e. Vitrolite) ground-floor cladding and metal storefront system. In these cases, the later modifications should be preserved and modifications to the storefront should conform to the 1930s alterations.
- ii) Some storefronts were significantly altered more recently, resulting in a mix of historic and non-historic styles on the same buildings that—as a whole—are NOT contributing. An example would be a Victorian building that was altered in the 1980s by having the storefront infilled with brick and two small windows. In these cases, the non-contributing modifications should be removed and the storefront should be restored to the building's primary period of historic significance.

4.4.2. GUIDELINE:

Maintain the storefront within its original opening.

4.4.3. GUIDELINE:

Maintain the traditional recessed entry. This keeps the display windows close to the pedestrian, and it draws attention in an inviting way to the entrance itself.

4.4.4. GUIDELINE:

Maintain the traditional degree of glass in the storefront. Reducing the need for artificial light, the open feeling created by the glass wall sells the products displayed within. This arrangement encourages face-to-face contact and reinforces the "small town" atmosphere of the commercial district.

Storefront displays primarily relied on their simplicity and lack of clutter to attract the pedestrian's eye to the goods



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offered. With the increase in auto bound passersby, a shift occurred to attracting attention by loud colors, signage, and mixture of materials. The proliferation and competition of these images diminishes the original character of the storefronts.

4.4.5. GUIDELINE:

Minimize the amount of and type of decoration on the facade. Let the building lines, storefront windows displays, and merchandise speak for themselves.

4.6. Primary Doors

4.6.1. GUIDELINE:

The front door should be compatible with the storefront.

4.6.2. GUIDELINE:

A traditional wood door with a glass panel will reinforce original character. If the door must be metal and glass, call for a dark anodized finish rather than standard mill finish. Avoid over-decorating the door, and void fake historic doors.

4.6.3. GUIDELINE:

Consider use of decorations on the door to enhance the sense of its special character. Consider doorknobs, kick plates, painted signs as design elements.

4.7. Secondary Doors

Additional front doors and rear doors are generally modest in design, placing greater visual emphasis thereby on the main entry.

4.7.1. GUIDELINE:

Seek to use visually understated doors, fitted to the lines and massing of the facade. Lack of adornment is to be encouraged.

4.8. Building Rears

Parking supply is principally at the rear of the Commercial Street buildings. For many of the buildings along the south side of the Commercial Street, rear entrances afford a large number of patrons fairly good access from their automobiles.

4.8.1. GUIDELINE:

Whenever practical, create rear entrances to ground and upper floors.

4.8.2. GUIDELINE:

Clean up rear facades, adding display windows and treating any new entrances with a level of importance appropriate to its new function. (Protective devices, such as grills, may be appropriate.)

4.8.3. GUIDELINE:

When creating or upgrading a rear entrance, do not allow the rear entrance to visually exceed the front in importance or emphasis.

4.8.4. GUIDELINE:

Use window panels in doors; small signs at door; open back window for display; add awnings; or combine all elements.

4.8.5. GUIDELINE:

Rear entrances should respect neighboring buildings; coordinate door location, size, entryway layout, treatments, and colors with adjacent neighbors.



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4.8.6. GUIDELINE:

Accommodate service access at rear and coordinate with neighbors. Test before implementing.

4.8.7. GUIDELINE:

Install debris enclosures to screen dumpsters and garbage cans. Colors of enclosures should be muted and blend with surroundings. The District should consider adopting a uniform treatment for screening trash, condensers, etc. Such a detail will provide another means for unifying the District visually.

4.9. Awnings and Marquees

Awnings are a traditional element of commercial structures from the late-1880s through the 1920s. Operable or fixed, they add color and shape to the facade, while providing pedestrians and buildings weather protection.

4.9.1. GUIDELINE:

Where marquees are existing, or where historical documentation indicates that a marquee was historically present, consider adding or replacing marquees. A marquee corridor shall be respected for private and public overhangs, defined as:

- i. 10' above sidewalk to 14' above sidewalk.
- ii. 7' projection perpendicular to the building, not to exceed 2' inside the curb line

Attempt to coordinate new overhangs with existing overhang heights whenever possible

4.9.2. GUIDELINE:

If new and old materials must be brought together, try to link them.

4.9.3. GUIDELINE:

Do not allow awnings and marquees to dominate the facade. Keep awnings in proportion to neighboring structures and awnings.

4.9.4. GUIDELINE

Awnings' material should be durable, but metal awnings may not be acceptable because their character is not sympathetic to historic materials, colors.

4.9.5. GUIDELINE:

Awning patterns (or lack of) should be selected after study of the facade. Patterns should not be so busy as to distract from the appearance of the total façade composition.

4.9.6. GUIDELINE

Keep awning lettering simple and aimed at identification.

4.12. Building Materials

Original use of late 1880s' materials was aimed at achieving durability and simplicity. The attention of passersby was to be drawn to the entry door and window displays – not the materials themselves.

4.12.1. GUIDELINE:

In addition or renovations, select materials which are compatible with existing.

Example: If old brick is painted, then paint new brick. If wood of a given dimension is used, match this if visually exposed.

4.12.2. GUIDELINE:

If new and old materials must be brought together, try to link them.

4.12.3. GUIDELINE:

Where linking is not feasible, achieve a controlled appearance at junction of materials.



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4.12.4. GUIDELINE

Chain-link fences on primary façades of open lots are not permitted.

4.14. Periods of Significance

Understanding the period(s) of historic significance during which a building was built and/or modified is critical to the

renovation of buildings within the District. While it is best to try and locate historic photographs of a building to understand its original features and design, or identify forensic evidence on the building itself, such evidence does not always exist. In the absence of historic photographs and forensic evidence, precedents from the period of historic significance must serve as the guidelines by which renovation decisions are made.

4.14.1. GUIDELINE:

Rehabilitations and renovations must remain faithful to the materials, methods, and details of the building's Period of Historic Significance.

4.14.2. GUIDELINE

Contributing modifications to buildings that are of a different Primary Period of Historic Significance than the underlying building should be treated as part of the building's historic condition and preserved in situ.

4.14.3. GUIDELINE

Should the building owner wish to remove a later contributing modification, the owner must demonstrate that restoration of the building to an earlier condition will improve the building's overall character and quality. Furthermore, the owner must provide documentation of historical evidence of the original condition of the building.

4.14.4. GUIDELINE

Owners of buildings with non-contributing modifications and features undertaking a significant renovation are required to remediate these non-contributing modifications—with the exception of building additions—and restore the building to a condition of historic significance.

4.14.5. GUIDELINE

Owners of buildings with non-contributing modifications and features undertaking a minor renovation are encouraged to remediate these non-contributing modifications and restore the building to a condition of historic significance.

4.14.6. GUIDELINE

Do not remove later contributing additions, features, or modifications to create a "false sense of history".

4.14.7. GUIDELINE

Do not add historically-styled elements to a building that are not supported by historic documentation or forensic evidence to create a false sense of history.

5.12. Decks and Exterior Staircases

Decks and exterior staircases are generally not used on Commercial Street's historic buildings and are not appropriate additions on the primary façades. When used, decks and exterior staircases provide upper-floor access and exterior space on the rear façades of buildings. As such, a deck or exterior staircase may be acceptable if placed at the rear or side of a building.

5.12.1. GUIDELINE:

Locate decks and exterior staircases on the rear façade of building, or within the rear one-third (1/3) of a non-primary side façade. Decks and exterior staircases should be unobtrusive and generally not-visible from the primary façade.

5.12.2. GUIDELINE:

Do not allow decks and exterior staircases to dominate the facade. Keep decks and exterior staircases simple in



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design and in proportion to the building and neighboring decks and staircases.

5.12.3. GUIDELINE:

Decks may be constructed of a wood superstructure with wood decking and railings, or of structural metal with wood decking and metal railings. Decks should be of simple and functional form and design appropriate to the building to which they are attached.

5.12.4. GUIDELINE:

Wood elements should be stained with an opaque stain or painted to blend with the colors of the building.

5.12.5. GUIDELINE:

Metal elements should be painted in dark neutral colors to blend with the colors of the building.

SECRETARY OF THE INTERIOR'S STANDARDS FOR REHABILITATION:

The following standards would apply to this proposed alteration:

1. A property will be used as it was historically or be given a new use that requires minimal change to its distinctive materials, features, spaces, and spatial relationships.
2. The historic character of a property will be retained and preserved. The removal of distinctive materials or alteration of features, spaces and spatial relationships that characterize a property will be avoided.
3. Each property will be recognized as a physical record of its time, place and use. Changes that create a false sense of historical development, such as adding conjectural features or elements from other historic properties, will not be undertaken.
4. Changes to a property that have acquired historic significance in their own right will be retained and preserved.
5. Distinctive materials, features, finishes and construction techniques or examples of craftsmanship that characterize a property will be preserved.
6. Deteriorated historic features will be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature will match the old in design, color, texture and, where possible, materials.
7. Chemical or physical treatments, if appropriate, will be undertaken using the gentlest means possible. Treatments that cause damage to historic materials will not be used.
8. Archeological resources will be protected and preserved in place. If such resources must be disturbed, mitigation measures will be undertaken.
9. New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work will be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.
10. New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

[**PRESERVATION BRIEF #11, REHABILITATING HISTORIC STOREFRONTS**](#) (see link for complete article)



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ZONING ORDINANCE:

Section 36-2.01.H of the *Springfield Land Development Code* states:

“...A review body may take any action on the application consistent with notice given or criteria in these regulations, or recommend such action when the review body is a recommending body, including the following:

1. Approve the application.
2. Approve the application with conditions or modifications that make it more consistent with the standards and review criteria. Any modification to plans prepared by a licensed professional shall require review and consent by the licensed professional.
3. Deny the application, with specific reasons for the denial.
4. Continue the application to allow further analysis. The continuation period shall not be more than 60 days from the initial meeting without the consent of the applicant.”

In addition, Section 36-2.11.D.4 of the *Springfield Land Development Code* states:

“...The Landmarks Board shall review and take action according to 36-2.01.H. If the Landmarks Board denies the application, specific reasons shall be indicated in writing to the applicant with suggestions for appropriate changes.”

ARCHITECTURAL SIGNIFICANCE OF PROPERTY:

The Commercial Street Historical Site District Architectural Survey that was prepared for this building stated the following:

“The construction is similar to other structures of this time period.”



Application for Certificate of Appropriateness

ELECTRONIC SUBMITTAL INSTRUCTIONS

PLEASE FOLLOW STEPS 1 & 2 BEFORE SUBMITTING THIS APPLICATION

1. Pre-apply and, if needed, pay your processing fees online at this [LINK](#)
2. Wait for a "pre-screen complete" e-mail from the City of Springfield with instructions for e-plans review process.
3. Complete this application and upload a digital (pdf) copy through e-plans.

Office Use Only	
Date Filed:	
Received By:	
Review:	
<input type="checkbox"/>	Administrative
<input type="checkbox"/>	Landmarks Board

The applicant seeks to show the following:

1. That the proposed work will be done in conformance with the Secretary of Interior Standards for Rehabilitation.
2. That the proposed work will be done in conformance with any applicable design guidelines or standards that the Landmarks Board has established and adopted. (Commercial Street and Walnut Street Districts and Mid-Town Neighborhood historic sites only)
3. That the proposed work will be done in conformance with all other relevant requirements of the Springfield Zoning Ordinance.

THEREFORE, applicant requests that the Certificate of Appropriateness be approved for the property as proposed in this submittal.

We, the signers of this application, do attest to the truth and correctness of all facts and information presented with this application and understand that, if approved, all work must be done under a building permit issued by the Department of Building Development Services. Approval of this application does not constitute approval of a building permit, nor does it certify that the zoning is appropriate for the proposed uses. These are separate processes that must be initiated by the applicants. We further understand that approval of this application does not constitute approval for tax certification under the Tax Reform Act of 1986 or amendments thereto.

Signature(s):

Date:



07-21-26
4-21-26

Please type or print name(s) clearly:

Benjamin A. Stringer

Exhibit A: REQUEST FOR CERTIFICATE OF APPROPRIATENESS

Please use this form only. Form may be photocopied. Please type or print.

For instructions, see pages 5-8

1. Property address: 404 W COMMERCIAL STREET

APPLICANT INFORMATION:

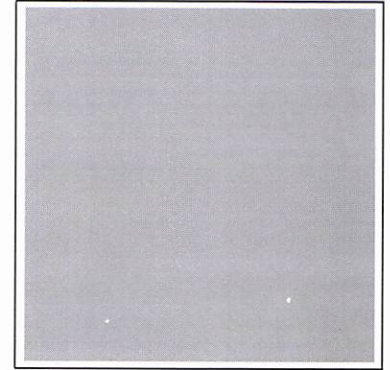
2. Name of current property owner: BADFISH LLC

If corporation: Corporate Official: _____

Mailing Address: _____

Zip Code: _____ Telephone: _____ Fax: _____

E-mail: _____



(Corporate Seal)

3. AUTHORIZED REPRESENTATIVE:

(The representative should have the authority to commit the applicant to changes that may be suggested by the Board):

Name: BEN STRINGER

Signature:

Mailing Address: 3806 E CYPRESS POINT ST Zip Code: 65809 Fax: _____

Telephone: (417) 773-3964 E-mail: ben@stringerlaw.net

4. BUILDING DEVELOPMENT SERVICES DISCUSSION: *(Before submitting this application, the applicant should discuss the project with BDS. Their phone number is 417-864-1059.)*

Date of discussion: 3/27/26 THRU 4/14/26

NOTE: The property owner must either sign this application or give City staff a power of attorney showing that another person is authorized to sign.

Exhibit B: DESCRIPTION OF PROPOSED WORK & SUPPORTING INFORMATION

Please use this form only. Form may be photocopied. Please type or print.

1. **TYPE OF WORK PROPOSED:** (Check all that apply. All work items require a written description of the proposed work. Additional required supporting information is denoted after each item and **must** be attached. See Instructions, page 5. **Maximum size for drawings: 11 x 17 inches.** NOTE: Even though you check the "Other" or the "New Construction" box, you must still give information on individual features such as windows, doors, etc., included in a large project.)

- | | | |
|---|--|--|
| <input type="checkbox"/> Addition (1,2, 3, 7) | <input type="checkbox"/> Handicapped Ramp (1, 2, 3) | <input type="checkbox"/> Sidewalk (1, 3) |
| <input checked="" type="checkbox"/> Awnings (2, 3, 4 or 5, 6) | <input type="checkbox"/> New Construction (1, 2, 3, 7) | <input checked="" type="checkbox"/> Siding (3, 4 or 5) |
| <input type="checkbox"/> Building Relocation (1, 2, 3, 7) | <input type="checkbox"/> Parking (1, 3) | <input type="checkbox"/> Sign (1, 2, 3, 6) |
| <input type="checkbox"/> Demolition (1, 2, 3, 7) | <input type="checkbox"/> Porch (1, 2, 3) | <input checked="" type="checkbox"/> Window (2, 3, 4 or 5, 6) |
| <input checked="" type="checkbox"/> Door (2, 3, 4 or 5, 6) | <input type="checkbox"/> Retaining Wall (1, 2, 3) | <input type="checkbox"/> Archeological Site (1, 3, 8) |
| <input type="checkbox"/> Fence (1, 2, 3, 5) | <input type="checkbox"/> Roof-New (3, 4 or 5, 7) | |
| <input type="checkbox"/> Guttering (2, 3, 4 or 5, 6) | <input type="checkbox"/> Re-roof (3, 4) | |
- Other (specify): STAIRCASE AND DECK

- | | |
|------------------------------------|--|
| 1 – Site Plans | 5 – Product literature |
| 2 – Elevations | 6 – Drawings |
| 3 – Photographs | 7 – Exhibit C – Why proposed work should be approved |
| 4 – Sample of materials to be used | 8 – State historic Preservation Officer Comments |

2. **DESCRIPTION OF PROPOSED WORK:** (attach additional pages if necessary)

SEE NEXT SHEET

NOTE: An application is considered incomplete until **all** supporting materials, as specified in Item 1 above, are attached. Incomplete applications will **not** be processed or scheduled for a public hearing.

Exhibit C: WHY PROPOSED WORK SHOULD BE APPROVED

Please use this form only. Form may be photocopied. Please type or print.

When proposing a major project, please use this page to give information in support of your request. (See Exhibit B, item 1, above: "Type of Work Proposed," key # 7. Suggested items of discussion are included in the Instructions, page 7.)

The proposed work should be approved because it repairs deteriorated conditions, improves safety and usability, and restores the historic character of the building to the greatest extent practical.

The applicant is requesting approval for work at both the front façade and rear façade. If one portion of the proposed work is not found acceptable, the applicant respectfully requests that the Commission consider approval of the acceptable portion independently so that necessary repair and rehabilitation work may proceed.

The project does not propose a major change to the building's historic character, overall form, or commercial use. The work is focused on necessary exterior repair, removal of non-original materials, restoration of original masonry and window openings, replacement of the non-original storefront configuration, and construction of a new rear deck and stair needed for exit egress.

At the front façade, the proposed work includes removing paint from the existing brick, removing non-original exterior corrugated metal panels, replacing the existing storefront with a new storefront layout and doors, and adding a metal awning. While the existing storefront is old, it does not appear to be original. The proposed storefront work is intended to better conform to the traditional Commercial Street storefront pattern and aesthetic, while remaining compatible with the character of the building and district.

The proposed front façade improvements will restore the building to a simpler and more appropriate commercial appearance. Removing paint from the brick will allow the original masonry character to be expressed again, and removal of the non-original corrugated metal panels will eliminate incompatible exterior material that obscures the historic character of the building. The new storefront and awning will be compatible in scale, material, rhythm, and appearance with the building and the Commercial Street Historic District.

At the rear façade, the proposed work includes construction of a new deck and stair to meet exit egress requirements. The new exterior stair and deck will be located at the rear of the building and will be simple, functional, and subordinate to the building. The stair and deck will not dominate the façade and will be compatible with the utilitarian character of the rear of the building.

The rear façade work also includes installing new windows in existing second-floor masonry openings that were previously blocked in with gray CMU. This work will remove non-original block infill from original window openings and install windows within those openings. Restoring these openings will improve the appearance of the rear façade without creating a false sense of history.

The proposed materials are consistent with the Commercial Street Historic District Design Guidelines. Section 3.8 notes that Commercial Street buildings are generally constructed with a limited palette of durable materials, with brick and glass identified as primary materials. The proposed brick, glass/windows, storefront system, wood framing, and metal awning will provide a durable and compatible repair. While metal awnings are not typical of every historic storefront condition, Section 5.12 specifically allows decks and exterior staircases at rear façades when they are unobtrusive, simple in design, and proportionate to the building.

The proposed work will not remove or obscure significant historic features where they remain intact. It will improve the safety, stability, usability, and long-term preservation of the property while maintaining the essential form and character of the building. Any cleaning or repair work will be performed using appropriate methods that avoid damaging historic materials. No archaeological resources are anticipated to be affected by the proposed scope of work.

For these reasons, the proposed work is consistent with the Secretary of the Interior's Standards for Rehabilitation and the Commercial Street Historic District Design Guidelines, and should be approved.



FRONT FACADE INTENT



1. Existing Brick

Existing orange-red brick with paint removed, showing natural variation and subtle weathering.



2. Plain Tempered Glass

Clear transparent glass with minimal tint.



3. Metal Framed Awning

Black painted metal awning and frame.



4. PVC Faux Wood — Painted Black

Smooth faux wood trim/base/surround painted matte black.



5. PVC Faux Wood — Painted Brown

Smooth faux wood trim/base/surround painted a warm medium brown.

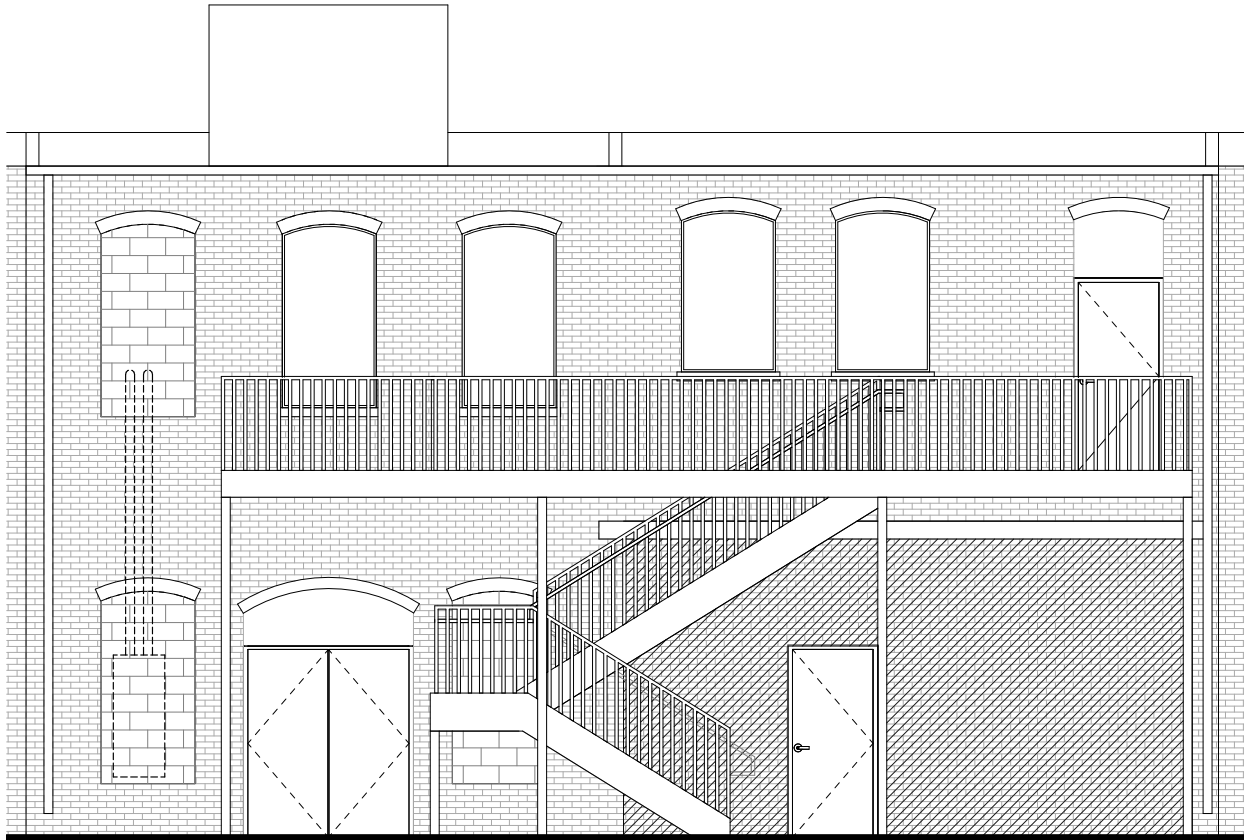
MATERIALS



FRONT FACADE INTENT



EXISTING FACADE



REAR FACADE INTENT



1. Existing Brick

Existing orange-red brick with paint removed, showing natural variation and subtle weathering.



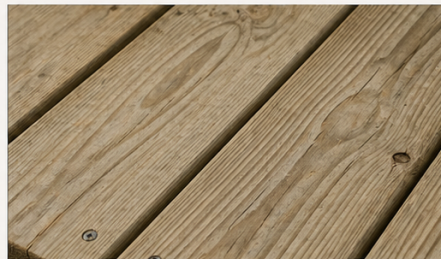
2. Plain Tempered Glass

Clear transparent glass with minimal tint.



3. Pressure Treated Lumber

Pressure treated dimensional lumber for deck framing, stair structure, and support members.



4. Pressure Treated Decking

Pressure treated decking boards for deck surface and stair treads.

MATERIALS



VERSATILE AND ADAPTABLE TO MEET YOUR NEEDS.

The Lumishade canopy is an economical, highly versatile canopy system designed for a wide variety of applications. The roll-formed decking offers a high-load capacity and is delivered in pre-assembled sections to allow for ease of installation. This functional canopy protects from the elements without sacrificing design options and flexibility. The Lumishade canopy will stand the test of time, while keeping you on budget.

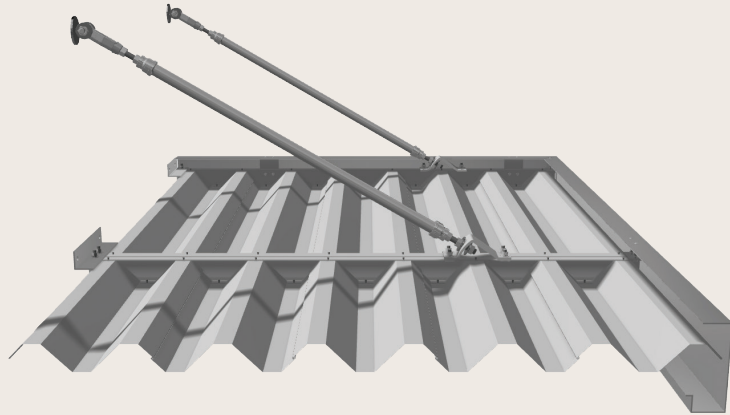
For more details, please visit mapes.com

LUMISHADE

TECHNICAL DATA

- All Aluminum (T6 - 6063)
- Fascia .125"
- Decking .040" Roll-formed
- Deflection rating L/180
- Maximum Projection
 - 10' w/ hanger rod supports
 - 5' w/ cantilever supports

Note: Engineered stamped calcs available in all 50 states



CANOPY DETAILS

Finishes		Warranty		Application
Mapes Standard Finishes	Clear Anodized, White Baked Enamel, & Bronze Baked Enamel	1 year	Meets AAMA 2603 specifications	Factory applied
2-Coat Kynar*	25 stock colors w/ unlimited custom matching options	10 years	70% Fluoropolymer meets AAMA 2605 specifications	Professionally applied & cured by certified finisher

*Additional lead times and costs associated w/ premium paints & custom color matching

FEATURES

- .040 Roll-formed decking
- Economical
- High-load capacity
- Modular design
- Rust & maintenance free
- Custom details & colors
- Pre-assembled sections

APPLICATIONS

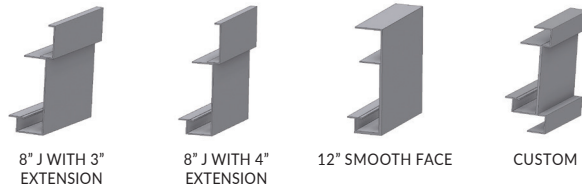
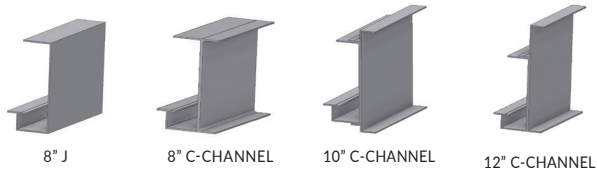
- Door & window covers
- Loading docks
- Parking garages
- Storefronts
- Passive solar
- Shopping centers

DECK OPTIONS

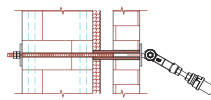


.040 ROLL-FORMED ALUMINUM

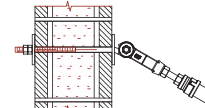
FASCIA OPTIONS



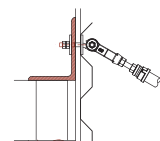
WALL MOUNT DETAILS



BRICK/BLOCK WITH THRU BOLT AND COMPRESSION SLEEVE



CMU WITH THRU BOLT



METAL BUILDING



Tempered Glass

PRODUCT CUT SHEET

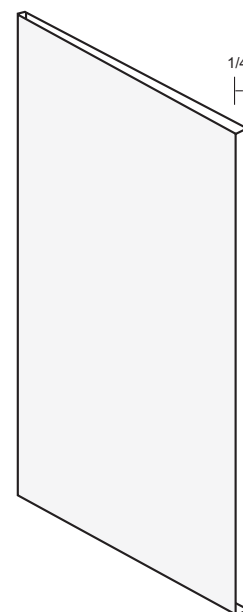
PROJECT:
SUBMITTED BY:
DATE:
NOTES:

Material

- ▶ 1/4" Thick Clear Heat Treated Glass
- ▶ Approximately 4 Times Stronger Than Annealed (Ordinary) Glass
- ▶ Breaks Into Small Harmless Fragments
- ▶ Can **NOT** Be Cut After Manufacturing
- ▶ 11" Minimum Height.
- ▶ Manufactured in USA
- ▶ **NOT** Fire-Rated
- ▶ STC 31 Rating

Impact Safety Rating Information

Complies With IBC Requirements for Use in Doors.
Meets ANSI Z97.1 Class A and CPSC 16CFR 1201 (CAT I and II)



NGP-GLA-TEMPERED-PCS-1223-A

NATIONAL GUARD PRODUCTS, INC.

MEMPHIS

4985 East Raines Road
Memphis, TN 38118

CARSON CITY

3689 Arrowhead Drive
Carson City, NV 89706

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Quotes: quotes@ngp.com
Orders: orders@ngp.com

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Cellular PVC Trim / Fascia / Sheet

S4S / Sealed edge Veranda HP™ TRIM is outstanding for exterior / interior use



Window Pilaster / Plinth



Decorative Scroll Panel



Column Wrap, Bracket & Soffit

Size Available: 8', 12', 16' long for 1" Trim / 8' long for 1/2"

Thickness	Width										
1"	2"	3"	4"	5"	6"	8"	10"	12"	24"	48"	
1/2"											

Note: All sizes are nominal and availability varies by market location

- Lifetime limited warranty
- S4S/Sealed edge to prevent dirt
- Will not rot, crack, splinter, or split
- Resistant to mold and mildew.
- Impervious to moisture, insects and termites
- Does not require painting, but accepts paints very well.
- Rigid, but flexible enough to cold/heat bend
- Perfect replacement for wood
- Solid board. No finger joints.
- No special tools needed, install with standard woodworking tools



Mold resistant



Moisture resistant



Won't rot, crack, splinter, or split



Termite resistant



Flame retardant

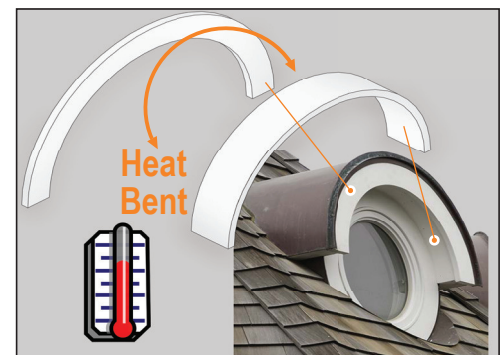


Ultra low maintenance

HEAT BENDING FEATURE

Unique Technology Applied

Veranda HP™ TRIM can easily be heated and bent into a variety of shapes. It is the only brand on the market that can hold its wood grain pattern under bending temperature.



ARCHITECTURAL SURVEY FORM--Commercial Street Historical Site District

Name of structure: (Historic) Endicott and Comapny

(Common) Northside Furniture

Address: 402 - 408 West Commerical

Ownership: Public Private Other

Status: Occupied Unoccupied Work in progress

Accessible: Yes, restricted Yes, unrestricted No

Present use: Retail

Significance: (Period) 1800-1899 1900-

Age of structure in years: 402, 406 - 91 Years: 406 - 408 75 Years

Builder/architect: Unknown

Condition: Excellent Good Fair Deteriorated Ruins

Unexposed

Status: Unaltered Altered

Status: Original site Moved (date) _____

Environment and Threat:

	<u>Secure:</u>	<u>Threat:</u>	<u>Unk.:</u>
Urban Isolated	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Urban Part of Compatible Group	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Urban Part of Hostile Group	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Massing of Units:

- Single detached
- Double, Semi-detached, related
- Double, Semi-detached, non-related
- Row, related, end
- Row, related, intermediate
- Row, non-related, end
- Row, non-related, intermediate
- Attached, irregular
- Other

Inventory of building: (Using a narrative form, describe the plan of the building. Detail exterior and interior construction materials, basement, foundation, roofs, entrances, windows, no. of stories, stairs, porches and items of interest.)

Attach inventory to this page, or inventory on back side.

INVENTORY

This building is a two story wood frame, masonry load bearing structure. The first floor has wood flooring over wood joists. The ceiling is wood car siding over wood joists in 402 West and plaster/lath in the remainder. The primary structure system is wood beams over wood columns. Part of the front has an aluminum facade.

The second floor has wood floor over wood joists and the walls and ceilings are plaster and lath. Part of the second floor ceiling is wood over wood joists.

Architectural Survey Form--Commercial Street Historical Site District

Recommendation for treatment: Face brick requires tuckpointing. Clean
and restore detail of fascia and frieze.

Statement of documented architectural significance: The construction
is similar to other structures of this time period.

Date 8/9/79

Signature Galen B. Powell

ATTACH PHOTOS



FRONT ELEVATION
402



FRONT ELEVATION
408



REAR ELEVATION
402



REAR ELEVATION
408

AGE 402-404-91 406-408-75 ADDRESS 402, 404, 406, 408 West Comm
PRESENT USE Retail Furniture DATE October, 1982



STATUS: Altered Unaltered CONDITION Fair

WORKED PROPOSED: _____

WORK THAT IS NEEDED: repaint, touch paint brick face, Clean and restore detail to fascia & Frieze





404 West Commercial
August 1988

**Springfield, Missouri Nomination Form
for Designation of Historic Site, Historic Landmark, Interior Landmark, or
Historic District**

1. Current Property Owner

Name : Galloway Village LLC

Address : 1056 S Pickwick Ave Springfield, Mo 65804

2. Title/Name of Property

Sequoiota Store/Treadway's General Store and Gas Station

3. Location/Address of Property

3535 S. Lone Pine Springfield, Mo 65804

4. Classification

Class: Historic site

Ownership: Private

Status: Unoccupied

Accessibility: Restricted

Present Use: Vacant (Commercial)

5. Description

Condition: Deteriorated, Altered, Original Site

6. Significance

Date built: 1929

Builder/Architect: J.H. Ellison

Original Physical Appearance: Constructed in 1929 by J.H. Ellison, the Sequiota Store was a two-story, wood-frame commercial building with living quarters above and a multiple-use ground floor combining a general store, filling station, and service functions. A projecting canopy extended over the fueling area, consistent with early 20th-century gas station design. The exterior featured painted wood siding and tin advertising signs typical of the era.

Current Physical Appearance: Although altered over time, the building retains its original massing, form, and relationship to Lone Pine Avenue. The structure continues to convey its

historic function as a commercial stop and remains visually recognizable in comparison to historic photographs from the 1930s–1950s.

Applicable Criteria: 1, 4, 5, 6, 9, 10, 13(a–h)

1. Significant character, interest, or value as part of the city’s history

The Sequiota Store is one of the early commercial buildings in Galloway Village and reflects the community’s development during the expansion of the Ash Grove Lime operations. It served as a vital supply center for quarry workers and families and represents the early commercial identity of this corridor.

4. Exemplifies the cultural, political, economic, social, or historic heritage of the community

The store functioned as a general store, filling station, and social gathering place. Its role in daily life made it a cornerstone of community interaction and commerce.

5. Portrays the environment of a distinctive architectural era

The building is a rare surviving example of early automobile-era roadside architecture, characterized by a multi-use commercial structure with a projecting fueling canopy.

6. Embodies distinguishing characteristics of an architectural type

The structure reflects the national pattern of early 20th-century rural filling stations and general stores, as documented in *The Gas Station in America*. Its form, function, and roadside orientation are representative of this architectural type.

9. Related to a distinctive area

The store is one of three remaining historic structures across from Sequiota Park, contributing to the historic character of the Galloway corridor and reinforcing the area’s early 20th-century identity and historic charm.

10. Represents an established and familiar visual feature

For nearly a century, the Sequiota Store has been a recognizable landmark along Lone Pine Avenue. Historic photographs from the 1930’s show its consistent presence in the landscape.

13. Integrity of location, design, setting, materials, workmanship, feeling, and association

Despite alterations, the building retains its original location, massing, and relationship to the roadway. It continues to convey the feeling and association of a rural commercial stop and remains historically legible within its setting.

Please see the attachments for supplementary material including relevant photographs of the nomination (past and present).

Supporting Documentation

- Historic photographs (Figures 1–4, 8–12)
- Maps and aerials (Figures 6–9)
- Greene County archival documents (Figures 11–13)
- Bibliography and citations
- Treadway family letter (Exhibit D)

7. Nomination by

Name : Galloway Village Neighborhood Association

Address : 3417 S. Lone Pine Ave Springfield, Mo 65804

8. Landmarks Board Approval

Date :

Exhibit B

Sequoiota Store/Treadway's General Store/One of a Kind

Builder: J H Ellison

Date: Built 1929

Building Type: Commercial

Location: 3535 S. Lone Pine Avenue



Figure 1
Sequoiota General Store and filling station in the 1940's when it was operated by Lester Birchler and his wife Hazel. Photo courtesy of Richard Crabtree

Figure 2



Figure 3



Figure 4

Galloway retains much of its early 20th-century character. Lone Pine Avenue, formerly Highway 65/60, still has a small number of historic buildings that reflect the once-thriving community built around the Ash Grove Lime and Portland Cement Company. The Sequiota Store, later known as Treadway's Store, is one of the most significant of these structures and one of only three historic buildings remaining across from Sequiota Park.

At the turn of the century, John Barton relocated the Ash Grove White Lime Works to Galloway, bringing quarry workers and their families with him. The community grew quickly as new businesses opened to support the expanding population. During this period, the highway was lined with small shops offering similar goods and services, as most proprietors could not afford to extend credit to every family in need.

In 1928, James and Ella Ellison purchased property from George Proctor on the west side of the highway, near the quarry and the state trout hatchery. There, Ellison constructed a "multiple-use filling station/general store," a common rural building type that combined several services under one roof. The simple two-story frame building, painted white, included living quarters on the upper floor and a projecting canopy over the fueling area which was a standard feature of that era.

Businesses of this type typically occupied enough land to allow cars to pull in and park while fueling, an important consideration along high-speed rural highways such as old 65/60. The store's exterior featured tin advertising signs and branded fixtures, reflecting the growing importance of product marketing in the early automobile age. Throughout Galloway, similar signage promoted soft drinks, tobacco, gasoline, car repairs, and other goods.

Multi-purpose stores like the Sequiota Store were once among the most common commercial buildings in rural America. They were a defining part of 20th-century roadside culture, yet this architectural form is rapidly disappearing. Surviving examples, including this one, show how the transportation revolution and the expanding highway system shaped local communities. Although only a few historic buildings remain in Galloway, the Sequiota Store stands out as a rare surviving example of this building type, and it still represents the heart of the community. Stores like this reflect the early car culture, corporate standardization, and an era of customer service that now feels nostalgic.

Although the store has operated under several names and uses for nearly 100 years, it remains as beloved today as it was when it served as a supply center and social gathering place. It continues to represent the heart of the Galloway community.

Retracing its history evokes fond memories of penny candy, the kindness of the Treadway family, and the practice of running a tab for food and supplies and settling it on payday. Only a fraction of the historic buildings from Galloway's once-vibrant commercial district remain. Preserving this structure ensures that future generations can experience and understand the history of Galloway.

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"About Us/Heritage." Ashgrove.com. Ash Grove Cement Company, 2017.

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Jakle, John A. and Sculle, Keith A. *The Gas Station in America*. Baltimore: Johns Hopkins University Press, 1994.

McConnell, Kaitlyn. "Galloway-residents-strive-to-save-community-history" OzarksAlive.com., 28 January 2019

Pokin, Steve. "Stone-structures-near-conco-quarry-off-lone-pine-galloway." News-Leader.com. Gannett Company, Inc., February 09 2019

Randl, Chad. "46-gas-stations.htm/types". NPS.gov. National Park Service U.S. Department of the Interior., September 2008

Image References



Figure 5 – Ash Grove White Lime Association Advertisement prior to 1907 when the name changed to Ash Grove Lime and Portland Cement Company.



Figure 6 - 1950 Aerial of the quarry and operations of the Ash Grove Lime Co. – Photo - archives.historymuseumonthesquare.org

MAPS

NE¼ NW¼ S9 T28N R21W
Fifth Principal

Latitude & Longitude

37.149224 -93.237931

37° 8.953' N 93° 14.276' W

37° 08' 57.21" N 93° 14' 16.55" W

State FIPS
Missouri (MO) 29

MGRS/USNG (NAD83)
15S VB 78871 11453

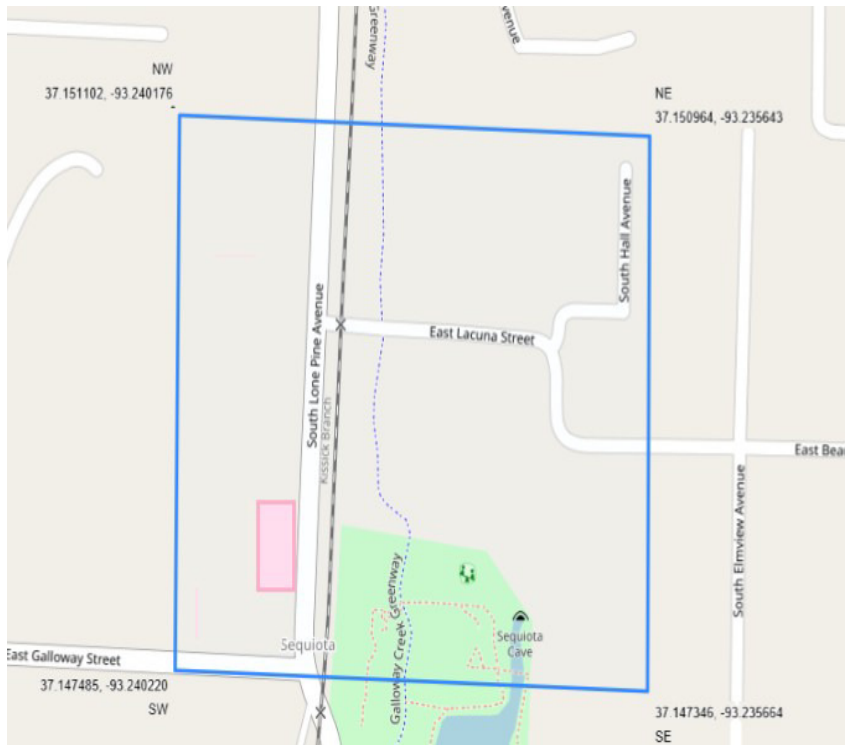
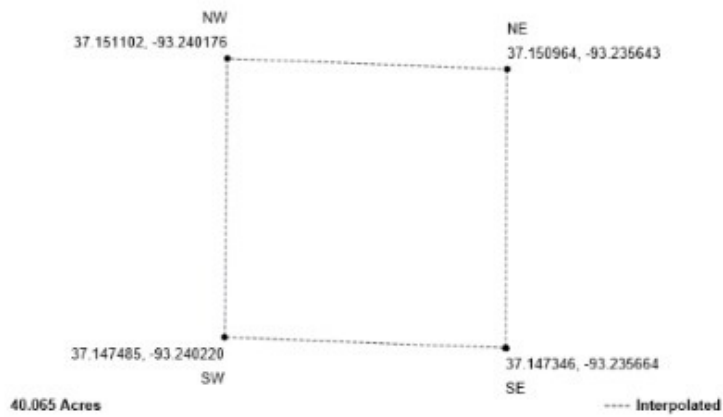


Figure 7 - Legal Description plotted on map - legallandconverter.com

Figure 8 –
Galloway Aerial
Photography
August 30, 1936
Photo courtesy
of Richard
Crabtree



Figure 9 -
Galloway Aerial Photography
with Sequiota Store/Treadways
highlighted -
August 30, 1936

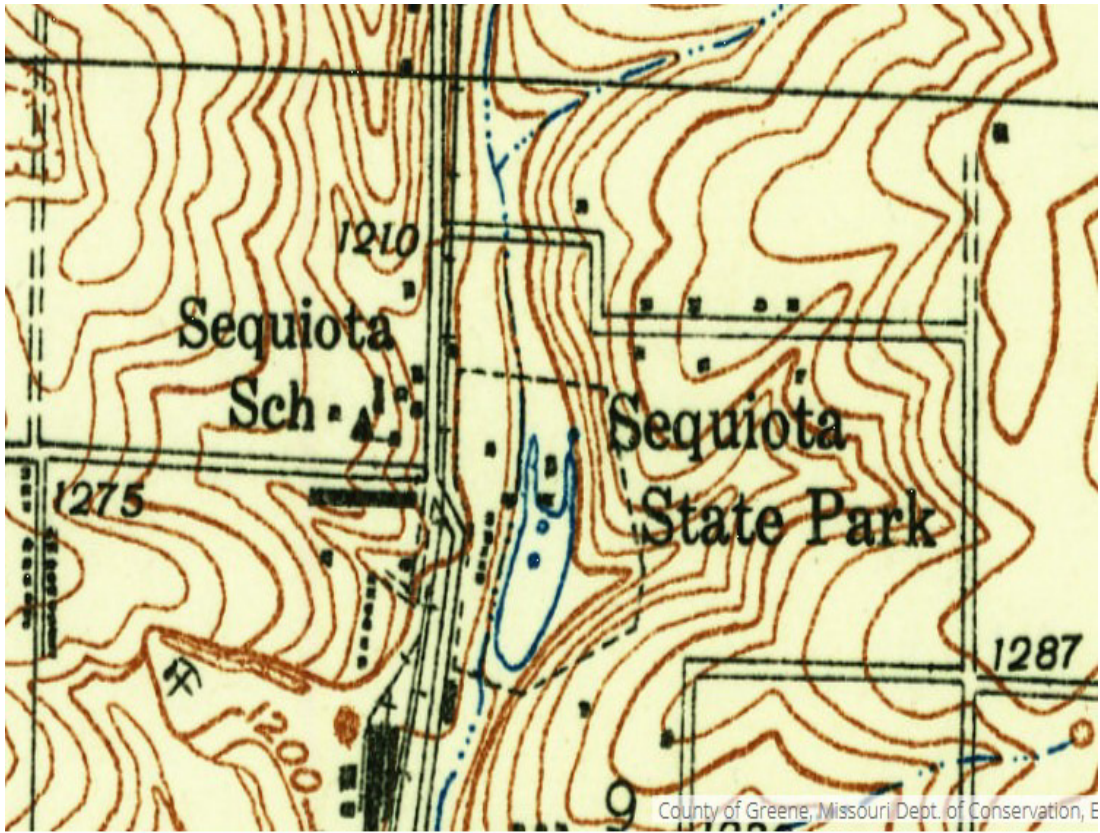


Figure 10



Galloway (1937)
 U.S. Geological Survey,
 Galloway [map], 1:24000,
 Topographic Quadrangle
 Map, Reston, VA, 1937.

Greene County, Missouri, this 22nd day of September 1926

WITNESSETH that the said part 7 of the Second Part, the receipt of which is hereby acknowledged, do hereby and assigns, the following described land...

Beginning at a point twelve and three-fourths (12 3/4) rods north of the southwest corner of the Northeast Quarter (NE 1/4) of the Northwest Quarter (NW 1/4) of Section Six (6), Township Twenty-eight (28), Range Twenty-one (21), thence north one hundred six (106) feet, thence west to public road, thence south along said public road one hundred six (106) feet, thence west to place of beginning, containing one (1) acre, more or less.

Part of the second part agree that at no time will be operated or allow to be operated any store, cold drink stand, or other public place upon said land after the hour of nine o'clock P. M. or upon the Sabbath day, and that such operation shall make this deed null and void and the purchase price shall thereupon be and become forfeited.

TO HAVE AND TO HOLD the premises aforesaid, with all and singular the rights, privileges, appurtenances and accessories thereto lawfully in anywise appertaining, unto the said part 7 of the Second Part and unto his heirs and assigns forever, do and G.C. Proctor and Elsie Proctor, his wife lawfully seized of an undivided estate in fee in the premises herein granted, that they will warrant and defend the same unto the said part 7 of the Second Part and unto his heirs and assigns forever, against the lawful claims and demands of all persons whatsoever, except taxes for 1924.

WITNESSETH WHEREOF, the said part 7 of the Second Part has hereunto set his hand and seal, the day and year first above written. G.C. Proctor (SEAL) Elsie Proctor (SEAL)

WITNESSETH WHEREOF, I have hereunto set my hand and seal, this 22nd day of September 1926, before me personally appeared G.C. Proctor and Elsie Proctor

Notary Public for the State of Missouri, my commission expires June 10, 1927

Figure 13 - Greene County Recorder of Deeds - Land transfer from Proctor to Ellison, 1926

Exhibit C

April 19, 2026

City of Springfield Landmarks Board
Busch Municipal Building
840 Boonville Ave.
Springfield, MO 65802
(417) – 869-1031

Historic Sites Nomination – 3535 South Lone Pine Avenue.

Dear Members of the Landmarks Board,

We are submitting the enclosed nomination for the designation of the Sequiota Store, located at 3535 S. Lone Pine Avenue, as a Historic Site on the Springfield Historic Register.

Built in 1929, the Sequiota Store is one of the last remaining examples of early 20th-century multi-purpose rural commercial architecture in Springfield. Its long history as a general store, filling station, and community gathering place reflects the cultural and economic development of Galloway Village during the rise of the Ash Grove Lime operations and the expansion of the regional highway system.

The building remains a familiar visual landmark and continues to embody the character and identity of the Galloway corridor. Its preservation would honor the community's heritage and ensure that future generations can experience a tangible piece of Springfield's early commercial history.

Thank you for your consideration of this nomination.

Sincerely,

Galloway Village Neighborhood Association
3417 S. Lone Pine Ave, Springfield, Mo 65804

Exhibit D

March 11, 2019

Dear Landmarks Board Members:

We are writing you on behalf of the Treadway family. Our family once owned and operated Treadways Grocery Store located at 3535 S. Lone Pine for over {# of years}. While it has been years since we operated a business in Galloway we are however, fully in favor of the Galloway Historic Preservation Committee's efforts to protect the historic structures of Galloway and preserving our shared heritage.

We appreciate your willingness and consideration on this issue.

Sincerely,

Ron & Peggy Treadway

**ADMINISTRATIVE CERTIFICATE OF APPROPRIATENESS
NOTICE OF DECISION**

Address: 101 East Commercial Street

On April 27, 2026, the Landmarks Board staff found the following to be a matter of fact:

That the proposed work will be done in conformance with the Secretary of Interior's Standards for Rehabilitation.

That the proposed work will be done in conformance with any applicable design guidelines or standards that the Landmarks Board has established and adopted. (Commercial Street and Walnut Street Districts and Mid-Town Neighborhood historic sites only).

That the proposed work will be done in conformance with all other relevant requirements of the Springfield Zoning Ordinance and Building Code.

Based on this finding of fact, the Landmarks Board staff approved the following work item(s) as shown in submitted materials:

1. Remove damaged, center overhead door and replace in kind.

Approval of these work items does not constitute approval of plans for building code purposes or for rehabilitation tax credits nor does it certify that the zoning is appropriate for the proposed uses.

This certificate expires after six months.



Andrew Menke, Senior Planner
Planning and Development

April 27, 2026

Date