



City of Springfield

Agenda

Planning and Zoning Commission

Randall Doennig, Chair

Dan Scott, Vice Chair  
Bill Knuckles  
Helen Gunther  
David Jacquez

Christopher Souliere  
Eric Pauly  
Jennifer McClure  
Layne Hunton

February 12, 2026

6:30 PM

Regional Police-Fire Training Center  
2620 West Battlefield Road  
Room 101, 102, and 103

1. **ROLL CALL.**
2. **APPROVAL OF MINUTES.**
  - 2.1. January 15, 2026
3. **COMMUNICATIONS.**
  - 3.1. January 2026 Planning and Zoning / City Council Actions
4. **CONSENT ITEMS.**
  - 4.1. Relinquishment of Easement 960  
2625 West Delmar Street (Applicant: Country Club Properties L.C., and Delmar Meadows, L.P.)
5. **UNFINISHED BUSINESS.**
  - 5.1. Planned Development 394  
1015, 1025 & 1037 South Grant Avenue and 1020, 1024, 1028, 1036, & 1040 South Douglas Avenue (Applicant: Tribecca Park, LLC)
  - 5.2. Vacation 843  
1300 blk of North Lyon Avenue, between Lynn and Calhoun Streets (Applicant: Optima Properties, LLC and Central Assembly of God)

In accordance with ADA guidelines, if you need special accommodations when attending this meeting, please notify the Planning and Development office at 417-864-1611 as soon as possible to accommodate your needs.

**ADMINISTRATIVE ACTION: SUBDIVISION**

- 5.3. Preliminary Plat of Hawkins Mill Subdivision  
3299, 3373 & 3449 North Vernon Road and 3173 North Summit Road (Applicant:  
Hawkins Mill, LLC)

**6. PUBLIC HEARINGS.**

- 6.1. Z-1-2026  
3319 North Glenstone Avenue (Applicant: WLM RE HOLDCO, LLC)
  
- 6.2. Conditional Use Permit 485  
3259, 3305 & 3319 North Glenstone Avenue (Applicant: WLM RE HOLDCO, LLC)
  
- 6.3. Z-4-2026 (POSTPONED)  
3199 & 3225 West Sunshine Street (Applicant: 3225 W. Sunshine, LLC)
  
- 6.4. Z-7-2026  
3635 East Olive Street (Applicant: K9 Hideaway, LLC)
  
- 6.5. Z-9-2026 COD 285  
2610, 2612 & 2616 West College Road and 2630, 2632, 2634, 2636, 2638, 2642 &  
2646 West Olive Street (Applicant: Preferred Family Healthcare, Inc.)
  
- 6.6. Z-11-2026  
1349 North Wabash Avenue (Applicant: City of Springfield)
  
- 6.7. Z-12-2026  
1348 North LaFontaine Avenue (Applicant: City of Springfield)

**7. OTHER BUSINESS.**

**8. ADJOURN.**

**City of Springfield  
Minutes  
Planning and Zoning Commission**

Bill Knuckles  
Helen Gunther  
Jennifer McClure  
David Jacquez

Randall Doennig, Chair

Christopher Souliere  
Eric Pauly  
Dan Scott, Vice Chair  
Layne Hunton

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**January 15, 2026**

**6:30pm**

**Regional Police-Fire Training Center  
2620 West Battlefield Road  
Room 101, 102, and 103**

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**ROLL CALL.**

Present: Commissioner Doennig, Commissioner Pauly, Commissioner McClure, Commissioner Knuckles, Commissioner Gunther, Commissioner Jacquez, Commissioner Souliere, Commissioner Hunton and Commissioner Scott. Absent: None.

Staff in attendance: Justin Crighton, Planning and Development Assistant Director, Bob Hosmer, Planning Manager, Laura Vales, Assistant City Attorney, Daniel Neal, Michael Sparlin, and Andrew Menke, Senior Planners.

Commissioner Doennig welcomed the new commission members.

Commissioner Pauly acknowledged outgoing commissioners, Commissioner Betty Ridge, Commissioner Christopher Lebeck and Commissioner Bruce Colony stating that they are recognized for their professional service and contributions, including their advisory role on the "Forward SGF" Comprehensive plan and other high-profile requests/projects.

**APPROVAL OF MINUTES.**

The minutes of December 18, 2025 were approved.

**COMMUNICATIONS.**

City Council summary for December 2025.

**CONSENT ITEMS.**

Relinquishment of Easement 967  
3245 South Campbell Avenue  
**Applicant:** WAL-MART Stores, Inc.

Relinquishment of Easement 972  
2126 East Cherry Street  
**Applicant:** Springfield Public Schools

Relinquishment of Easement 971  
2126 East Cherry Street  
**Applicant:** Springfield Public Schools

Relinquishment of Easement 974  
6375 South Innovation Avenue  
**Applicant:** Tea Properties of Missouri II, LLC

Change of Use 539  
2245 East Galloway Street  
**Applicant:** City of Springfield

### **COMMISSION ACTION:**

Planning and Zoning Commissioner Knuckles moved to approve Consent Items (Relinquishment of Easement 967, Relinquishment of Easement 971, Relinquishment of Easement 972, Relinquishment of Easement 974 and Change of Use 539). Commissioner Scott seconded the motion. The Consent Items **Passed** with the following votes: Ayes: Commissioner Doennig, Commissioner Jacquez, Commissioner Pauly, Commissioner Scott, Commissioner Gunther, Commissioner Knuckles, Commissioner Souliere, Commissioner Hunton, and Commissioner McClure. Nays: None. Absent: None. Abstain: None.

### **UNFINISHED BUSINESS.**

Z-28-2025 COD 280

233 East Norton Road

**Applicant:** Maranatha Village, Inc.

No action taken, was withdrawn by applicant 72 hours in advance of meeting.

### **PUBLIC HEARINGS.**

#### **COMMISSION ACTION: (allow representative 3-minute rebuttal)**

Planning and Zoning Commissioner Scott moved to **allow** the representative 3 minutes for rebuttal time at the end of the public hearing; Commissioner Knuckles seconded the motion. It **Passed** with the following vote: Ayes: Commissioner Doennig, Commissioner Jacquez, Commissioner Pauly, Commissioner Scott, Commissioner Gunther, Commissioner Knuckles, Commissioner Souliere, Commissioner Hunton, and Commissioner McClure. Nays: None. Absent: None. Abstain: None.

Z-2-2026 COD 283

1138, 1142 & 1148 East Elm Street and 512 & 516 South Florence Avenue

**Applicant:** One Hundred Two Glenstone Inc., Terry Tacke, 1130 E. Elm, LLC, and 1142 E. Elm, LLC

Mr. Sparlin states that this is a request to rezone approximately 0.56 acres from R-HD, High-Density Multi-family Residential District and UN, University Combining District to GR, General Retail with Conditional Overlay District 283 and University Combining District.

Commissioner Gunther asked which specific structures would be renovated versus demolishing for parking and Mr. Neal pointed out the existing multi-family building at 1152 East Elm would be renovated, and one single-family home on the rezone area would be utilized for off-street parking.

Commissioner Scott questioned the Conditional Use Permit for first-floor residential and why it could not be processed concurrently with the rezoning and was told that the developer is not ready and is setting up for future development. Further clarification was requested on whether existing residential houses would require a CUP under the proposed General Retail District (GR) zoning and Mr. Neal stated that with the way the General Retail District (GR) is written, any residential dwellings that exist at the time of mapping can remain.

Commissioner Doennig opened the public hearing.

Mr. Daniel Richards, 1200 E. Woodhurst Drive and represents the developer noting that it is a complicated zoning case, but they want to remodel the New Way apartment complex which currently has 14 units but want to change it to 20 units that requires additional parking.

Commissioner Doennig closed the public hearing.

**COMMISSION ACTION:**

Planning and Zoning Commissioner Knuckles moved to approve Z-2-2026 COD 283; Commissioner Pauly seconded the motion. It **Passed** with the following votes: Ayes: Commissioner Doennig, Commissioner Jacquez, Commissioner Pauly, Commissioner Scott, Commissioner Gunther, Commissioner Knuckles, Commissioner Souliere, Commissioner Hunton, and Commissioner McClure. Nays: None. Absent: None. Abstain: None.

Z-3-2026

2300 North Airport Boulevard, 5703 & 5995 West Farm Road 104, 3521 North Farm Road 103 (east-side) and 5720 & 5700 (south-side) West State Highway EE

**Applicant:** City of Springfield/Airport Board

Mr. Sparlin states that this is a request to rezone approximately 726 acres County Agriculture District to HM, Heavy Manufacturing District.

Commissioner Doennig opened the public hearing.

Mr. Brian Weiler, 2300 N. Airport Blvd confirmed that the rezoning is primarily for future aeronautical and non-aeronautical development, with no immediate specific development plans. The land is acquired for protection and used as a buffer. The critical reason for rezoning to HM (Heavy Manufacturing) is to consolidate zoning and avoid an incompatible translation to Residential Single Family (R-SF) under the new city land development code, which would conflict with airport operations.

Mr. Dan VanVeen, 6220 W. Farm Road 94 expressed his concerns that rezoning agricultural land to heavy manufacturing would increase future risk if the airport no longer needed the buffering area, potentially leading to undesirable development without landowner input and would like it to remain agricultural.

Commissioner Doennig closed the public hearing.

**COMMISSION ACTION:**

Planning and Zoning Commissioner Knuckles moved to approve Z-3-2026; Commissioner Hunton seconded the motion. It **Passed** with the following votes: Ayes: Commissioner Doennig, Commissioner Jacquez, Commissioner Pauly, Commissioner Scott, Commissioner Gunther, Commissioner Knuckles, Commissioner Souliere, Commissioner Hunton, and Commissioner McClure. Nays: None. Absent: None. Abstain: None.

Z-6-2026 COD 284

2000 South McCurry Avenue

**Applicant:** Springfield Plaza, LLC

Mr. Sparlin states that this is a request to rezone approximately 17.84 acres from Planned Development 343 to R-MD, Medium-Density Multi-family Residential District with Conditional Overlay District 284.

Commissioner Doennig opened the public hearing.

Mr. Daniel Richards, 1200 E. Woodhurst Drive and represents the developer noting that this is a proposed medium density residential housing development and here to answer any questions.

Commissioner Doennig closed the public hearing.

**COMMISSION ACTION:**

Planning and Zoning Commissioner Knuckles moved to approve Z-6-2026 COD 284; Commissioner Pauly seconded the motion. It **Passed** with the following votes: Ayes: Commissioner Doennig, Commissioner Jacquez, Commissioner Pauly, Commissioner Scott, Commissioner Gunther, Commissioner Knuckles, Commissioner Souliere, Commissioner Hunton, and Commissioner McClure. Nays: None. Absent: None. Abstain: None.

Z-8-2026

3005 West Chestnut Expressway

**Applicant:** ABC Supply Co., Inc.

Mr. Neal states that this is a request to rezone approximately 0.4 acres from GM, General Manufacturing District to IC, Industrial Commercial District.

Commissioner Scott asked why a variance could not be used to permit retail sales in the existing General Manufacturing (GM) district, instead of requiring a rezoning and it was stated that a variance requires a hardship and they're proposing a new use and doesn't technically qualify as a hardship.

Commissioner Doennig opened the public hearing.

Mr. Randy Tidlind, 3005 W. Chestnut, representing the zoning application and here to answer any questions.

Commissioner Doennig closed the public hearing.

**COMMISSION ACTION:**

Planning and Zoning Commissioner Knuckles moved to approve Z-8-2026; Commissioner Pauly seconded the motion. It **Passed** with the following votes: Ayes: Commissioner Doennig, Commissioner Jacquez, Commissioner Pauly, Commissioner Scott, Commissioner Gunther, Commissioner Knuckles, Commissioner Souliere, Commissioner Hunton, and Commissioner McClure. Nays: None. Absent: None. Abstain: None.

Planned Development 394

1015, 1025 & 1037 South Grant Avenue and 1020, 1024, 1028, 1036 & 1040 South Douglas Avenue

**Applicant:** Tribeca Park, LLC

Applicant has requested this item to be postponed to the February 12, 2026 meeting.

**COMMISSION ACTION:**

Planning and Zoning Commissioner Knuckles moved to **postpone** Planned Development 394; Commissioner Souliere seconded the motion. It was **Postponed** with the following votes: Ayes: Commissioner Doennig, Commissioner Jacquez, Commissioner Pauly, Commissioner Scott, Commissioner Gunther, Commissioner Knuckles, Commissioner Souliere, Commissioner Hunton, and Commissioner McClure. Nays: None. Absent: None. Abstain: None.

Vacation 843

1300 blk of North Lyon Avenue, between Lynn and Calhoun Streets

**Applicant:** Optima Properties, LLC and Central Assembly of God

Applicant has requested this item to be postponed to the February 12, 2026 meeting.

**COMMISSION ACTION:**

Planning and Zoning Commissioner Knuckles moved to **postpone** Vacation 843; Commissioner Jacquez seconded the motion. It was **Postponed** with the following votes: Ayes: Commissioner Doennig, Commissioner Jacquez, Commissioner Pauly, Commissioner Scott, Commissioner Gunther, Commissioner Knuckles, Commissioner Souliere, Commissioner Hunton, and Commissioner McClure. Nays: None. Absent: None. Abstain: None.

Preliminary Plat of Hawkins Mill Subdivision  
3299, 3373 & 3449 North Vernon Road and 3173 North Summit Avenue  
**Applicant:** Hawkins Mill, LLC

Applicant has requested this item to be postponed to the February 12, 2026 meeting.

**COMMISSION ACTION:**

Planning and Zoning Commissioner Knuckles moved to **postpone** Preliminary Plat of Hawkins Mill Subdivision; Commissioner Souliere seconded the motion. It was **Postponed** with the following votes: Ayes: Commissioner Doennig, Commissioner Jacquez, Commissioner Pauly, Commissioner Scott, Commissioner Gunther, Commissioner Knuckles, Commissioner Souliere, Commissioner Hunton, and Commissioner McClure. Nays: None. Absent: None. Abstain: None.

**OTHER BUSINESS.**

Subdivision Variance 361  
417 South Jefferson Avenue and 320, 322, 330 & 334 East Walnut Street  
**Applicant:** SPFLD RE Holdings, LLC and Sister Properties, LLC

Mr. Menke states that this is a request to approve a variance from Section 36-251(3) of the Subdivision Regulations, located at 417 South Jefferson Avenue & 320, 322, 330, & 334 East Walnut Street.

Commissioner Pauly asked about the width of the current two access points on Jefferson Avenue and Mr. Menke stated that he did not know, but the representative is available to answer.

Commissioner Doennig opened the public hearing.

Mr. Jack Medows, 1810 St. Matthews Ct., Rolla, MO and stated that there are currently two drives, one is 10 feet, and the other is 12 feet. One serves as a utility access and other serves a parking lot and would like to combine both to make approximately a 26-foot-wide entrance and would be one way traffic.

Commissioner Pauly asked about specific use of the proposed combined drive-through (i.e., for a bank teller) and the anticipated frequency of its use, questioning its viability. Mr. Medows noted that it would have a drive-thru lane and bypass lane.

Commissioner Scott asked if the bank would maintain ownership of the corner building on Walnut Street and was told that the bank does not own that building.

Commissioner Scott asked for confirmation regarding a cross-access agreement for shared parking stalls and it was noted that a cross-access easement for parking stalls, along with utility easements, would be incorporated into the administrative replat.

Commissioner Doennig closed the public hearing.

**COMMISSION ACTION:**

Planning and Zoning Commissioner Knuckles moved to approve Subdivision Variance 361; Commissioner Pauly seconded the motion. It **Passed** with the following votes: Ayes: Commissioner Doennig, Commissioner Jacquez, Commissioner Pauly, Commissioner Scott, Commissioner Gunther, Commissioner Knuckles, Commissioner Souliere, Commissioner Hunton, and Commissioner McClure. Nays: None. Absent: None. Abstain: None.

Street Name Change 83

200-600 blk East Blaine Street and 200-400 blk West Blaine Street between Washington and Lyon Avenues

**Applicant:** City of Springfield

Mr. Neal states that this is a request to re-assign the 200-600 blocks of East Blaine Street and 200-400 blocks of West Blaine Street between Washington and Lyon Avenues from Blaine "Street" to Blaine "Lane".

Commissioner Pauly asked if the name change would impact addressing for existing businesses or residents, or emergency services. He was told that there are a few addresses that would need to change, but they do get notified but does not foresee any problems with the post office or emergency services.

Commissioner Souliere asked if the proposed change covered the entire extent of Blaine Street in the specified area and it was noted that when you go east of Washington Avenue and west of Lyon Avenue, they become more of an alley and not part of the original plat.

Commissioner Doennig opened the public hearing.

Ms. Mary Collette, 1539 N. Washington Avenue, president of the Historic Commercial Club, noting that they been working on this for approximately six months or longer stating that the footbridge construction is coming along and that it is the gateway to historic Commercial Street. She also noted that 20 to 30 business and property owners along Blaine have signed in support of the request.

Commissioner Gunther asked about the advantage and rationale behind the name change, as well as responsibility for associated costs. Ms. Collette noted that the name change aims to generate positive publicity, promote the Historic Commercial Street district (e.g., for Route 66 events and the Jefferson Avenue Footbridge rededication), soften the area's image and establish a unique identity ("Blaine Lane" mirroring "Frisco Lane"). The city would bear the associated costs.

Commissioner Pauly wanted to thank the participates for forwarding a community betterment program.

Commissioner Doennig closed the public hearing.

**COMMISSION ACTION:**

Planning and Zoning Commissioner Knuckles moved to approve Street Name Change 83; Commissioner Scott seconded the motion. It **Passed** with the following votes: Ayes: Commissioner Doennig, Commissioner Jacquez, Commissioner Pauly, Commissioner Scott, Commissioner Knuckles, Commissioner Souliere, Commissioner Hunton, and Commissioner McClure. Nays: Commissioner Gunther. Absent: None. Abstain: None.

Short Term Rental Type 2  
1618 East Adams Street  
**Applicant:** Andrey Svidenko

Mr. Hosmer states that this is a request to grant a Short-Term Rental Type 2 permit for the property generally located 1618 E. Adams Street, pursuant to Section 36-473 of the Zoning Ordinance in a R-TH, Residential Townhouse District.

Commissioner Scott asked if the applicant had other Airbnb's and what were their standing (i.e., good record). Mr. Hosmer noted that they have not had any reports or problems.

Commissioner Souliere asked if staff's denial was solely due to neighborhood objections. Staff explained that the appeal process is triggered by objections (in this case, four adjacent property owners), and their role is to present the facts, not to make a recommendation for denial.

Commissioner Jacquez, asked if comments, not adjacent, were given to staff and it was noted that staff does receive them.

Commissioner Scott asked what weight should be applied to letters from non-adjacent property owners. Mr. Hosmer noted that comments from property owners within the 500ft notification area (not directly adjacent) were received by staff and were attached to the packet for commission review. The "crux" of the appeal, however, lies with the adjacent objections.

Commissioner Doennig opened the public hearing.

Mr. Christian Diewert, 1618 E. Adams Street representing Andrey Svidenko, owner. He noted that they have multiple properties across Springfield and in Greene County and the main concerns were parking, too much traffic, large groups, etc. He emphasized responsible management, property maintenance, screening of guests (often professionals or families), and positive reviews for other properties managed by the family. They try not to disappoint anyone and keep it nice, calm, and steady.

Commissioner Scott questioned staff on the number of rentals that this applicant has, and it was noted that staff was told of one other property.

Mr. Jacquez asked how the property is managed (owner or third-party) and the duration of ownership. Mr. Diewert said the property is managed by a family-owned network for maintenance and bookings and has owned the property for over two years, initially as a primary residence, and has undertaken significant renovations.

Commissioner Pauly asked for clarification on ownership and the representatives and was told it was a family operation and believes the owner has one or two more rentals.

Commission members asking additional questions on background of ownership, etc.

Mr. Alexzander Campbell, 2141 N. Adams Street and here to voice his opposition stating that the neighborhood is mainly families and older generations and would not like multiple people coming through every day.

Commissioner Pauly asked how long they have lived at their current residence and was told May 2019 and if have they seen any improvements on the property (painting of the outside, not sure of the inside).

Ellie Campbell, 2141 N. Adams, stating that they would not like a Short-Term Rental across the street and went over concerns (residents living directly across the street expressed strong opposition, transient occupants, increased traffic and parking issues in a dead-end family neighborhood with many children, lack of owner supervision, and general impact on neighborhood character and safety).

Commissioner Doennig closed the public hearing.

Commissioner Pauly stated, "I do have a lot of concerns about this particular request that came through to us. Looking at the information as it was presented. We had a neighborhood meeting where the property owner neglected to show up. He was asked at that point to also go ahead and include any additional properties that he had on his form. That information was not included as well, didn't indicate any of the addresses for these properties. And it sounds like after asking this evening that there are at least two other properties, one that we know of, possibly two or more. So again, I'm very concerned when we had this lack of professionalism coming forward to this body to go ahead and get this presented and get this approved also. I had asked Mr. Campbell about the property across the street, and I think that's very important as a neighbor living across the street. A few hundred dollars in paint can make things look good, but that doesn't improve the neighborhood, it makes that piece of property look good. We hear this very often from someone who wants to put in a short-term rental that they will take care of the property, and it will make the neighborhood look better. That may be, but again that does not improve the neighborhood itself. When we see the number of houses that we have out there and we look at our current housing studies that we've done over the last several years that we see how many housing locations that were missing for people and these are put into short term rentals, I also find that very concerning. It's because of these. I will not be approving this tonight."

Commissioner Knuckles stated, "I have concerns over the numbers of people that have do not want the short-term rental in the neighborhood. Normally I tend to look at the person, the owner of it and when they tell me that they're going to maintain the property and screen people. I know when the last one we had, we had some documentation on that and ratings and things like that which swayed my opinion, but with this site I am concerned with the number of residents in the neighborhood who do not want it and find it hard to support approving this, so I also will be voting against it tonight."

Commissioner Scott asked about the procedure if the short-term rental is approved and was told the Planning Director would be able to revoke the license.

Commissioner Gunther stated, "I'm going to vote for this, I feel like it's going to be a rental and If there are problems, there are ways to get it taken care of."

Commissioner Hunton asked if the short-term rental is denied and was told If the appeal is denied, the applicant can reapply immediately with a new application and fee; there is no waiting period. If a STR permit is approved and subsequently revoked by the Planning Director (for city code violations like zoning, noise, or nuisance), the operator would be unable to reapply for 12 months.

Commissioner Souliere stated, "I've been a person renting a short-term rental, I've had rental property, and I also live in a neighborhood that values the neighbors and the comfort of what a neighborhood like this appears to be. I think that there's a weight that needs to be placed on the intangible value of a neighborhood. Safety and the structure of knowing your neighbors and who you have around you and knowing what the traffic's going to be like and who knows whose kid's going to be in the street or what have you, yes, this may be a rental regardless, but I think a long term rental and a short-term rental are very different things. I'd like to say my thoughts are on the structure of what the neighborhood is and the value of the people in that neighborhood and what a neighborhood looks like to them, and it doesn't with the short-term rental. Based on that, I'm going to vote to deny this."

Commissioner Doennig stated, "Given that there is an opportunity for this applicant to reapply and go through this process again, my feeling is that I'm going to vote to deny the request. The particular reason why is this, I rent VRBOs in other cities, so I understand how they work, and I understand that they're not universally popular with the neighbors that may live next to them. I try to be respectful wherever I stay, but the problem that I had with this request was that I saw that at the neighborhood meeting the owner of the property himself did not show up, which to me is kind of a red flag. And tonight, this hearing is very important. I mean this is make it or break it for whether you get to be a VRBO or not and the owner isn't here, and I have a problem with that because if the owner can't show up to a public hearing before the city body like this, how is that owner going to respond when there are problems at the property, we're supposed to believe, and we're supposed to trust that that owner is going to be responsive and if there's a problem from the neighbors, they're going to respond to that. This is a big issue, and they're not here. So, I intend to vote no."

**COMMISSION ACTION:**

Planning and Zoning Commissioner Knuckles moved to approve Short Term Rental Type 2 located at 1618 East Adams Street; Commissioner Jacquez seconded the motion. It was **DENIED** with the following votes: Ayes: Commissioner Gunther and Commissioner McClure. Nays: Commissioner Doennig, Commissioner Jacquez, Commissioner Pauly, Commissioner Scott, Commissioner Knuckles, Commissioner Souliere, and Commissioner Hunton. Absent: None. Abstain: None.

**2026 Election of Officers - Chair and Vice Chair**

**COMMISSION ACTION: (chair)**

Planning and Zoning Commissioner Pauly moved to nominate Randall Doennig for chair; Commissioner Knuckles seconded the motion. It **Passed** with the following votes: Ayes: Commissioner Jacquez, Commissioner Pauly, Commissioner Scott, Commissioner Knuckles, Commissioner Souliere, Commissioner Hunton, Commissioner Gunther, and Commissioner McClure. Nays: None. Absent: None. Abstain: Commissioner Doennig.

**COMMISSION ACTION: (vice-chair)**

Planning and Zoning Commissioner Knuckles moved to nominate Dan Scott for vice-chair; Commissioner Gunther seconded the motion. It **Passed** with the following votes: Ayes: Commissioner Jacquez, Commissioner Pauly, Commissioner Doennig, Commissioner Knuckles, Commissioner Souliere, Commissioner Hunton, Commissioner Gunther, and Commissioner McClure. Nays: None. Absent: None. Abstain: Commissioner Scott.

**ADJOURN.**

# PNZ City Council Results

Meeting Dates From: 01/01/2026 To: 01/31/2026

Project Info	PNZ Hearing Date / Result	1st City Council Hearing Date / Result	2nd City Council Hearing Date / Result
Relinquishment of Easement 967 3245 S CAMPBELL AVE	1/15/2026 Approved		
Vacation 843 All of the properties along this portion of N. Lyon Avenue. A complete list will be provided with the application.	1/15/2026 Tabled		
Relinquishment of Easement 971 2126 E CHERRY ST 615 S BARNES AVE	1/15/2026 Approved		
Relinquishment of Easement 972 2126 E CHERRY ST 615 S BARNES AVE	1/15/2026 Approved		
Z-5-2026 COD 280 233 E NORTON RD	1/21/2026 NA		
Z-2-2026 COD 283 1138 E ELM ST 1142 E ELM ST 1148 E ELM ST 512 S FLORENCE AVE 516 S FLORENCE AVE	1/15/2026 Approved		
Street Name Change 83	1/15/2026 Approved		
Z-3-2026 2300 N AIRPORT BLVD 5720 W STATE HIGHWAY EE	1/15/2026 Approved		
PPlat of Hawkins Mill Subdivision 3299 N VERNON RD 3173 N SUMMIT AVE 3373 N VERNON RD 3449 N VERNON RD	1/15/2026 Tabled		
Planned Development 394 1025 S GRANT AVE 1020 S DOUGLAS AVE 1024 S DOUGLAS AVE 1028 S DOUGLAS AVE 1036 S DOUGLAS AVE 1040 S DOUGLAS AVE 1015 S GRANT AVE 1037 S GRANT AVE	1/15/2026 Tabled		
Z-6-2026 COD 284 2000 S MCCURRY AVE	1/15/2026 Approved		
Change of Use 539 2245 E GALLOWAY ST	1/15/2026 Approved		
Relinquishment of Easement 974 6375 S INNOVATION AVE	1/15/2026 Approved		

# PNZ City Council Results

Meeting Dates From: 01/01/2026 To: 01/31/2026

Project Info	PNZ Hearing Date / Result	1st City Council Hearing Date / Result	2nd City Council Hearing Date / Result
Z-8-2026 3005 W CHESTNUT EXPY	1/15/2026 Approved		
Subdivision Variance 361 417 S JEFFERSON AVE 320 E WALNUT ST 322 E WALNUT ST 330 E WALNUT ST 334 E WALNUT ST	1/15/2026 Approved		
Z-5-2026 COD 280 233 E NORTON RD	1/21/2026 NA	1/21/2026 NA	1/21/2026 NA

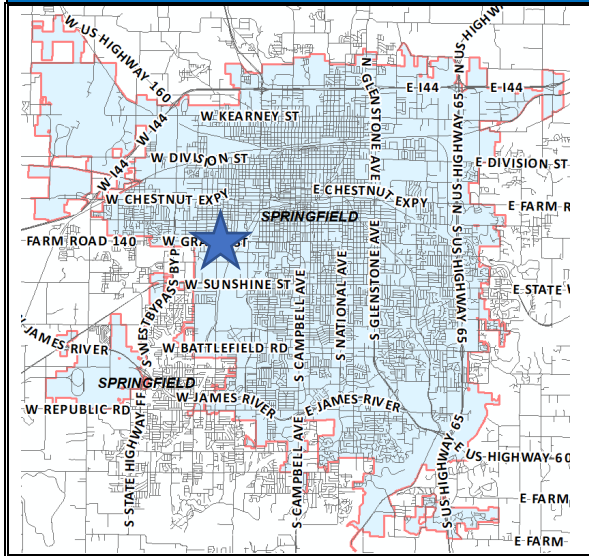

## DEVELOPMENT REVIEW STAFF REPORT

### PROJECT INFORMATION

<b>Case Number:</b>	Relinquishment of Easement 960
<b>Location:</b>	2625 West Delmar Street; 1025 & 1045 South Clifton Avenue; & 2620 West Grand Street
<b>Total Acres:</b>	0.44 acres
<b>Applicant:</b>	Delmar Meadows, LP & Country Club Properties, LC
<b>Existing Land Use:</b>	Multifamily
<b>Planning and Zoning Commission:</b>	February 12, 2026
<b>City Council:</b>	N/A
<b>Staff:</b>	Andrew Menke, Senior Planner, (417) 864-1613
<b>Staff recommendation:</b>	Staff recommends approval
<b>Proposed motion:</b>	I move to recommend approval of RE 960 as submitted in the staff report. (All commission motions are made in the affirmative.)
<b>Required Vote:</b>	A majority of five (5) voting members shall be required.

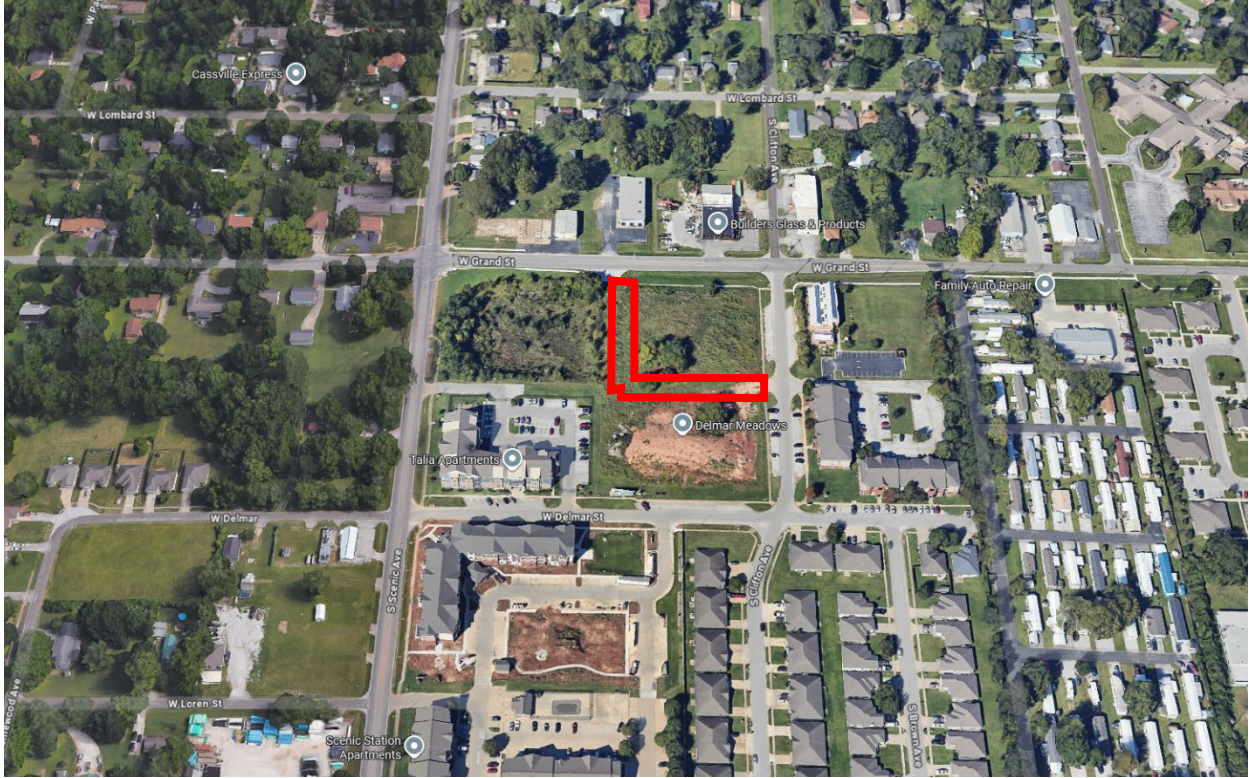
### PROJECT SUMMARY:

The applicant, Delmar Meadows, LP & Country Club Properties, LC, are requesting to relinquish a platted access, utility, drainage, & sanitary sewer easement to facilitate the development of the property. Replacement cross-access and drainage easements are to be dedicated.

LOCATION MAP	EASEMENT SITE
	

## DEVELOPMENT REVIEW STAFF REPORT

### GOOGLE AERIAL OF LANDMARKS, BUSINESSES, AND ATTRACTIONS:



### GOOGLE MAPS STREET VIEW:



## DEVELOPMENT REVIEW STAFF REPORT

### PLANNING AND ZONING COMMISSION AUTHORITY:

#### **Sec. 98-160. - Relinquishment of public utility easements.**

- (a) The planning and zoning commission may authorize the relinquishment of a public utility easement upon determining the following:
- (1) No one has objected to the relinquishment of the easement.
  - (2) The appropriate city agency (public works in the case of sewer easements, and city utilities in the case of electric, gas and water easements) has filed with the department of community development a statement that the easement is no longer needed to provide utility service.
  - (3) The retention of the easement no longer serves any useful public purpose.
- (b) Upon the planning and zoning commission determining that the conditions set forth in subsection (a) of this section have been satisfied, the commission may adopt a resolution authorizing the mayor of the city to quitclaim the city's interest in the public utility easement, which quitclaim deed shall be filed in the county land records. If the conditions set forth in subsection (a) of this section are not satisfied, any person who has filed a request for the relinquishment of the public utility easement can request that the city council consider the matter by filing a notice with the director of community development asking that the city council hear the matter.

### DEPARTMENT COMMENTS:

1. DEPARTMENT OF ENVIRONMENTAL SERVICES WASTEWATER MANAGEMENT DIVISION:

No public sewer within vacation area. I don't see any reason to record new sanitary sewer easements. Each of these lots currently have access to public sewer.

2. AT&T:

Approved. I visited the site and discussed extensively with the super, Mark. I am comfortable with relinquishing without replacement.

3. MEDIACOM:

Approved.

4. CITY UTILITIES:

No issues with proposed relinquishment. No apparent impact to CU facilities.

5. DEPARTMENT OF PUBLIC WORKS STORMWATER ENGINEERING DIVISION:

No issues with the proposed easements

## DEVELOPMENT REVIEW STAFF REPORT

6. DEPARTMENT OF PUBLIC WORKS TRAFFIC OPERATIONS DIVISION:

No issues as long as the replacement cross access easement is executed and recorded.

7. DEPARTMENT OF PUBLIC WORKS TRANSPORTATION ENGINEERING RIGHT-OF-WAY DIVISION:

Approved contingent on drainage and cross access easements being executed.

8. DEPARTMENT OF PUBLIC WORKS TRANSPORTATION ENGINEERING SURVEY DIVISION:

Approved. Description and Exhibits are good.

## DEVELOPMENT REVIEW STAFF REPORT

### STAFF ANALYSIS AND RECOMMENDATION:

1. The applicant is requesting to relinquish a platted access, utility, drainage, & sanitary sewer easement to facilitate the development of the property.
2. The Planning and Zoning Commission has the authority to relinquish easements if the relinquishment does not affect public utilities.
3. No one has objected to this request to date.

### STAFF RECOMMENDATION:

1. Staff recommends approval based on the finding of facts above.

### PLANNING AND ZONING OPTIONS:

1. Recommend that the relinquishment is determined to be generally consistent with the master plan (Comprehensive Plan Forward SGF).
2. Recommend that the relinquishment is determined to be not consistent with the master plan (Comprehensive Plan Forward SGF).

### REQUIREMENTS FOR APPROVAL:

**TABLE A**

	<b>In order to approve a relinquishment of a public easement, the Planning and Zoning Commission must make the following findings.</b>	<b>Staff Response</b>
1.	No one has objected to the relinquishment of the easements.	No one has objected to the relinquishment of the easements.
2.	The appropriate City agency has filed with the Planning and Development Department a statement that the easements are no longer needed to provide service.	All interested City agencies have filed a statement and do not object to the relinquishment of the subject easements. The applicant is dedicating replacement cross-access and drainage easements.
3.	That the retention of the easements no longer serves any useful public purpose.	The retention of the subject easements no longer serves a public purpose. The applicant is to dedicate a replacement easement through a separate instrument.

## DEVELOPMENT REVIEW STAFF REPORT

### LEGAL DESCRIPTION:

A PLATTED ACCESS, UTILITY, DRAINAGE AND SANITARY SEWER EASEMENT AS SHOWN ON THE RECORDED PLAT OF SCENIC STATION, A SUBDIVISION IN THE CITY OF SPRINGFIELD, GREENE COUNTY, MISSOURI AS RECORDED IN BOOK ZZ, PAGE 107 OF THE GREENE COUNTY RECORDER'S OFFICE AND SAID RELINQUISHMENT BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT THE NORTHWEST CORNER OF LOT 1 OF SAID SCENIC STATION SUBDIVISION, THENCE ALONG THE NORTH LINE OF LOT 1 SOUTH 87°54'12" EAST, 35.00 FEET; THENCE LEAVING SAID NORTH LINE SOUTH 02°11'39" WEST, 221.91 FEET; THENCE SOUTH 87°47'41" EAST, 256.66 FEET TO A POINT ON THE EAST LINE OF SAID LOT 1; THENCE ALONG THE EAST LINE OF SAID LOT 1 SOUTH 02°09'34" WEST, 20.00 FEET TO THE SOUTH LINE OF SAID LOT 1; THENCE LEAVING SAID EAST LINE AND ALONG SAID SOUTH LINE NORTH 87°47'41" WEST, 291.68 FEET TO THE WEST LINE OF SAID LOT 1; THENCE ALONG SAID WEST LINE NORTH 02°11'39" EAST, 241.85 FEET TO THE POINT OF BEGINNING. ALL LYING IN THE NORTHWEST QUARTER OF THE NORTHWEST QUARTER OF SECTION 27, TOWNSHIP 29 NORTH, RANGE 22 WEST, IN SPRINGFIELD, GREENE COUNTY, MISSOURI. BEARINGS BASED ON GRID NORTH OF THE MISSOURI COORDINATE SYSTEM OF 1983, CENTRAL ZONE.

CONTAINING 13,599 SQUARE FEET OR 0.31 ACRES AND 506 LINEAR FEET, MORE OR LESS.

AND

BEING A PART OF A PLATTED ACCESS, UTILITY, DRAINAGE AND SANITARY SEWER EASEMENT AS SHOWN ON LOT 4 OF SCENIC STATION, A SUBDIVISION IN THE CITY OF SPRINGFIELD, GREENE COUNTY, MISSOURI AS RECORDED IN BOOK ZZ AT PAGE 107 OF THE GREENE COUNTY RECORDER'S OFFICE AND SAID RELINQUISHMENT BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT THE NORTHEAST CORNER OF LOT 4 OF SCENIC STATION SUBDIVISION; THENCE ALONG THE EAST LINE OF LOT 4, SOUTH 02°09'34" WEST, 20.00 FEET; THENCE LEAVING SAID EAST LINE NORTH 87°47'41" WEST, 271.69 FEET; THENCE NORTH 02°11'39" EAST, 20.00 FEET TO A POINT LYING ON THE NORTH LINE OF SAID LOT 4; THENCE ALONG SAID NORTH LINE SOUTH 87°47'41" EAST, 271.68 FEET TO THE POINT OF BEGINNING. ALL LYING IN THE NORTHWEST QUARTER OF THE NORTHWEST QUARTER OF SECTION 27, TOWNSHIP 29 NORTH, RANGE 22 WEST, IN THE CITY OF SPRINGFIELD, GREENE COUNTY, MISSOURI. BEARINGS BASED ON GRID NORTH OF THE MISSOURI COORDINATE SYSTEM OF 1983, CENTRAL ZONE.

CONTAINING 5,434 SQUARE FEET OR 0.125 ACRES AND 272 LINEAR FEET, MORE OR LESS.



SCALE: 1" = 50'

P.O.B.

S87°54'12"E  
35.00' E. GRAND STREET

N02°11'39"E 241.85'

S02°11'39"W 221.91'

COUNTRY CLUB PROPERTIES, LC  
BOOK 2022, PAGE 16823-22

TRIPLE S PROP INC./MSHP  
PLAT BK. 22, PG. 107

SCENIC STATION  
PLAT BOOK 22, PAGE 107

EASEMENT RELINQUISHMENT  
13,599± SQ. FT.  
0.31± ACRES  
506± LN. FT.

LOT 1

S02°09'34"W  
20.00'

S87°47'41"E 256.66'

N87°47'41"W 291.68'

S. CLIFTON AVENUE

DELMAR MEADOWS, LP  
BK. 2024, PG. 12871-24

LOT 4



COA #000062



3213 S. West Bypass  
Springfield, MO 65807  
417.866.2741  
weareown.com

FORMERLY ANDERSON ENGINEERING

DELMAR MEADOWS, LP  
**EASEMENT  
RELINQUISHMENT SKETCH**  
CLIFTON AVE., SPRINGFIELD, MO

DRAWN BY:  
GAS  
DATE:  
09-03-2025  
FIELD BY:  
JOB#:  
25SP20079



SCALE: 1" = 50'

SCENIC STATION  
PLAT BOOK ZZ, PAGE 107

**LOT 1**

COUNTRY CLUB PROPERTIES, L.C.  
BK. 2022, PG. 016823-22

**P.O.B.**

N02°11'39"E  
20.00'

S87°47'41"E 271.68'

N87°47'41"W 271.69'

**EASEMENT RELINQUISHMENT**  
5,434± SQ. FT.  
0.125± ACRES  
272± LN. FT.

S02°09'34"W  
20.00'

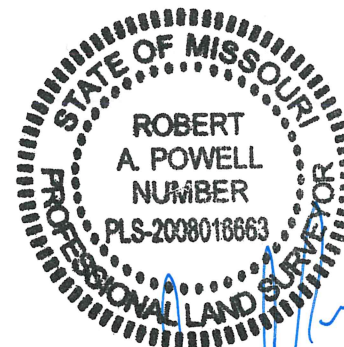
S. CLIFTON AVENUE

DELMAR MEADOWS, LP  
BOOK 2024, PAGE 012871-24

**LOT 4**

TALIA APARTMENTS, LP  
BOOK 2016, PAGE 46592-16  
LOT 3

W. DELMAR STREET



*Handwritten signature and date: 4-7-25*

COA #000062



3213 S. West Bypass  
Springfield, MO 65807  
417.866.2741  
weareown.com  
FORMERLY ANDERSON ENGINEERING

DELMAR MEADOWS, LP  
**EASEMENT  
RELINQUISHMENT SKETCH**  
CLIFTON AVE., SPRINGFIELD, MO

DRAWN BY:  
GAS  
DATE:  
10-11-2023  
FIELD BY:  
JOB#:  
23SP20026

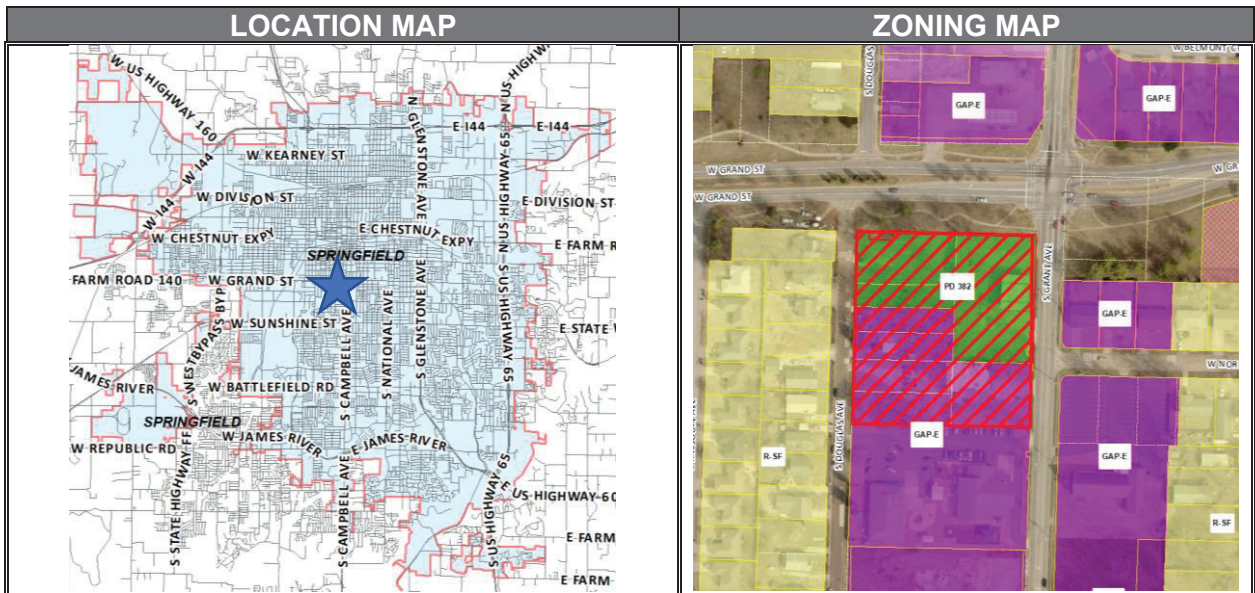
## DEVELOPMENT REVIEW STAFF REPORT

### PROJECT INFORMATION:

<b>Case Number:</b>	Planned Development 394
<b>Location:</b>	1012, 1015, 1020, 1024, 1028, 1036, 1037 and 1040 South Douglas Avenue and 1015, 1025, 1037 South Grant Avenue
<b>Total Acres:</b>	2.5 acres
<b>Applicant:</b>	Tribeca Park LLC
<b>Existing Land Use:</b>	Vacant/undeveloped lots
<b>Neighborhood Meeting:</b>	December 16, 2025
<b>Planning and Zoning Commission:</b>	February 12, 2026
<b>City Council:</b>	March 9, 2026
<b>Public Notification:</b>	Mail, posted property, and legal in the Springfield News-Leader
<b>Staff:</b>	Michael Sparlin, Senior Planner
<b>Staff recommendation:</b>	Staff recommends approval
<b>Proposed motion:</b>	I move to recommend approval of rezoning case Planned Development 394 (All commission motions are made in the affirmative).
<b>Required Vote:</b>	A majority of those present (5 members are a quorum).

### PROJECT SUMMARY:

Request to rezone approximately 2.5 acres generally located at 1012, 1015, 1020, 1024, 1028, 1036, 1037 and 1040 South Douglas Avenue and 1015, 1025, 1037 South Grant Avenue from Planned Development 382 and Grant Avenue Parkway District Subdistrict E to Planned Development 394.

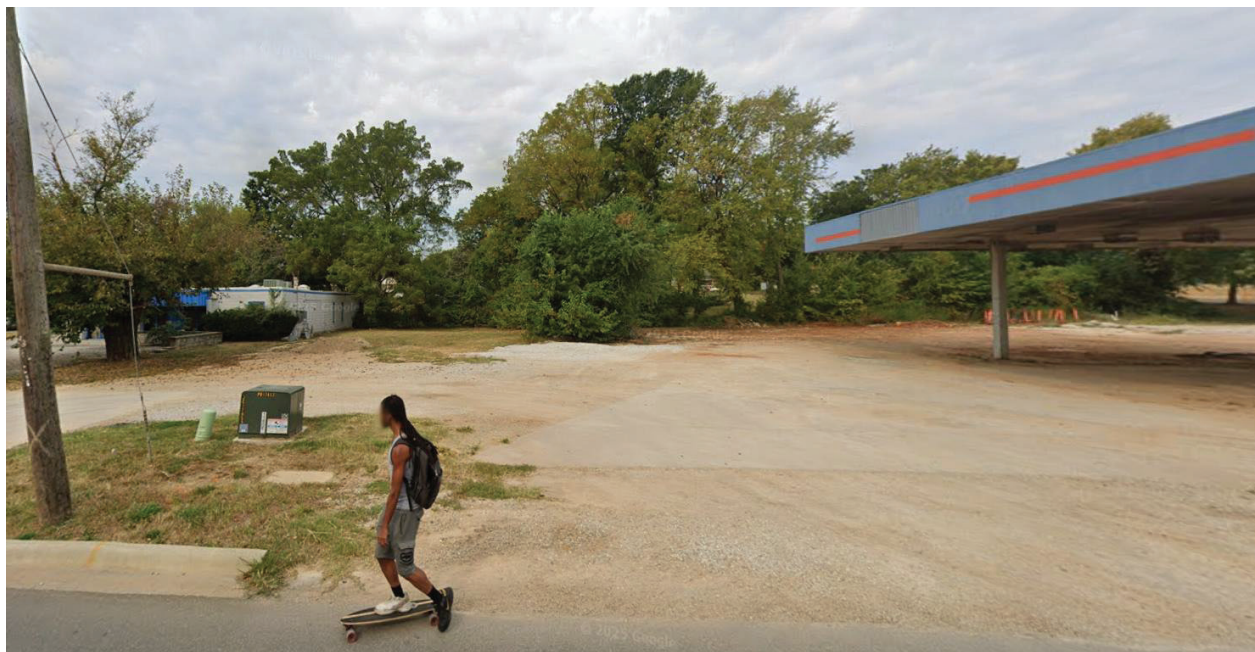


## DEVELOPMENT REVIEW STAFF REPORT

### GOOGLE AERIAL OF LANDMARKS, BUSINESSES, AND ATTRACTIONS:



### GOOGLE STREETVIEW:



## DEVELOPMENT REVIEW STAFF REPORT

### PROPERTY HISTORY:

Since the citywide rezoning in 1995, the property was zoned GR, General Retail District until 2021. The subject properties were rezoned to the Grant Avenue Parkway District Subarea E on June 28, 2021. The north portion of the subject property was rezoned to Planned Development 382 on August 22, 2022.

### PLANNING AND ZONING COMMISSION AUTHORITY:

#### Sec. 36-367. – Amendments

(7) Findings by the commission.

(a) Rezoning. If the application is for a reclassification of property to a different zoning district classification on the zoning map, the report of the planning and zoning commission may consider:

1. Whether the proposed zoning district classification is consistent with the Springfield Comprehensive Plan;
2. Whether there are any changed or changing conditions in the area affected that make the proposed rezoning necessary;
3. Whether the range of uses in the proposed zoning district classification are compatible with the uses permitted on other property in the immediate vicinity;
4. Whether adequate utility and sewer and water facilities exist or can be provided to serve the uses that would be permitted on the property if it were rezoned;
5. The impact the uses, which would be permitted if the property were rezoned, will have upon the volume of vehicular and pedestrian traffic and traffic safety in the vicinity;
6. Whether the proposed rezoning would correct an error in the application of this article as applied to the subject property;
7. Whether a reasonably viable economic use of the subject property will be precluded if the proposed rezoning is denied; and
8. Information submitted at the public hearing.

### COMPATIBILITY WITH COMPREHENSIVE PLAN:

The request is consistent with the recommendations of the *Grant Avenue Parkway Corridor Plan* which is the most recent addition to the *Comprehensive Plan*.

The City of Springfield developed the Grant Avenue Parkway Corridor Plan to align with future land use and development policies defined in the Forward SGF Comprehensive Plan.

The plan recommends a mix of uses at key intersections. Compact, mixed-use development should be encouraged at key intersections including, Grand Street, and Catalpa Street. A mix of uses at key intersections will contribute to a vibrant Grant Avenue corridor with a steady flow of Parkway commuters, employees, shopping and dining visitors, and local residents.

Complementary transportation improvements such as improved or extended side streets, rear access drives, and mid-block crossings should be implemented alongside new development to

## DEVELOPMENT REVIEW STAFF REPORT

create compact, easy-to-walk blocks. The intensity of mixed-use areas should vary depending on their location along the corridor with smaller scale, local-serving centers at Mt. Vernon Street and Grand Street.

The Grant Avenue Parkway Placemaking Master Plan was developed by consultants using the plan as their framework, highlights Opportunity Nodes along Grant Avenue. One of those nodes is Grand Street. It mentions that the intersection of Grant Avenue and Grand Street has the second highest volume of vehicular traffic (after Sunshine Street) within the study area. With a very wide, suburban-scale right-of way, this node marks the intersection of two very different streets. Grand is a divided street lined primarily by commercial sites and double frontage residential lots. While it is bounded by a generous greenway with meandering paths it lacks character and sense of place. The street currently operates as a gap in the urban fabric over which Grant Avenue Parkway must traverse. Land uses adjacent to this node are a further barrier to its development. While the northwest corner is home to a busy gas station and convenience store, its other three quadrants are currently inactive with a vacant commercial site in the southeast and its eastern quadrants occupied by the backs of double frontage residential lots. The southeast corner presents further challenges by the presence of a narrow strip of land that is owned by the City. This lack of true street frontage makes for a gap in the urban rhythm and warrants redevelopment to create place.

The placemaking recommendations for this node focus on introducing activity to two of the corners at the intersection. The vacant commercial property occupying the southwest corner presents a prime opportunity to introduce a mixed-use development into the node. By combining two of the sites, there is an opportunity to create more of an urban edge with a small commercial/residential building on site. Positioning the building to the north of the site and the parking away from the corner would bring more presence to the intersection. The parking would be screened from the street through landscaping or fencing. Amenities for the residential units would be situated behind the building while the commercial use would occupy the façade facing the parking and orient towards the street. Residential uses along the remaining frontage would provide further street activation by engaging both Grant Avenue and Grand Street with stoops, patios and balconies.

The *Growth Management and Land Use Plan* of the *Comprehensive Plan* states that protection of our existing residential neighborhoods is a prime concern. It is important to ensure that new land uses are not detrimental to residential areas and to recognize the vulnerability of residential areas to certain adverse impacts. This objective does not mean that non-residential land uses are automatically inappropriate in residential areas; it means that design and location criteria must take into account the existing residential areas. Mixed land uses, as well as mixed residential densities, will need to be accommodated in the future. These must be accommodated with sensitivity to existing residential neighborhoods. The plan encourages mixed use. However, where commercial areas are concentrated, they should be sited and designed to have a minimal effect on adjacent lower-intensity development, and the environment.

## DEVELOPMENT REVIEW STAFF REPORT

Protection: Springfield and Greene County should work to protect residential neighborhoods from adverse impacts of proposed development and inappropriate land use changes. New development should be compatible with existing development in terms of scale, materials, rooflines setbacks and open space. Landscaped transitions should be used between sharply differing types of land use. Excessive amounts of traffic, particularly commercial traffic, should not be allowed to pass through residential areas.

Established Neighborhood Commercial areas: “Neighborhood scale” shopping has a wide appeal but requires specific market criteria in order to remain viable. As retailing and transportation have evolved, small shopping areas oriented to the pedestrian have given way to much larger complexes with ample front-door parking and major roadway access. Springfield has followed this national trend. “Bigbox” retailing requires very large sites and big store footprints, two features that do not fit well in older neighborhoods. The objective is to enhance unique characteristics of the city’s designated traditional commercial districts by encouraging appropriate building forms and designs, historic preservation objectives, appropriate site plans, and by maintaining high quality public spaces and infrastructure. It also encourages the enhancement of pedestrian or transit-oriented commercial districts with street furniture, tree planting and improved transit amenities. Design standards support the orientation of new buildings to the street to foster safe and successful commercial districts. Acceptable locations include limiting auto-oriented commercial districts to major arterial streets where the surrounding development pattern will not support high levels of pedestrian use or to streets where auto-oriented land uses can be compatibly concentrated.

The Major Thoroughfare Plan classifies Grand Street as a primary arterial and Grant Avenue as a secondary arterial roadway. This intersection is considered a major intersection. Douglas Avenue is classified as a local roadway.

The *Comprehensive Plan’s Land Use & Development* chapter identifies the subject property within the Mixed-Use placetype.

Areas within the Mixed Use placetype function as activity centers that provide a mix of residential, shopping, services, office, entertainment, and dining options. These centers can also host small to moderate sized manufacturing, maker spaces, artisan shops, galleries, and music venues that contribute to innovation or themed entertainment districts. Depending on the existing character of the area and the vision identified, mixed use areas, districts, corridors, and developments can take on a very prescriptive or wide range of uses as well as design requirements.

The Mixed Use placetype is intended to accommodate existing districts and facilitate the creation of new districts and subareas. This placetype should be reserved for areas in Springfield that contain a diverse range of uses that would not fit into the other, more focused placetypes. These places can include vertically stacked or horizontally laid out mixed-use buildings, like Historic Commercial Street, or they can take the form of larger-scale mixed use

## DEVELOPMENT REVIEW STAFF REPORT

developments, like Chesterfield Village or Galloway Village. Besides mixed-use buildings, this placetype can also include a mixture of primary and supporting uses on separate parcels.

The Mixed Use placetype can include small concentrations of neighborhood-serving businesses, along former streetcar routes. These areas can feature adaptive reuse of non-residential and residential buildings, like those located at the intersection of Cherry and Pickwick in the Rountree Neighborhood. Mixed Use placetypes also include evolving and planned districts or light manufacturing, warehousing, and artisan districts, like the Moon City Creative District or the Trafficway subarea.

Planning for Mixed Use placetypes should include the development of strategic plans to facilitate adoption of contextual regulations to support and implement an identified district or neighborhood vision. Planning should incorporate infrastructure improvements that prioritize the pedestrian and promote an integration of public spaces into private development and increase connectivity with adjoining neighborhoods, activity centers, or institutional and employment centers. Neighborhood planning efforts should identify incompatible uses that do not contribute positively to the adjoining neighborhood, such as industrial, storage, or auto-oriented commercial businesses.

### LAND USES PRIMARY USES

- Multi-family
- Office, hospitality, retail sales and service
- Maker, artisan, and innovation spaces
- Entertainment

### SUPPORTING USES

- Parks, greenways, and open space
- Government, healthcare, and institutional facilities
- Universities, colleges, and vocational schools
- Public and private schools and places of worship
- Low-intensity urban agriculture
- Sports complexes and recreational facilities
- Single-family detached
- Single-family attached

### CHARACTERISTICS TRANSPORTATION & INFRASTRUCTURE

- Transit service is prioritized with bus stops enhanced with shelters and live timetables.
- Pedestrian-friendly infrastructure is provided, like wide sidewalks, pedestrian-scaled lighting, waste receptacles, street trees, landscaping, and benches.
- Pedestrian and bicycle infrastructure, and micro-mobility are integrated.
- Best management practices for stormwater management are required in redevelopment projects and within public rights-of-way, such as permeable paving, rain gardens, green roofs, native landscaping, and other low impact design strategies.
- Traffic-calming measures, such as speed-humps, bump-outs, roundabouts, landscaped chicanes with integrated stormwater management, and on-street parking are used to slow traffic.

## DEVELOPMENT REVIEW STAFF REPORT

- Quality of place and identity is enhanced by preserving and planting trees and other landscaping. Green infrastructure help to calm traffic and double as streetscape elements.
- As technology, trends, and funds permit, utilities are buried or consolidated along rear property lines reducing conflicts with street trees, pedestrian infrastructure, and viewsheds.
- Road diets and streetscape improvements are made to better establish a “pedestrian-friendly” environment.
- Parking is located behind buildings or on-street and arranged to maximize shared parking between multiple uses.

### URBAN DESIGN - BUILDING AND SITE TYPOLOGY

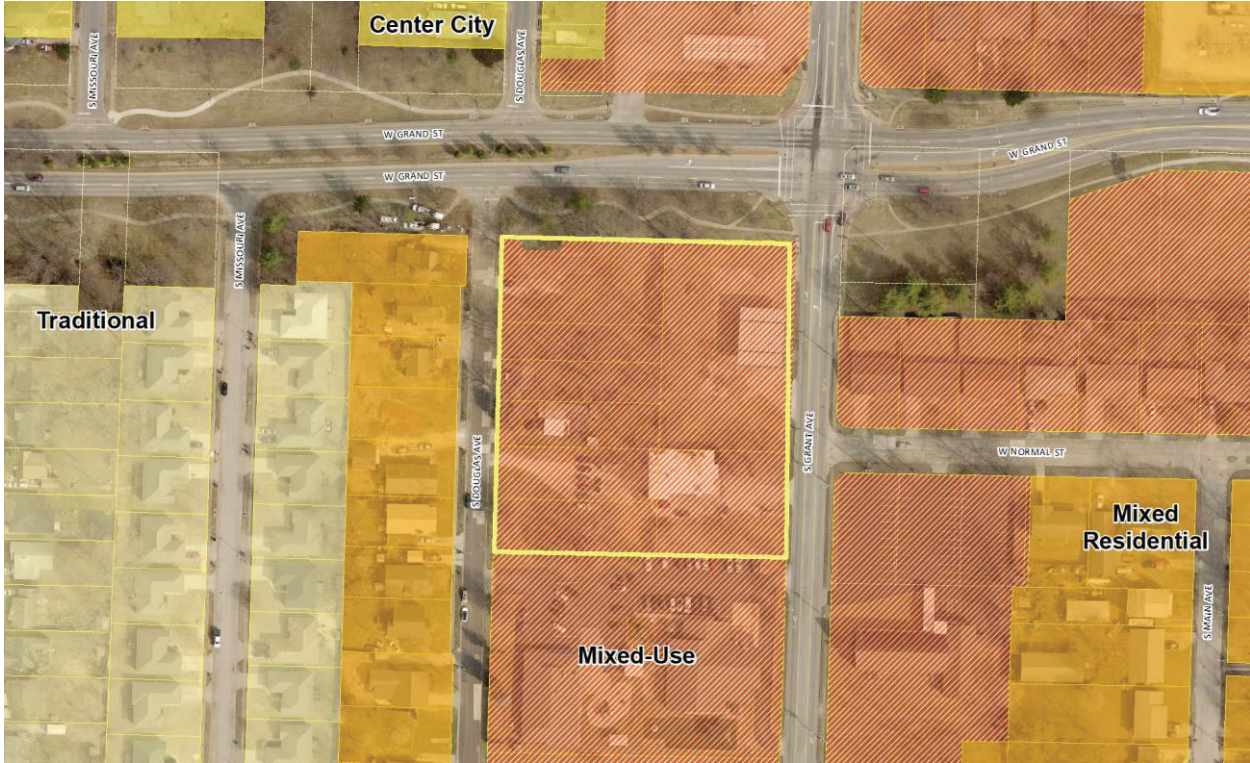
- A mix of building types are present, including adaptive re-use of residential structures, with preference for preserving architecture and neighborhood fabric.
- Building heights are limited to three to four stories, or reduced to complement adjacent lower density residential patterns.
- Buildings are located at or close to the front property line with context-sensitive designs that emphasize the pedestrian and public realm.
- Lighting, landscaping, signage, mail, and delivery accommodations are incorporated into the site design.
- Sense of place is enhanced through streetscaping elements, like benches, pedestrian-scaled lighting, public art, and outdoor seating.
- Local art and cultural elements are incorporated into the streetscape to create a unique center representative of the surrounding residential neighborhood.

### TRANSITIONS

- Locations appropriate for mixed use centers are identified through strategic planning process with clearly defined boundaries.
- Multifamily and single-family attached residential are integrated to buffer mixed use neighborhood nodes from surrounding lower intensity residential areas.
- Screening and buffering are provided between commercial uses and lower-density residential development.
- Strong connections to local universities, innovation districts, and neighborhoods are established through branding and connectivity.

# DEVELOPMENT REVIEW STAFF REPORT

## FUTURE PLACETYPE MAP:



PLACETYPES	LAND USES															
	Single Family Detached	Single-family Attached	Multi-family	Parks & Open Space	Sports Complexes & Recreational Facilities	Urban Agriculture	Office, Hospitality, Retail Sales & Service	Neighborhood Commercial	Maker, Artisan & Innovation Spaces	Public & Private Schools & Places of Worship	Universities, Colleges & Vocational Schools	Personal Healthcare & Institutional Facilities	Light Industry	Warehousing & Distribution Facilities	Heavy Industry & Manufacturing	Airport Railroad & Freight Facilities
Residential Neighborhood	●	○	◇	○	○	○	○	○	○	○	○	○	○	○	○	○
Mixed Residential	●	●	○	○	○	○	○	○	○	○	○	○	○	○	○	○
Downtown	○	○	○	○	○	○	○	○	○	○	○	○	○	○	○	○
Mixed-Use	○	○	○	○	○	○	○	○	○	○	○	○	○	○	○	○
City Corridor	○	○	○	○	○	○	○	○	○	○	○	○	○	○	○	○
Institutional & Employment Center	○	○	○	○	○	○	○	○	○	○	○	○	○	○	○	○
Business Flex	○	○	○	○	○	○	○	○	○	○	○	○	○	○	○	○
Industry & Logistics	○	○	○	○	○	○	○	○	○	○	○	○	○	○	○	○
Urban Green Space & Recreation	○	○	○	○	○	○	○	○	○	○	○	○	○	○	○	○

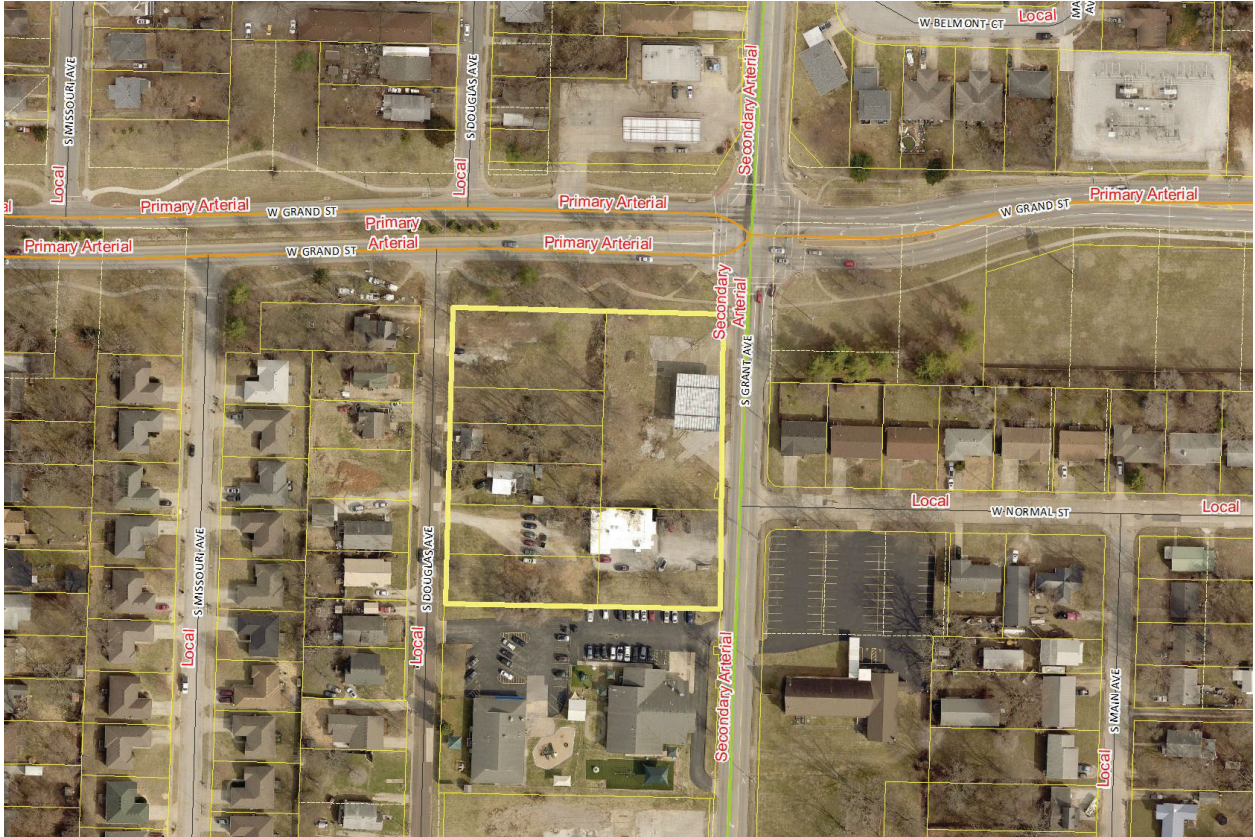
● **Primary Land Use:** More prominent and play a pivotal role in characterizing that placetype

○ **Supporting Land Use:** Less prevalent and serve to support the primary land use.

◇ **Low Intensity Supporting Land Use:** Less prevalent and serve to support the primary use at neighborhood scale

## DEVELOPMENT REVIEW STAFF REPORT

### MAJOR THOROUGHFARE MAP:



### SURROUNDING ZONING, LAND USES AND PLACETYPES:

	NORTH	SOUTH	EAST	WEST
ZONING	GAP Subdistrict E	GAP Subdistrict E	GAP Subdistrict E	R-SF
LAND USE	Convenience store with fuel pumps	Childcare center	Single-family residential uses	Single-family residential uses
PLACETYPES	Mixed Use	Mixed Use	Mixed Use	Mixed Residential

DEPARTMENT OF BUILDING DEVELOPMENT SERVICES:  
 No comments.

CITY UTILITIES:  
 No issues with the proposed rezoning or PD language.

## DEVELOPMENT REVIEW STAFF REPORT

DEPARTMENT OF ENVIRONMENTAL SERVICES WASTEWATER MANAGEMENT DIVISION:

No issues with rezoning. Public sewer is available for the development and all properties are in an approved sewer district.

FIRE DEPARTMENT:

No objections to rezoning.

DEPARTMENT OF PUBLIC WORKS TRAFFIC ENGINEERING DIVISION:

	Street Name	Street Classification	Jurisdiction	ROW from Centerline (ft.)		Traffic Count (vehicles per day)	On-Street Parking	Sidewalk	
				Required	Existing			Required	Existing
Street 1	S. Grant Avenue	Secondary Arterial	City	35	25	5,000	No	Yes	Yes
Street 2	W. Grand Street	Primary Arterial	City	50	65	13,000	No	Yes	Yes
Street 3	S. Douglas Avenue	Local	City	25	20	NA	Yes	Yes	Yes

**ACCESS** - All new and existing driveway approaches shall comply with the requirements of the planned development, and current City of Springfield standards for the street classification.

**TRAILS, BUS STOPS, AND ADDITIONAL INFORMATION** - There are no Greenway Trails near the property. There are no bus stops near the property.

**IMPROVEMENTS** - No improvements are required for this Planned Development. A traffic study is required at the time of development. Any improvements required based on the traffic study are required to be constructed or funds escrowed prior to issuance of building permits.

DEPARTMENT OF PUBLIC WORKS STORMWATER ENGINEERING DIVISION:

**SITE DESCRIPTION & DRAINAGE PATTERN**

	Drainage Basin	Fee in Lieu Flood Control	Fee in Lieu Water Quality	Stream Buffer	Sinkhole or Watershed	Floodplain/Floodway
1015 S Grant Ave	Fassnight Creek	No	No	No	No	No

All chapter and section references below are to the City’s Flood Control and Water Quality Protection Manual Version April 2022.

**DETENTION AND DISCHARGE REQUIREMENTS**

1. The combined lots have some impervious surface. Submitted site plan increases the impervious surface and requires flood control.

a. Existing downstream flooding along Grant Ave is documented. Flood control is required. Some areas may be unable to drain to the box culvert. These areas must be minimal if released to the Grant Ave or Douglas Ave ROW. Compensatory flood control storage would be required.

b. No discharge can be directed south onto private property at 1051 S Grant Ave.

## DEVELOPMENT REVIEW STAFF REPORT

2. The 12' x 4' box culvert draining to Fassnight Creek crosses the site on the SE corner. This box culvert cannot be moved but future SCMs must drain to the box culvert.

### **WATER QUALITY REQUIREMENTS**

1. Water Quality is required for new development projects or redevelopment projects, with new or increased impervious surfacing, within the city limits of Springfield that disturb 1 acre or greater. Including projects less than 1 acre that are part of a larger common plan of development or sale that will disturb 1 or more acres over the life of the project. Chapter 10 Sec. 2.0.
2. A land disturbance permit will be required with disturbing 1 acre or greater per Chapter 4 Section 5 of the City's Flood Control and Water Quality Protection Manual.
3. Water Quality Credits are available to use in design for preserved trees and new planted trees. Landscaping and Bufferyards trees required by planning cannot be used for the water quality credits unless it is part of a SCM. Chapter 10, Section 3.1.

### **FLOODPLAIN**

N/A

### **NATURAL CHANNEL & STREAM BUFFERS**

N/A

### **SINKHOLES & KARST FEATURES**

N/A

## STAFF ANALYSIS AND RECOMMENDATION:

1. The applicant is requesting to rezone approximately 2.5 acres generally located at 1012, 1015, 1020, 1024, 1028, 1036, 1037 and 1040 South Douglas Avenue and 1015, 1025, 1037 South Grant Avenue from Planned Development 382 and Grant Avenue Parkway District Subdistrict E to Planned Development 394.
2. The applicant intends to develop a 3 to 4 story mixed use development with a food hall on the ground floor and multi-family residential units on the upper floors.
3. The request is consistent with the recommendations of the *Grant Avenue Parkway Corridor Plan* and the GAP zoning district. The purpose of the GAP District is to regulate the development of the parcels along Grant Avenue Parkway between College Street and Fassnight Park to ensure consistency with the Plan. The GAP Plan and the GAP District both support a compact mixed use (upper story multifamily neighborhood scale commercial, retail, services and/or office uses) and is intended to provide greater flexibility in use by requiring high-quality design that fosters sense of place to promote reinvestment and redevelopment that leverages the new Parkway as an asset.
4. In November 2019, the City of Springfield received notice of award of a 21- million-dollar federal Better Utilizing Investments to Leverage Development ("BUILD") grant to design and build the Grant Avenue Parkway which linked Downtown and the Wonders of Wildlife/Bass Pro Shops complex along Grant Avenue.

## DEVELOPMENT REVIEW STAFF REPORT

5. On March 16, 2021, City Council, by Resolution No. 10565, adopted the Grant Avenue Parkway Corridor Plan as an element of the Springfield Comprehensive Plan to guide the development decisions in the neighborhoods and public spaces along the Grant Avenue Corridor.
6. The plan recommends compact, mixed-use development should be encouraged at key intersections including College Street, Mt. Vernon Street, Grand Street, and Catalpa Street. A mix of uses at key intersections will contribute to a vibrant Grant Avenue corridor with a steady flow of Parkway commuters, employees, shopping and dining visitors, and residents.

The proposed PD maintains provisions from the GAP district subdistrict E such as the permitted uses, landscaping and buffer area, screening, most of the design guideline provisions, exterior lighting, off-street parking and signs provisions. The proposed PD proposes the following changes:

- a. GAP Subarea E requires a continuous nonresidential façade along Grant Avenue and multifamily dwelling units may be a component of mixed use developments but shall be located either above the ground floor. The proposed PD would allow Building B to have residential units on the ground floor along Grant Avenue. This is due to a site constraint of an underground box-culvert running through the property which impacts the developable area along Grant Avenue. The development would have to split the non-residential component into two different buildings in order to ground floor non-residential. Alternatively, the applicant has proposed to develop the non-residential ground floor on the Grand Avenue frontage where this building can be built across the full length of the street.
  - b. No setback is required for the north and east property line. These lot lines are not adjacent to other properties because this property is on the corner of Grant Avenue and Grand Street.
  - c. Increase tree plantings along Grant Avenue and Douglas Avenue to be more consistent with the forthcoming Land Development Code.
  - d. Allows for 12% open space (GAP district requires 20%). Staff supports this with the additional trees.
7. The subject property has access to City Utilities infrastructure, and any necessary extension of such services can be provided via City Utilities' extension policy, though new easements may be necessary to accommodate this.
  8. There are few changing conditions in the area affected that make the proposed rezoning necessary. Minor development of property within the vicinity has been occurring.
  9. The range of uses in the proposed PD district is compatible with the uses permitted on other property in the immediate vicinity.
  10. There are adequate utility and sewer and water facilities existing or can be provided to serve the uses that would be permitted on the property if it were rezoned.

## DEVELOPMENT REVIEW STAFF REPORT

11. The impact of the uses, which would be permitted if the property were rezoned, is not expected to significantly increase the volume of vehicular and pedestrian traffic or reduce traffic safety in the vicinity.
12. The proposed zoning will not correct an error in the application of this article but rather will provide a viable use of the property subject to the provisions of the zoning district.
13. A reasonably viable economic use of the subject property will not be precluded if the proposed rezoning is denied.
14. The applicant held a neighborhood meeting on January 15, 2026, regarding the rezoning request. A summary of the meeting is attached (Attachment 1).
15. The public notice was advertised in the Springfield News-Leader at least 15 days prior to the public hearing. The property was posted by the applicant at least 10 days prior to the public hearing. Public notice letters were sent out at least 10 days prior to the public hearing to all property owners within 185 feet.

### STAFF RECOMMENDATION:

1. Staff recommends approval based on the proposal's general conformance to the Comprehensive Plan's Mixed Use placetype and the *Grant Avenue Parkway Corridor Plan* and on the finding of facts above.

### PLANNING AND ZONING OPTIONS:

The planning and zoning commission shall make one of the following recommendations in connection with each proposed change in zoning district classification of this article:

1. Recommend against the proposed change in the zoning district classification.
2. Recommend a change in the zoning district classification.
3. Recommend a change in the zoning district classification together with recommendations which, in the judgment of the planning and zoning commission, will protect adjacent property and ensure that the proposed amendment is consistent with the purpose and intent of this article.

**AFFIDAVIT OF NEIGHBORHOOD NOTIFICATION AND MEETING SUMMARY**

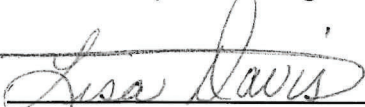
1. Request change to zoning from: GAP-E to PD  
*(existing zoning)* *(proposed zoning)*
2. Meeting Date & Time: 4:00-6:30 pm
3. Meeting Location: Springfield Fire Department Station , 720 E Grand St.
4. Number of invitations that were sent: 188
5. How the mailing list was generated: Through the City of Springfield
6. Number of neighbors in attendance (attach a sign-in sheet): 9
7. List the verbal comments and how you plan to address any issues:  
(City Council does not expect all the issues to be resolved to the neighborhood's satisfaction; however, the developer must explain why the issues cannot be resolved).

Please see attached summary

8. List or attach the written comments and how you plan to address any issues:

Please see attached summary.

I, Lisa Davis (*print name*), attest that the neighborhood meeting was held on December 16, 2025 (*month/date/year*), and is at least twenty-one (21) days prior to the Planning and Zoning Commission public hearing and in accordance with the attached "Neighborhood Notification and Meeting Process."

  
\_\_\_\_\_  
*Signature of person completing affidavit*

Lisa Davis  
\_\_\_\_\_  
*Printed name of person completing affidavit*

Summary for the Tribeca Neighborhood Meeting held on December 16, 2025, from 4:00–6:30 PM.

The meeting began with two couples, Chris and Debbie Goodwin (635 W Normal) and Jeff and Dennetta Thielen (930 S Douglas), who primarily asked about the proposed zoning changes and potential parking impacts. Jared Davis explained that the new zoning is more encompassing but not drastically different, and clarified that parking would accommodate one tenant per housing unit plus retail parking.

Charity Brady (621 W Normal) arrived next and voiced concerns about the development's effect on the OCAC, traffic, and parking, as well as the overall timeline. Jared Davis confirmed there would be no impact on the OCAC. These residents then departed.

Candace Froge (639 S Grant Ave), representing the West Central Neighborhood HOA Board, stated the board would like to see a pickleball facility included in the development.

George Rench (806 E Delmar) arrived and indicated his interest in selling his properties on Douglas Street (1019, 1023, 1029, 1037, 1043, 1049, 1065, 1071, 1075, 1185, and 1111). Mr. Rench then left.

Marie Greenhagen (7455 Market Ave) and Kathleen Cowens (741 S Market Ave) arrived, focusing their concerns on green space, runoff, parking, and air quality. They requested the use of native plants and expressed a strong desire to keep existing trees and plant more in the parking areas.

**EXHIBIT 1**  
**Requirements and Standards Applicable to**  
**Planned Development District No. 394**

**APPLICATION**

Building or other permits may not be issued for development permitted by this planned development nor can any changes be made to this property until the final development plan has been approved in the manner described at the end of this exhibit.

All requirements of the *Springfield Zoning Ordinance* shall apply unless modified by the requirements and standards that follow.

**INTENT**

The purpose of this planned development is to provide a local-serving, mixed-use building in a neighborhood center setting that will add to the Grant Avenue Parkway community. This development will bring together food, fun, and community with a large food hall that opens directly onto the parkway, encouraging visitors to flow naturally between the two spaces. Amenities include a coffee shop with indoor seating, multiple food options within the hall, inviting pavilion with a large courtyard space, an outdoor walk-up yard bar, and convenient off-street parking.

The development will connect to and extend the Fasnicht Creek Greenway trail into the site, as well as connect to and extend the sidewalk along Grand Avenue. The site is within walking distance to Fasnicht Park, Springfield Skate Park, and Parkview Highschool, and will help to create a welcoming, complementary entrance from Grand Avenue into the Fasnicht Park area.

The development has received support from both the Fasnicht Neighborhood Association and the West Central Neighborhood Alliance, which border the development to the south and the north, respectively. Both have provided glowing letters of support, outlining how the project will serve as an activity center and neighborhood hub, and will enhance beauty, improve safety, and create community in the neighborhood. These letters of support can be found in the Appendix.

**DEFINITIONS**

The definitions contained in the *Zoning Ordinance* shall apply to this ordinance.

**USES PERMITTED**

1. As allowed in the Grant Avenue Parkway (GAP) zoning, Subdistrict E.

**ACCESSORY USES PERMITTED**

1. As allowed in the Grant Avenue Parkway (GAP) zoning, Subdistrict E

**TEMPORARY USES**

1. As allowed in the Grant Avenue Parkway (GAP) zoning, Subdistrict E

## **USE LIMITATIONS**

1. All uses shall operate in accordance with the noise standards contained in *Section 36-485 of the Springfield Zoning Ordinance*.
2. No use shall emit an odor that creates a nuisance as determined by *Chapter 2A, Article X, Springfield City Code*.
3. Multifamily dwelling units on the ground floor shall be allowed along Grant Avenue with no mixed use component in Building "B". The property has approximately 350 linear feet of frontage along Grant Avenue where mixed use should be provided. Building "B" along Grant Avenue will provide no mixed use component due to the limited space available and the existing box culvert impacting developable area along Grant Ave. In lieu of providing mixed use in Building "B" along Grant Avenue, Building "A" will provide 365 linear feet of mixed use on the ground floor fronting both Grand Street and Grant Avenue. The mixed use on the ground floor provided in Building "A" will be considered as meeting the intent of the Grant Avenue Parkway zoning, Subdistrict E.
4. Multifamily dwelling units are permitted on the ground floor of Building "B" fronting Grant Ave.

## **INTENSITY OF DEVELOPMENT**

Development will consist of the following:

1. Maximum 5,000 SF for outdoor seating & recreation area
2. Maximum 20,000 SF indoor restaurant area
3. Maximum 400 SF outdoor bar area
4. Maximum 3,000 SF covered recreation area/parking
5. Maximum 87,000 SF residential area

## **BULK, AREA AND HEIGHT REQUIREMENTS**

Development shall adhere to the following standards.

1. The minimum height of any building shall be 3 stories.
2. The maximum height of any building shall be 4 stories.
3. The following minimum setbacks shall be required:
  - a. No setback along the north boundary.
  - b. No setback along the east boundary.
  - c. Ten (10) feet for building and parking along the north half of the west boundary.
  - d. Five (5) feet for building and parking along the southern west boundary.
  - e. Five (5) feet for building and parking along the south boundary.

## **OPEN SPACE, LANDSCAPING, BUFFERYARDS & SCREENING**

The landscaping and screening provisions are intended to improve the physical appearance of the District; to improve the environmental performance by contributing to the abatement of heat, glare and noise, and by promoting natural percolation of storm water and improvement of air quality; to buffer potentially incompatible land uses from one another; and to conserve the value of adjoining property and neighborhoods.

1. Minimum 12% open space required.

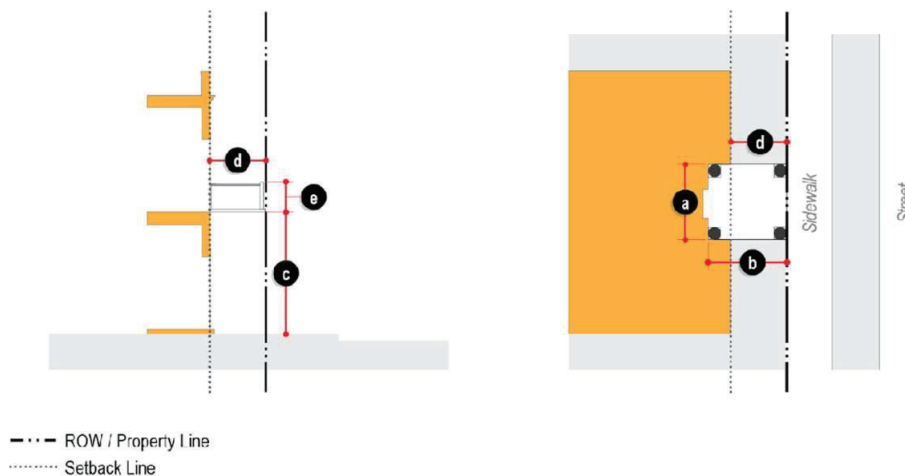
2. One overstory tree per 40' linear feet or one understory tree per 20' linear feet of street is required along Grant Avenue and Douglas Avenue frontage. Along Grand Street frontage, same planting standard but can count existing trees in right-of-way as credit.
3. The landscape and buffer area provisions of *Section 36-492 of the Springfield Zoning Ordinance* in effect at the time of development shall apply.
4. The Screening provisions of *Section 36-493 of the Springfield Zoning Ordinance* in effect at the time of development shall apply.

## DESIGN GUIDELINES

### Frontage Types

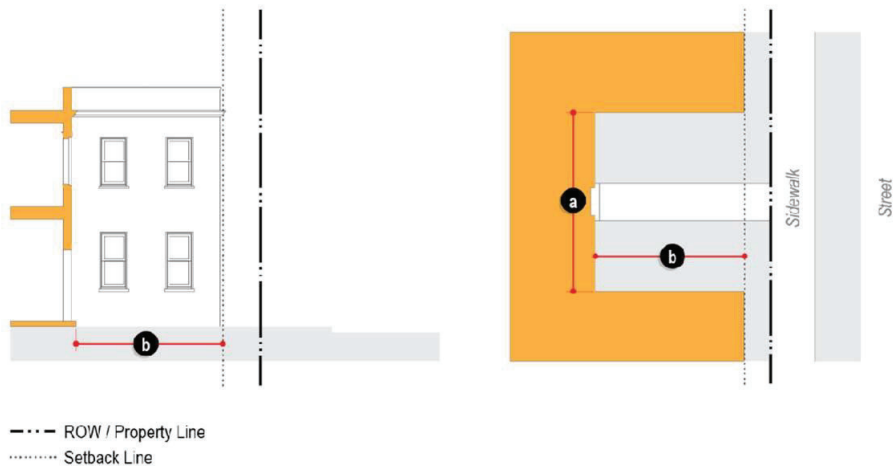
Buildings A and B shall have one frontage type with a building entry for every 150 linear feet of building fronting Grant Avenue and Grand Street. The primary façade of all development shall meet the standards of one of the following frontage types: Integral porch, balcony, forecourt and shopfront.

1. *Balcony (Figure 01)*. The primary facing façade of the building is set back a minimum of eight feet if balconies are to project and may be at the property line if balconies are to be recessed. Projecting and recessed balconies must remain open on all sides except those along an exterior wall to which the balcony is attached. Projecting and recessed balconies must be fully supported by the building, with no posts extending to the ground. The following standards shall apply to balconies and shall be considered minimum requirements unless otherwise stated.
  - a. *Width*. Four feet.
  - b. *Depth*. Four feet.
  - c. *Vertical clearance*. Eight feet.
  - d. *Projection from building façade*. Eight feet, maximum.
  - e. *Railing height*. Five feet, maximum.



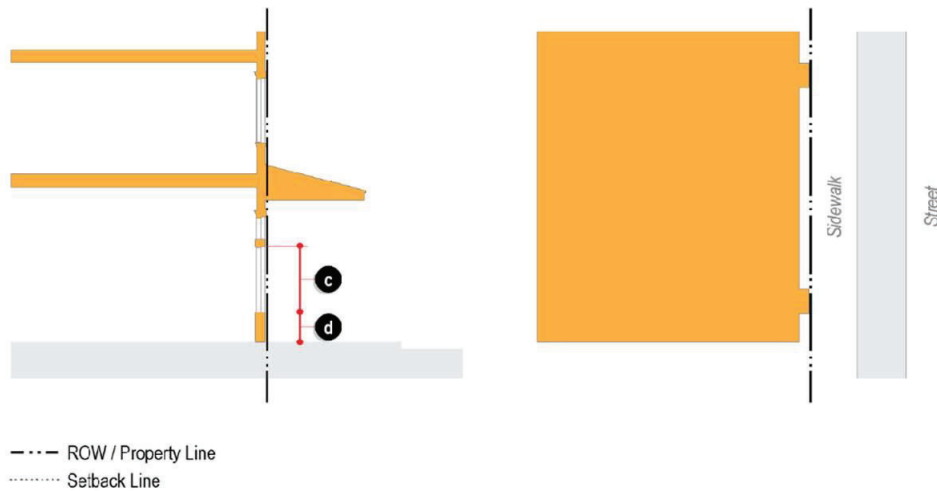
**Figure 01: Balcony Frontage Type**

2. *Forecourt (Figure 02)*. A portion of the primary façade of the building is at the property line and a small percentage is set back, creating a small court space. The space could be used as an entry court or shared garden space for multifamily buildings, or as an outdoor dining, plaza, or public gathering area for nonresidential uses. The proportions and orientation of these spaces should be carefully considered for solar orientation and user comfort. The following minimum standards shall apply to forecourts.
  - a. *Width*. Twelve feet.
  - b. *Depth*. Twelve feet.



**Figure 02: Forecourt Frontage Type**

3. *Shopfront (Figure 03)*. The primary façade of the building is at the property line with an at-grade entrance either at the property line or recessed to allow the main entrance to swing outwards without obstructing the sidewalk. A canopy or awning element is encouraged to project over the sidewalk along the majority of the frontage. Accordion-style windows/doors or other operable windows that allow the space to open to the street are encouraged. The following standards shall apply to shopfronts and shall be considered minimum requirements unless otherwise stated.
  - a. *Window area*. Sixteen square feet.
  - b. *Window width*. Three feet.
  - c. *Window height*. Four feet.
  - d. *Sill height*. Three feet, maximum.
  - e. *Depth of recessed entrance*. Five feet, maximum.



**Figure 03: Shopfront Frontage Type**

Exterior building cladding materials.

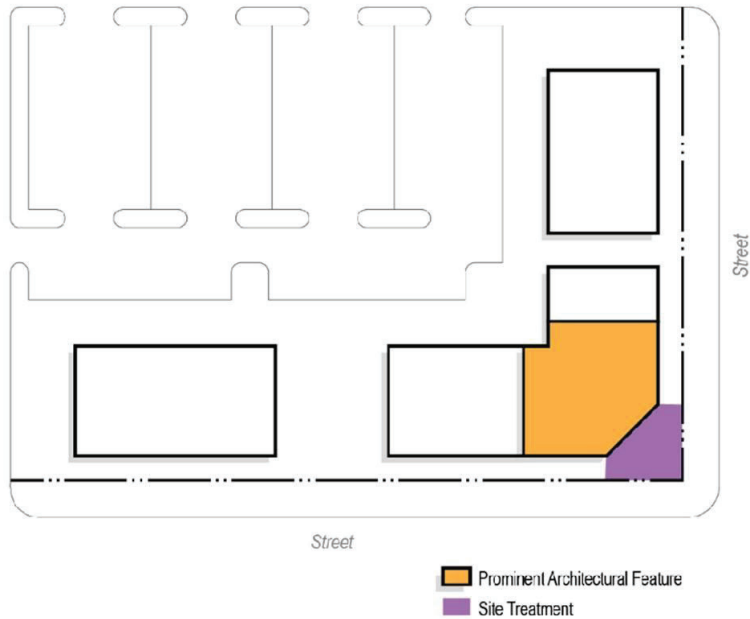
1. Exterior building cladding materials shall be masonry, stone veneer systems, stucco, or other time and weather tested materials approved by the administrative review committee.
2. The ground level must offer pedestrian interest along sidewalks and pedestrian paths through the use of contrasting exterior building cladding materials and elements.
3. In no instance shall the finish of non-natural materials utilized mimic or match the texture of the natural materials utilized.
4. A maximum of three exterior building cladding materials may be used.
5. Vinyl and steel clapboard siding and/or adhered thin veneer exterior building cladding materials shall be prohibited.

Roof finishing.

1. Eaves may expose rafters.
2. Gutters and downspouts may not discharge upon public rights-of-way.

Multifamily, mixed use, and nonresidential uses:

Building siting (Figure 04). Development located at the corner of two streets shall be sited to connect or anchor the corner with prominent architectural features and site treatments.



**Figure 04: Building Siting**

Transparency (Figure 05).

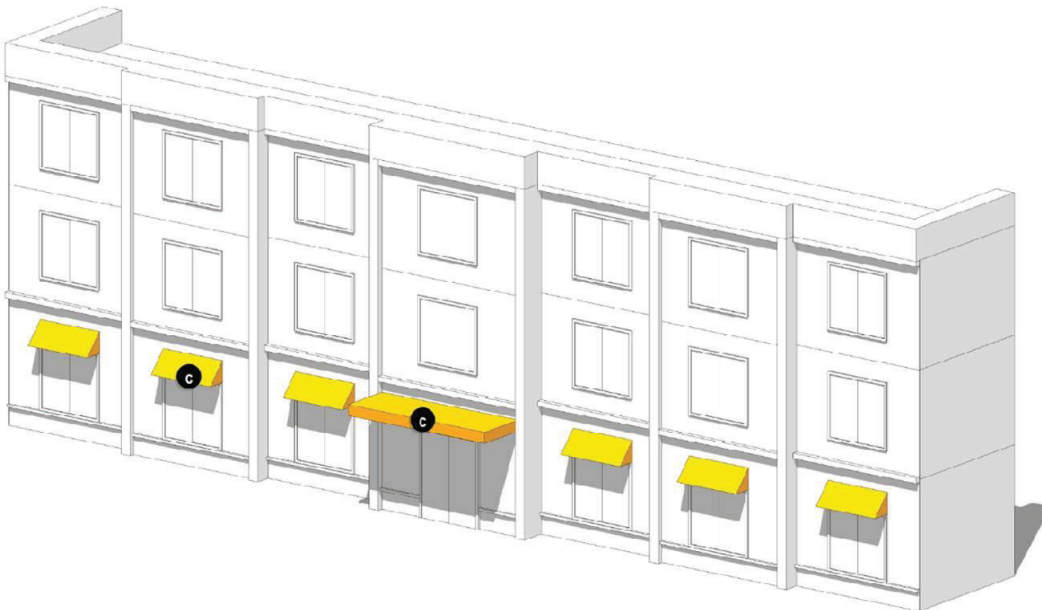
1. Ground level transparency. The ground level of nonresidential or mixed-use buildings must offer pedestrian interest along sidewalks and pedestrian paths through the placement of window and doors. Therefore, the first floor of any building façade facing a public right-of-way, with the exception of alleys, shall include transparent, clear glass windows and/or doors arranged so that the uses inside are visible from and/or accessible to the street. Window and/or doors with reflective or tinted glass that impede views into a building shall be prohibited.
2. *All stories transparency.* All stories of all building facades facing a public right-of-way, with the exception of alleys, shall include at least 40 percent of the subject facade in windows or doors. The administrative review committee may waiver transparency requirements by up to 20 percent for medical and dental office uses.
  - a. 30% building transparency on all street-facing facades.
  - b. 20% building transparency on all non-street facing facades.
  - c. 30% building transparency on first story if ground floor is non-residential.



**Figure 05: Transparency**

Awnings and canopies (Figure 06).

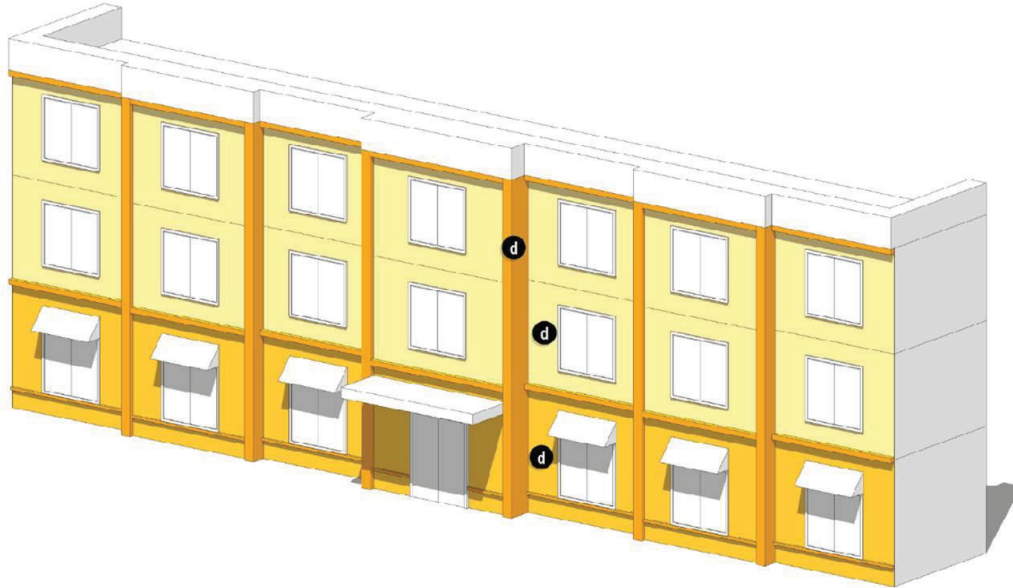
Building awnings, canopies, or similar weather protection devices are encouraged on the first floor of non-single-family development facing a public right-of-way. If provided, awnings or canopies shall project a minimum of three feet and a maximum of ten feet from the façade.



**Figure 06: Awnings and Canopies**

Articulation (Figure 07).

The ground level must offer pedestrian interest along sidewalks and pedestrian paths that face a public right-of-way, with the exception of alleys, through the use of contrasting elements. Façades shall be articulated with a sense of depth by including design elements that create shadow lines, change color or materials, or incorporate other details that together with required landscaping (section 36-492) breakdown large expanses of flat, unembellished surfaces.



**Figure 07: Articulation**

**EXTERIOR LIGHTING**

The requirements and standards of *Section 36-495* of the *Springfield Zoning Ordinance*, in effect at the time of development shall apply.

**ACCESS TO PUBLIC THOROUGHFARES**

Access to the public street system will be generally as shown on Exhibit 2. All other driveways in the frontages of 1015 and 1037 South Grant Street will be closed.

Any access from Douglas Avenue must be a minimum of 50 feet from the intersection with Grand Street.

No direct access is allowed to Grand Street.

**OFF-STREET PARKING**

*Section 36-491* of the *Springfield Zoning Ordinance* in effect at the time of development shall apply.

**SIGNS**

*Section 36-494* of the *Springfield Zoning Ordinance* in effect at the time of development shall apply.

## REQUIRED IMPROVEMENTS

Public and private improvements necessary to adequately accommodate the intensity of development proposed in this District shall be constructed prior to or concurrently with the development of the property. If the development of the property is phased, the construction of the improvements may also be phased provided there is a logical relationship between each phase of the development and the construction of the required improvements. Prior to building permits being issued, the applicant, or subsequent owners shall:

1. Construct the required improvements; or
2. Provide assurances satisfactory to the Director of Public Works guaranteeing that all required improvements will be constructed in accordance with the "Design Standards for Public Improvements" of the Public Works Department.

No certificate of occupancy shall be issued for any structure within this District, or phase of the development, unless:

1. The required improvements are completed prior to occupancy of the structures; or
2. The Director of Public Works has determined that such required improvements, if not completed, have little or no effect on the occupancy of the facility or conditions beyond the control of the contractor, *i.e.*, strikes, weather, etc., have delayed the completion of the improvements.

If one of these conditions occurs, the Director of Building Development Services may permit occupancy under conditions satisfactory to the Director of Public Works that the required improvements will be completed as required by this ordinance within a reasonable time.

Improvements necessary to adequately accommodate the intensity of development in this District include the following.

1. Stormwater Management Facilities  
All storm water management facilities, including detention and water quality, will be constructed in accordance with the "Flood Control and Water Quality Protection Manual" and the "Design Standards for Public Improvements" of the Public Works Department. A fee-in-lieu-of stormwater detention will be filed with the City of Springfield Public Works Department.
2. Traffic Study  
A Traffic Impact is required at the time of development. Any improvements required based on the Traffic Study are required to be constructed or funds escrowed prior to issuance of the building permit.
3. Sidewalks  
There is existing sidewalk along the property frontage of W. Grand Street and S Grant Avenue. There is not existing sidewalk along the property frontage of S. Douglas Avenue. The developer is required to construct sidewalk at the time of development along the property frontage of S. Douglas Avenue.
4. Right-of-Way  
City of Springfield's Transportation Plan classifies S. Grant Avenue as a Secondary Arterial roadway, W. Grand Street as a Primary Arterial roadway and S. Douglas Avenue as a Local roadway. The standard right-of-way width is 35-feet from the centerline for S. Grant Avenue, 50-feet from the centerline for W. Grand Street and 25-feet from the centerline for S. Douglas Avenue. No additional right-of-way dedication is needed along S. Grant Avenue, S. Douglas Avenue, or W. Grand Street. No sight triangles are

required at the intersection of S. Grant Avenue and W. Grand Street and the intersection of S. Douglas Avenue and W. Grand Street. S. Grant Avenue, W. Grand Street and S. Douglas Avenue are all city-maintained roadways.

5. Driveway Access

Driveway access to Grant Avenue and Douglas Street will be generally as shown on Exhibit 2. There are no existing access points onto the property from W. Grand Street and no access will be allowed. There are currently two access points to the property from Grant Avenue and three existing access points from S. Douglas Avenue.

Improvements shall conform to the following standards.

1. All utilities and utility connections shall be located underground, including, but not limited to, electrical and telephone cables, security and other telecommunication systems and wires. Transformers, meters of any type (including electric, gas or other meters), or other apparatus shall be adequately screened and landscaped.

**MAINTENANCE OF COMMON AREAS AND FACILITIES**

The maintenance of common areas and facilities within the District shall remain the responsibility of the developer(s) or shall be assumed by a duly constituted property owners association meeting all legal requirements prescribed by the City Attorney.

**PHASING**

Development may be phased if all public improvements directly related to each phase are completed at the time of its development and improvements serving the District as a whole and the adjoining area are completed in a sequence assuring full utility of the District as a whole and all areas within the District and so that future public improvements required by this ordinance or other applicable ordinances of the City are not compromised or rendered unduly difficult.

**FINAL DEVELOPMENT PLAN**

A final development plan showing conformance with the requirements of this Exhibit, shall be submitted to the Planning and Development Department and approved in the manner described below prior to the issuance of any building permits or prior to the commencement of any of the permitted uses or improvements permitted or required by this exhibit. Development of this District shall be in accordance with the approved final development plan.

Final development plans designating the location of uses shall be submitted to the Administrative Review Committee, either as a whole or in phases.

1. The intent of Exhibit 2 is to illustrate the general location of the sub areas. The boundaries of the sub areas may shift to accommodate the uses. A final development plan shall only be approved if it is in substantial conformance with Exhibit 2 as defined by *Subsection 36-405.09(c) of the Springfield Zoning Ordinance*.
2. The Administrative Review Committee is hereby authorized to approve the final development plan, provided such plan generally conforms to the provisions of the ordinance. The Administrative Review Committee is hereby authorized, at its discretion, to approve minor adjustments and modifications to the site plan. Such authority shall not, however, be construed to permit:
  - A. Any uses within the District other than those specifically prescribed by the ordinance.
  - B. Any increase in the intensity of use permitted within the District.
  - C. Any deviation from the height and setback standards prescribed by the ordinance.

D. Any reduction in required parking prescribed by the ordinance.

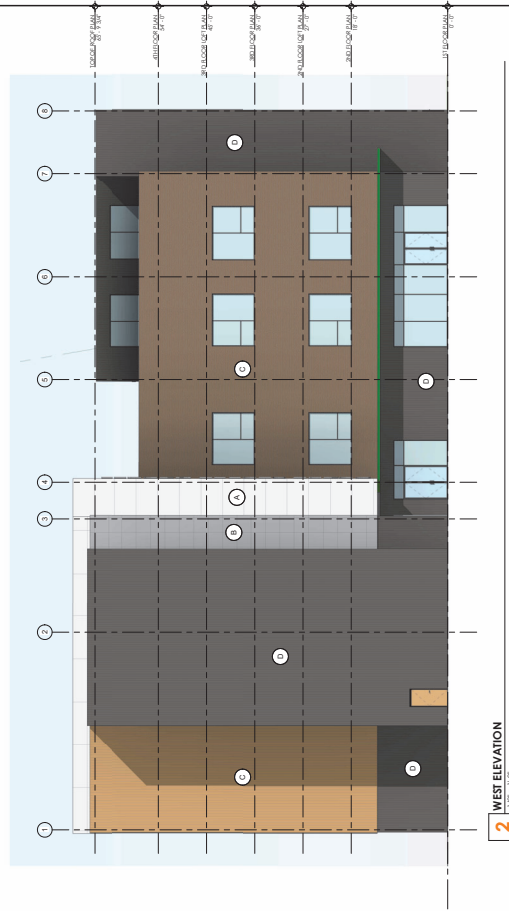




**2** NORTH ELEVATION  
 1/8" = 1'-0"



**1** NORTH-EAST ELEVATION  
 1/8" = 1'-0"



# TRIBECA PARK - BUILDING B

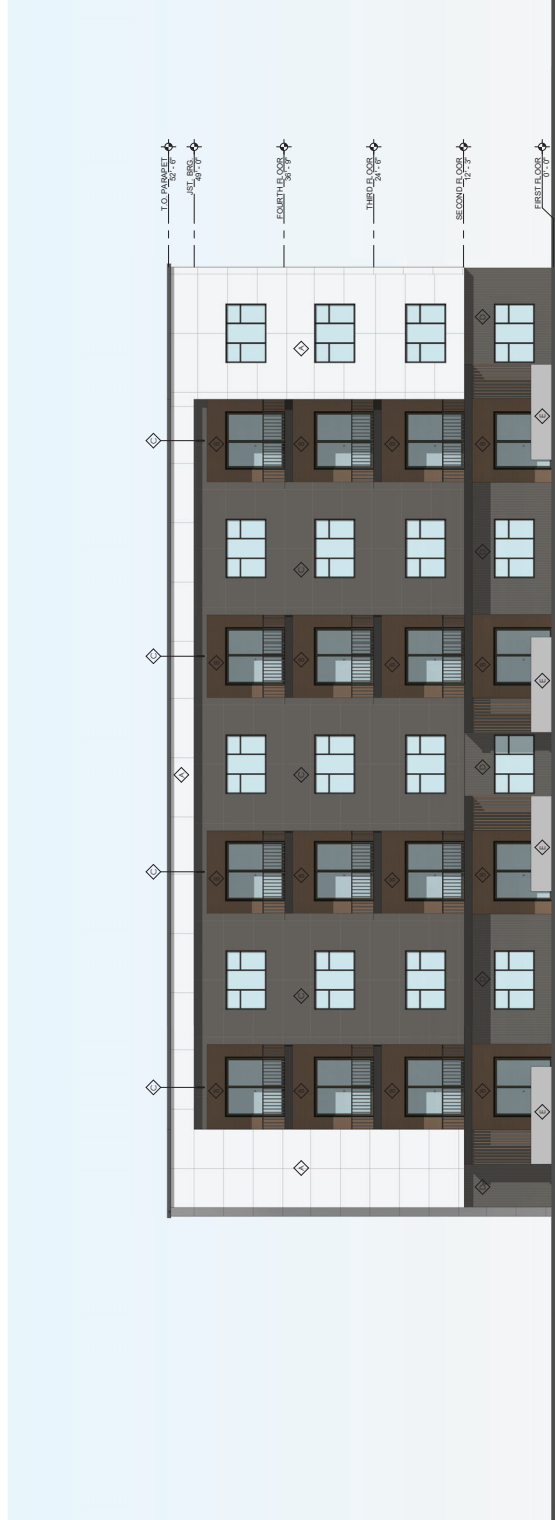
exterior elevations

2026-01-30

EXTERIOR ELEVATIONS



BUILDING ELEVATION - WEST



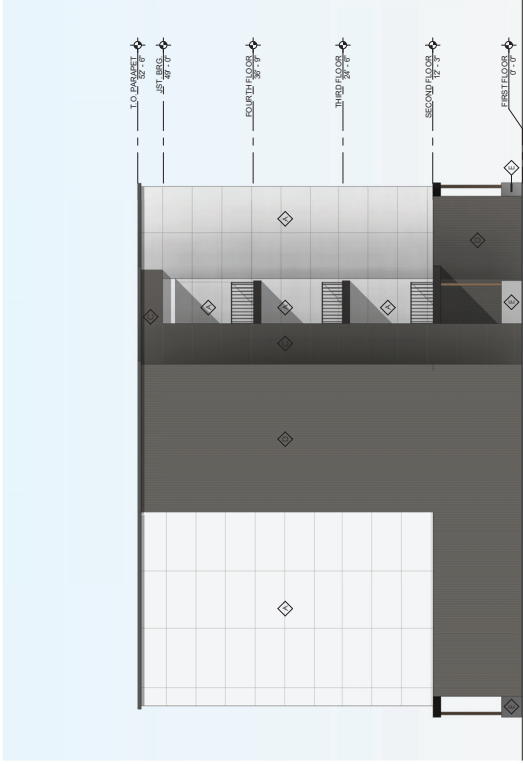
BUILDING ELEVATION - EAST

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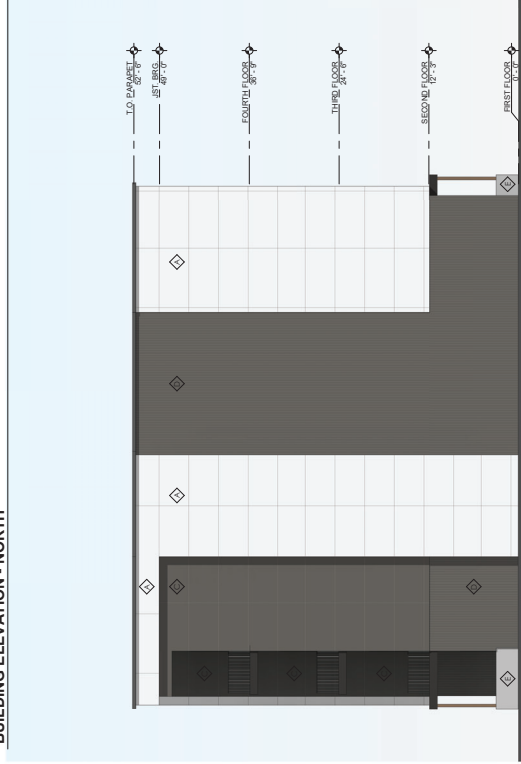
# TRIBECA PARK - BUILDING B

exterior elevations

2026-01-30  
 EXTERIOR ELEVATIONS



BUILDING ELEVATION - NORTH



BUILDING ELEVATION - SOUTH

Planning & Zoning Commission Page 31 of 31

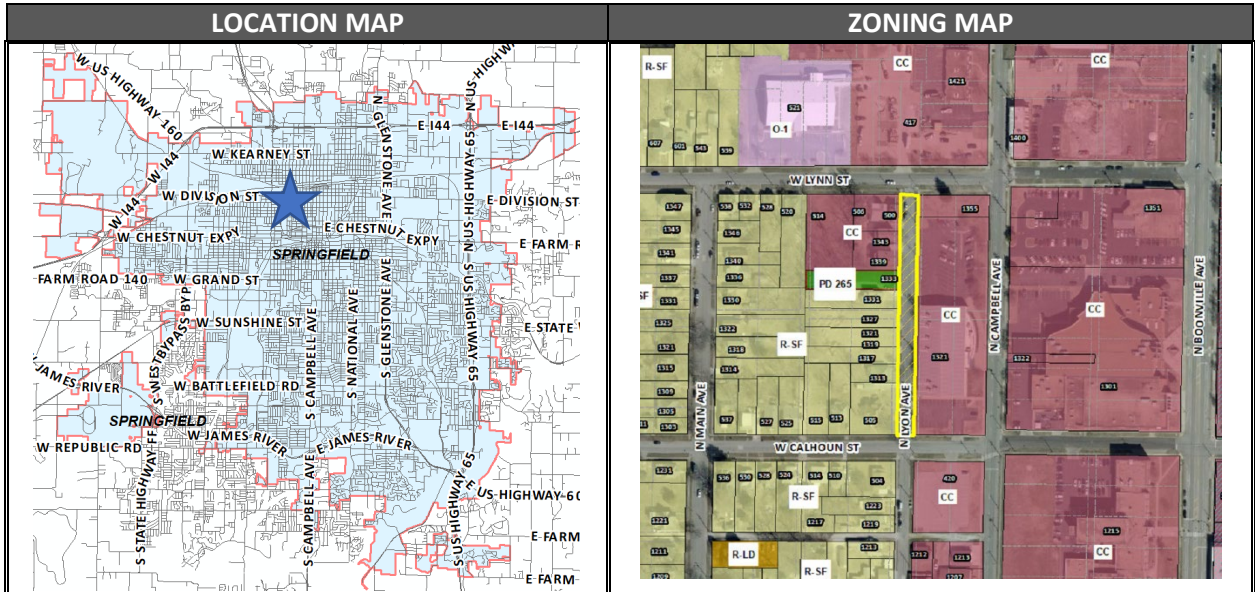
## DEVELOPMENT REVIEW STAFF REPORT

### PROJECT INFORMATION

<b>Case Number:</b>	Vacation No. 843
<b>Location:</b>	1300 block of North Lyon Avenue, between Lynn and Calhoun Streets
<b>Total Acres:</b>	0.5 acre
<b>Applicant:</b>	Central Assembly of God Church
<b>Existing Land Use:</b>	Public street
<b>Neighborhood Meeting:</b>	October 14, 2025
<b>Planning and Zoning Commission:</b>	February 12, 2026
<b>City Council:</b>	N/A
<b>Public Notification:</b>	Mail, posted property, and legal in Springfield News-Leader
<b>Staff:</b>	Daniel Neal, Senior Planner
<b>Staff recommendation:</b>	Staff recommends approval
<b>Proposed motion:</b>	I move to recommend approval of Vacation case No. 841 as submitted in the staff report (All commission motions are made in the affirmative).
<b>Required Vote:</b>	A majority of those present (5 members are a quorum).

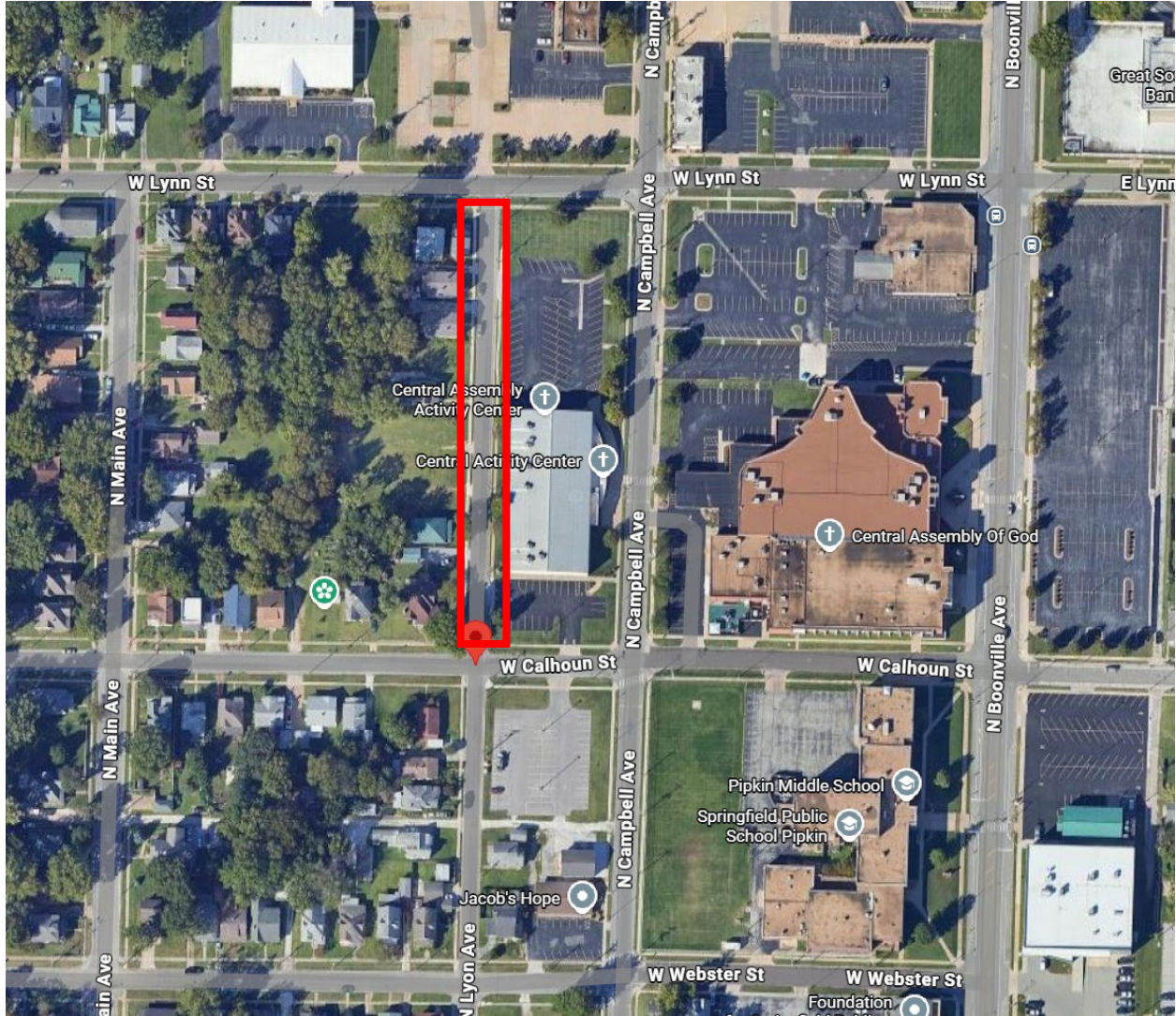
### PROJECT SUMMARY:

Request to vacate the 1300 block of North Lyon Avenue. This is to facilitate the development of a new parking lot for the Central Assembly of God Church that will serve their community center, sanctuary and offices.



# DEVELOPMENT REVIEW STAFF REPORT

## GOOGLE AERIAL OF LANDMARKS, BUSINESSES, AND ATTRACTIONS:



DEVELOPMENT REVIEW STAFF REPORT

GOOGLE STREETVIEW:



## DEVELOPMENT REVIEW STAFF REPORT

### PROPERTY HISTORY:

The subject property was annexed into the City in 1869. Lyon Avenue was originally platted as part of Hendrick's & Jones Addition, which was recorded in 1858.

### PLANNING AND ZONING COMMISSION AUTHORITY:

#### **Sec. 98-151. - Petition for vacation; notice of proposed vacation.**

Any person owning any real estate within the city which has been subdivided by a duly recorded plat may petition the city to vacate the subdivision, or any part thereof, giving a distinct description of the property to be vacated and the names of the owners thereof with proof of their ownership; and any person owning property abutting upon any alley, street, common or public square, or any part thereof, may petition the city to vacate all or any part of the alley, street, common or public square, giving a distinct description of the property to be vacated and the names of the owners of the property abutting thereon. A petition to vacate such land shall be filed with the city clerk and referred to the planning and zoning commission for consideration. Thereupon, the planning and zoning commission shall cause notices of the proposed vacation to be posted in at least three prominent places in the vicinity of the area to be vacated and the petitioner shall cause a notice of the proposed vacation to be published in the daily newspaper having the greatest number of paid subscribers in the city at least 30 days prior to the public hearing, which newspaper shall meet the requirements of RSMo 493.050. No vacation shall take place until the petitioner shall have filed with the executive secretary of the planning and zoning commission proof that notice has been given of such vacation as required in this section, except in no event shall the failure of the planning and zoning commission to post the property in any way affect the validity of the vacation, it being intended by the city council that the legal notice for such vacation shall be solely by newspaper advertisement and that other advertisements shall be for informational purposes. In addition to the methods established by this section for notice, the city manager shall endeavor to cause notices of such vacations to be circulated in the area in accordance with rules to be adopted by the city manager, which rules should be filed with the executive secretary of the planning and zoning commission; provided, however, the failure to give such notice shall in no way affect the validity of the vacation.

1. An area shall not be vacated for at least 15 days following the posting of notice or the first publication thereof as provided in notice of proposed vacation. After the 15-day period, the planning and zoning commission may proceed to vacate the area sought to be vacated with such restrictions and reservations as it may deem for the public good, provided the conditions set forth in this article have been satisfied, unless written opposition shall have been filed with the city clerk by a person owning property abutting on any alley, street, common or public square, or part thereof, proposed to be vacated, within the 15-day period. If an objection is filed within the 15-day period, the planning and zoning commission shall not act to vacate any such area until an additional period of 30 days shall have passed, when, if the objector shall consent to the vacation, in which case the planning and zoning commission may vacate the area as provided in this article.

2. Prior to vacating the land, the planning and zoning commission shall make the following determinations:

## DEVELOPMENT REVIEW STAFF REPORT

- a) All property owners adjacent to the street, alley or public way or within the subdivision have access to another street, alley or public way.
- b) Two-thirds of the property owners adjacent to the street, alley or public way to be vacated have given their consent to the vacation, or, if the request is for the vacation of a subdivision, all of the property owners have given their consent.
- c) The retention of the street, alley, public way or subdivision serves no useful purpose.
- d) The vacation will not affect the ability to use utilities, public or private.

3. If the planning and zoning commission finds that all conditions set forth in subsection 2 of this section have been met, then the planning and zoning commission may adopt a resolution vacating the area. If the planning and zoning commission does not adopt a resolution vacating the area, the applicant may request that the city council hear the request for vacation, provided a request for review is filed within 15 days with the city clerk from the date the planning and zoning commission denies the request. If the planning and zoning commission approves the request to vacate, any person objecting thereto may petition the city council to review the request to vacate by filing an appeal within 15 days with the city clerk from the date the resolution was passed by the planning and zoning commission. If the objector shall not have consented, the city council may approve the vacation, as provided in this section, only upon a finding that the public interest requires such vacation despite the objections thereto. Any person aggrieved by a decision of the city council shall appeal to the county circuit court within 30 days after a decision is rendered by the city council in accordance with the procedures set forth in RSMo ch. 536

### COMPATIBILITY WITH COMPREHENSIVE PLAN:

Not applicable to vacation request

## DEVELOPMENT REVIEW STAFF REPORT

### MAJOR THOROUGHFARE MAP:



### SURROUNDING ZONING, LAND USES AND PLACETYPES:

	NORTH	SOUTH	EAST	WEST
ZONING	Right-of-way	Right-of-way	CC	R-SF & CC
LAND USE	W. Lynn Street	W. Calhoun Street	Office	Single-family and multi-family homes
PLACETYPES	Institutional & Employment	Institutional & Employment	Institutional & Employment	Center City Neighborhood

## DEVELOPMENT REVIEW STAFF REPORT

### DEPARTMENT COMMENTS:

#### AT&T:

Approved, no comments.

#### BUILDING DEVELOPMENT SERVICES:

Approved, no further comments.

#### MEDIACOM:

Approved, no comments.

#### CITY UTILITIES:

The full ROW area to be vacated will need to be reserved/dedicated as a utility easement, or contingency language added so that the vacation is held from recording until the utility easement can be approved on a replat document.

#### DEPARTMENT OF ENVIRONMENTAL SERVICES WASTEWATER MANAGEMENT DIVISION:

ADMSUB2025-00109 has not yet been approved. Either it needs to be approved or replacement sanitary sewer easements are required.

#### DEPARTMENT OF PUBLIC WORKS TRANSPORTATION ENGINEERING SURVEY DIVISION:

Approved, no comments.

#### DEPARTMENT OF PUBLIC WORKS TRANSPORTATION ENGINEERING RIGHT-OF-WAY DIVISION:

Approved, contingent on the Optima Signatures and the replacement sewer easement. Typically, the sewer easement I see specifically identified as a sewer easement instead of being grouped under a "utility easement," but Clean Water Services would be the last word on that, so I don't need anything on that front for approval.

#### FIRE DEPARTMENT:

Approved, no comment.

## DEVELOPMENT REVIEW STAFF REPORT

DEPARTMENT OF PUBLIC WORKS TRAFFIC ENGINEERING DIVISION:

No issues with vacation. A sidewalk easement will need to be established with the replat.

**TRAFFIC REPORT**

	Street Name	Street Classification	Jurisdiction	ROW from Centerline (ft.)		Traffic Count (vehicles per day)	On-Street Parking	Sidewalk	
				Required	Existing			Required	Existing
<b>Street 1</b>	N. Lyon Ave	Local	City	25	20	NA	Yes	Yes	Yes
<b>Street 2</b>	W. Lynn Street	Local	City	25	30	NA	Yes	Yes	Yes
<b>Street 3</b>	W. Calhoun Street	Collector	City	30	30	900	Yes	Yes	Yes

**ACCESS** - All new or modified driveway approaches shall comply with current City of Springfield standards for the street classification. A sidewalk easement will need to be established to maintain a pedestrian connection from Lynn Street to Calhoun Street.

**TRAILS, BUS STOPS, AND ADDITIONAL INFORMATION** - There are no Greenway Trails near the property. There are bus stops at Boonville Ave. and Grant Ave. near the property.

**IMPROVEMENTS** - No improvements are required for this vacation. A Traffic Impact Study (TIS) is not required.

DEPARTMENT OF PUBLIC WORKS STORMWATER ENGINEERING DIVISION:

**SITE DESCRIPTION & DRAINAGE PATTERN**

	Drainage Basin	Fee in Lieu Flood Control	Fee in Lieu Water Quality	Stream Buffer	Sinkhole or Watershed	Floodplain/Floodway
<b>1313 N Lyon Ave</b>	Jordan Creek Lower Branch	No	No	No	No	No

All chapter and section references below are to the City's Flood Control and Water Quality Protection Manual Version April 2022.

**DETENTION AND DISCHARGE REQUIREMENTS**

1. The vacation of N Lyon Ave right-of-way does not trigger a public improvement requirement. The existing ROW is providing curb and gutter drainage for 1321 N Campbell Ave, and 1313-1343 N Lyon Ave. If the street is vacated and future development occurs in the N Lyon Ave area, then it may require some form of storm sewer to connect to the box culvert on Lynn St. This may be done either as a private project or public improvement.

**DEVELOPMENT REVIEW STAFF REPORT****WATER QUALITY REQUIREMENTS**

N/A

**FLOODPLAIN**

N/A

**NATURAL CHANNEL & STREAM BUFFERS**

N/A

**SINKHOLES & KARST FEATURES**

N/A

**ADDITIONAL STORMWATER REQUIREMENTS**

N/A

## DEVELOPMENT REVIEW STAFF REPORT

### STAFF ANALYSIS AND RECOMMENDATION:

1. The applicant is requesting to vacate the 1300 block of N. Lyon Avenue. The applicant has recently requested a rezoning to CC, Center City District, for adjacent R-SF and PD zoned properties.
2. The Central Assembly of God Church owns majority of the adjacent property and plans to incorporate the vacated right-of-way into its property. They are working with the other property owner, Optima Properties, LLC, to replat the adjacent lots to incorporate the vacated right-of-way. This is to facilitate the development of a new parking lot for the Central Assembly of God Church that will serve their community center, sanctuary and offices.
3. The requested vacation meets the approval criteria listed in Attachment 1.

**DEVELOPMENT REVIEW STAFF REPORT**

ATTACHMENT 1  
VACATION APPROVAL CRITERIA

<b>In order to approve the vacation of a public street or alley, the Planning and Zoning Commission must make the following findings.</b>		<b>Staff Response</b>
1.	All property owners adjacent to the street, alley or public way have access to another street, alley or public way.	All adjacent properties have access to other public streets.
2.	The owners of two-thirds of the property adjacent to the street, alley or public way to be vacated have given their consent to the vacation.	The owners of 2/3 of the adjacent property owned by Central Assembly of God has given consent.
3.	That the retention of the street, alley, public way or subdivision serves no useful purpose.	It has been determined that the retention of the public right-of-way is unnecessary.
4.	That the vacation will not affect the ability to use utilities, public or private.	This vacation area contains public utilities, which must be relocated, abandoned, or placed within an easement prior to the vacation.

## DEVELOPMENT REVIEW STAFF REPORT

### ATTACHMENT 2 Legal Description

ALL OF THE UNVACATED PORTION OF NORTH LYON AVENUE (PLATTED UNION STREET) LYING BETWEEN LOTS 2 AND 3 AND LOTS 22 AND 23, INCLUDING THE PORTION THAT INTERSECTS THE 20 FOOT ALLEY, AS DEDICATED IN HENDRICKS' AND JONES' ADDITION TO THE CITY OF SPRINGFIELD, AS SHOWN IN PLAT BOOK A, PAGE 6 IN THE RECORDER OF DEED'S OFFICE IN GREENE COUNTY, MISSOURI, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT A FOUND CUT CROSS AT THE SOUTHEAST CORNER OF LOT 24 IN SAID HENDRICKS' AND JONES' ADDITION, SAID POINT BEING AT THE INTERSECTION OF THE WEST RIGHT-OF-WAY LINE OF NORTH CAMPBELL AVENUE AND THE NORTH RIGHT-OF-WAY LINE OF WEST CALHOUN STREET; THENCE NORTH  $88^{\circ}19'19''$  WEST ALONG THE NORTH RIGHT-OF-WAY LINE OF SAID WEST CALHOUN STREET, A DISTANCE OF 151.92 FEET TO A FOUND  $5/8''$  REBAR ON THE EAST RIGHT-OF-WAY LINE OF SAID NORTH LYON AVENUE, AS IT NOW EXISTS; THENCE NORTH  $88^{\circ}49'33''$  WEST CONTINUING ALONG THE NORTH RIGHT-OF-WAY OF SAID WEST CALHOUN STREET, A DISTANCE OF 40.83 FEET TO A FOUND  $5/8''$  REBAR ON THE WEST RIGHT-OF-WAY LINE OF SAID NORTH LYON AVENUE, AS IT NOW EXISTS; THENCE NORTH  $2^{\circ}10'32''$  EAST ALONG SAID WEST RIGHT-OF-WAY LINE, A DISTANCE OF 543.79 FEET TO THE POINT OF INTERSECTION OF SAID WEST RIGHT-OF-WAY LINE WITH THE SOUTH RIGHT-OF-WAY LINE OF WEST LYNN STREET; THENCE SOUTH  $88^{\circ}59'40''$  EAST ALONG THE SOUTH RIGHT-OF-WAY LINE OF SAID WEST LYNN STREET, A DISTANCE OF 39.83 FEET TO THE INTERSECTION OF SAID SOUTH RIGHT-OF-WAY LINE WITH THE EAST RIGHT-OF-WAY LINE OF SAID NORTH LYON AVENUE, AS IT NOW EXISTS; THENCE SOUTH  $2^{\circ}04'13''$  WEST ALONG THE EAST RIGHT-OF-WAY LINE OF NORTH LYON AVENUE, A DISTANCE OF 543.89 FEET TO THE POINT OF BEGINNING.

Attachment 3

AFFIDAVIT OF NEIGHBORHOOD NOTIFICATION AND MEETING SUMMARY

- 1. Request change to zoning from: R-SF and PD 265 to CC  
(existing zoning) (proposed zoning)
- 2. Meeting Date & Time: October 14, 2025, 4:00pm to 6:30pm
- 3. Meeting Location: 1321 N. Campbell Ave.
- 4. Number of invitations that were sent: 139
- 5. How the mailing list was generated: city staff
- 6. Number of neighbors in attendance (attach a sign-in sheet): 9 (including applicant)
- 7. List the verbal comments and how you plan to address any issues:

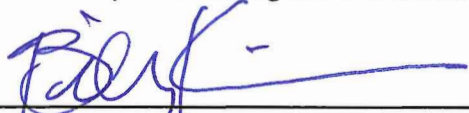
(City Council does not expect all the issues to be resolved to the neighborhood's satisfaction; however, the developer must explain why the issues cannot be resolved).

1. One neighbor who lives direction west expressed concern about storm water runoff. We explained how the proposed development would include a new storm water management system to help improve existing conditions.

2. Most of the conversation with neighbors centered around the anticipated traffic congestion that would be associated with the new school. We explained that the school is directing the parent pick up line to the north side of the school which should take traffic congestion off of Lynn Street.

- 8. List or attach the written comments and how you plan to address any issues:

I, BILLY KIMMONS (print name), attest that the neighborhood meeting was held on OCTOBER 14, 2025 (month/date/year), and is at least twenty-one (21) days prior to the Planning and Zoning Commission public hearing and in accordance with the attached "Neighborhood Notification and Meeting Process."



Signature of person completing affidavit

BILLY KIMMONS

Printed name of person completing affidavit

# ATTENDANCE LOG



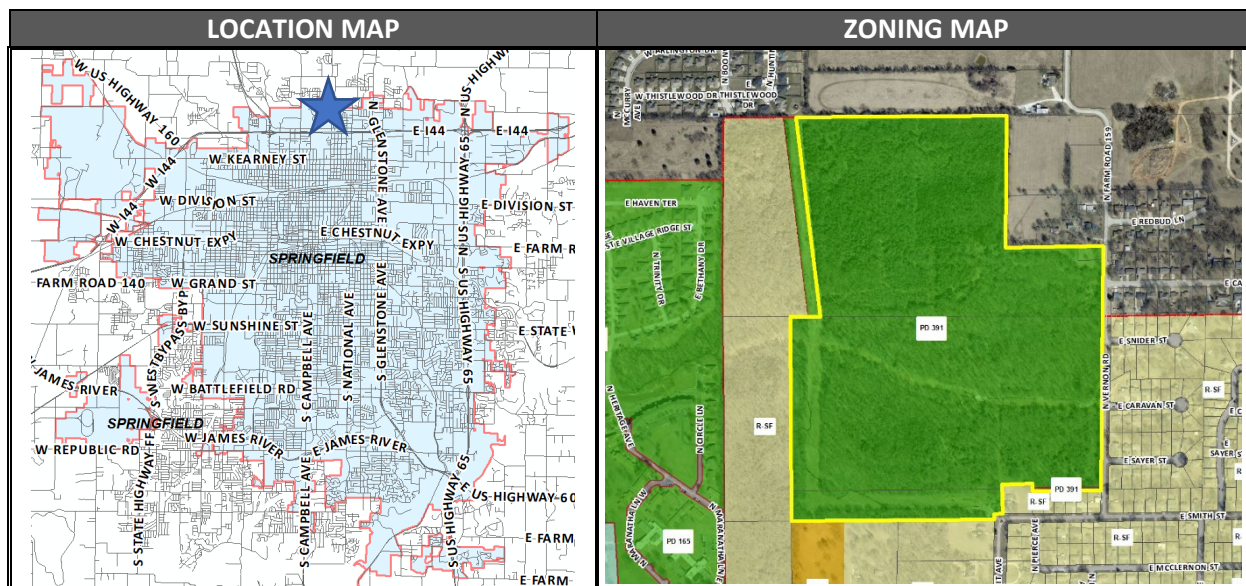
PROJECT		PROJECT #	MEETING DATE	MEETING PURPOSE	
CENTRAL ASSEMBLY REZONING & ROW VACATION		25-126	10-14-25	NEIGHBORHOOD MEETING	
NAME	ORGANIZATION	TYPE OF CONTRACTOR	PHONE	EMAIL	
Billy Kimmons	HOOD-RICH	ARCHITECT	417 862 4483	bkimmons@hoodrich.com	
Kenneth & Willadean Lane	Central A/C & Neighbor		417-865-3205	None	
Steven & Sharon Maples	Neighbor		417 2245846		
Wade Clark	Jacob's Hope		417-294-8384	wadeclark7@gmail.com	
Shirley Speer	Shirley Speer		417-766-9940	sespeer@gmail.com	
Chack Shell	Central Assembly		417-840-0189		
Rev. Carter L. McDaniel	Central Assembly		417-866-5033	cmcdaniel@centralassembly.org	

## DEVELOPMENT REVIEW STAFF REPORT

PROJECT INFORMATION	
<b>Case Number:</b>	Preliminary Plat of Hawkins Mill Subdivision
<b>Location:</b>	3299, 3373, & 3449 North Vernon Road & 3173 North Summit Avenue
<b>Total Acres:</b>	103.21 acres
<b>Applicant:</b>	Hawkins Mill, LLC
<b>Existing Land Use:</b>	Undeveloped
<b>Neighborhood Meeting:</b>	N/A
<b>Planning and Zoning Commission:</b>	February 12, 2026
<b>City Council:</b>	March 9, 2026
<b>Public Notification:</b>	Posted property
<b>Staff:</b>	Andrew Menke, Senior Planner, (417) 864-1613
<b>Staff recommendation:</b>	Staff recommends approval
<b>Proposed motion:</b>	Move to approve the preliminary plat of Hawkins Mill Subdivision subject to the conditions listed in Attachment 2 of the staff report. (All commission motions are made in the affirmative.)
<b>Required Vote:</b>	A majority of those present (5 members are a quorum).

### PROJECT SUMMARY:

Request to subdivide approximately 103.21 acres of property generally located at 3299, 3373, & 3449 North Vernon Road and 3173 North Summit Avenue into five (5) lots to facilitate the development of the site.

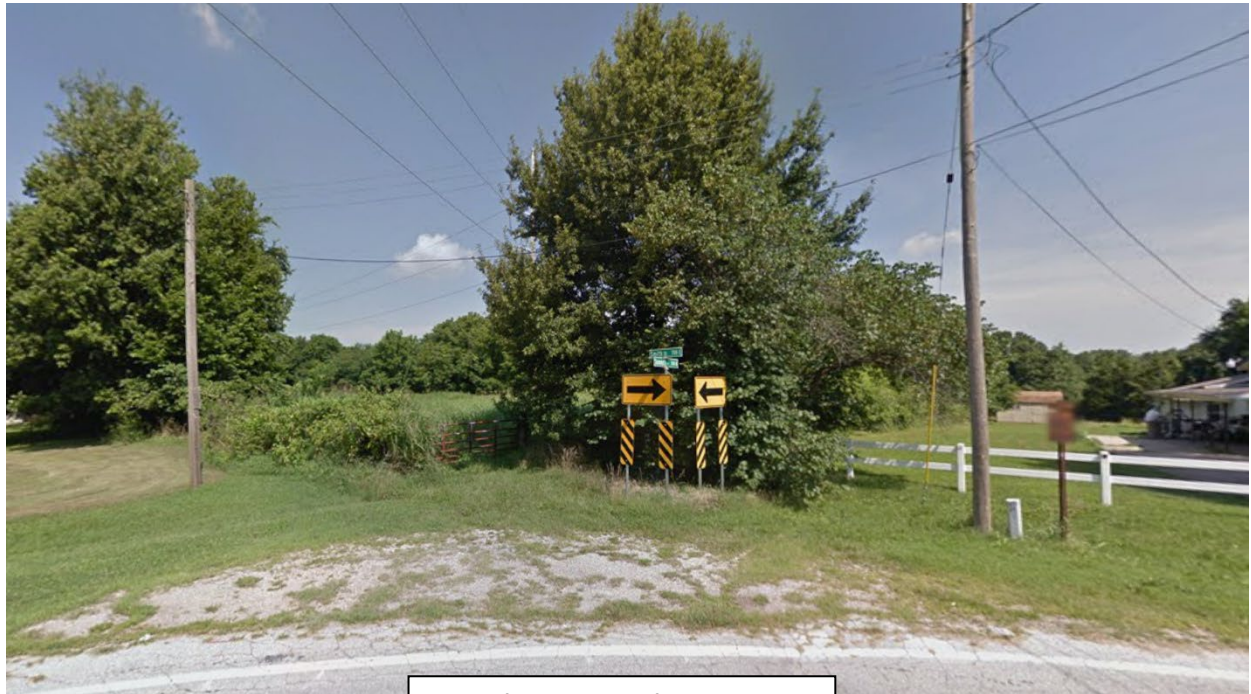


# DEVELOPMENT REVIEW STAFF REPORT

## GOOGLE AERIAL OF LANDMARKS, BUSINESSES, AND ATTRACTIONS:



## GOOGLE MAPS STREET VIEW:



View from corner of Smith St and Summit Ave

## DEVELOPMENT REVIEW STAFF REPORT



### PROPERTY HISTORY:

The south 1,340 feet of the subject property was annexed into the city in 1955 and 1966. This portion of the property has never been platted.

The remaining north portion of the subject area was annexed into the city in 1997. This portion was platted as part of Hulston Subdivision in 2025.

The entirety of the subject area was rezoned from R-SF, Single-Family Residential to Planned Development No. 391 in 2025.

### PLANNING AND ZONING COMMISSION AUTHORITY:

#### Action Type: Administrative.

A subdivision is the legal process to divide a surveyed tract of land into lots for the purposes of sale of the property. Platting is the process of mapping those lots and is considered part of the subdivision process. Subdivision is an administrative action. An administrative action is ministerial and non-discretionary. In reviewing a preliminary plat, the role of the Planning and Zoning Commission is to determine whether the plat meets the minimum requirements set forth in the subdivision statutes and the subdivision regulations in the Land Development Code. If the plat meets these standards, approval is required.

#### Relevant Authority

**Revised Statutes of Missouri:** Sections 89.400 through 89.470

## DEVELOPMENT REVIEW STAFF REPORT

**City Charter:** Sec. 11.7. – Legal status of master plan.

- (1) *Master plan to provide general guidelines.* The master plan shall be prepared and maintained as a general guide for the orderly and efficient development and redevelopment of the City of Springfield. The master plan shall be kept current through review not less than every five years. When required by this Charter or otherwise deemed necessary, such review shall include proposed revisions or alterations in the master plan and public hearings thereon.
- (2) *Regulations to generally conform to master plan.* All rezoning of land, subdivision plats, development proposals, and the zoning ordinance, subdivision ordinance and the zoning map should generally conform with the guidelines set forth in the master plan and should be reviewed for consistency with the master plan; provided, however, inconsistencies with the master plan shall not constitute cause to invalidate any such matter. The master plan shall not have the effect of a regulatory ordinance.
- (3) *Master plan to guide public improvements.* The master plan shall provide guidelines for the location of public streets, parks and other public ways, grounds and spaces, public buildings and structures, facilities of public or private utilities, and the acquisition of real property by the city for public use. To that end the planning and zoning commission shall review the following:
  - (a) All proposals to construct or extend public streets.
  - (b) All proposals to improve land as a park.
  - (c) All proposals to lay out or improve other public ways, grounds or spaces.
  - (d) All proposals to construct public buildings and structures.
  - (e) All proposals to lay out and construct facilities of public utilities, whether publicly or privately owned.
  - (f) All proposals to acquire real property for public purposes.

In reviewing and approving all such proposals, the function of the planning and zoning commission shall be to determine whether they are generally consistent with the master plan of the city. No such proposals shall be constructed or authorized until the location, extent and character thereof has been submitted and approved by the planning and zoning commission.

In case of disapproval, the commission shall communicate its reasons to the city council, and the city council, by vote of not less than two-thirds of its entire membership, may overrule the disapproval and, upon the overruling, the city council or the appropriate board or officer may proceed, except that if the proposal is by an agency other than an agency of the city and the authorization or financing does not fall within the province of the city council, then the submission to the planning commission shall be by the agency having jurisdiction, and the planning commission's disapproval may be overruled by that agency by a vote of not less than two-thirds of its entire membership. The acceptance, widening, removal, extension, relocation, narrowing, vacation, abandonment, change of use, acquisition of land, sale or lease of any street or other public facility is subject to similar submission and approval, and the failure to approve may be similarly overruled.

## DEVELOPMENT REVIEW STAFF REPORT

In the event the commission shall fail to act within thirty days after the date of official submission of a proposal (which date shall be the date that the matter is placed upon the agenda of the commission) to the commission, then the proposal shall be deemed to have been approved by the commission, unless a longer period for review by the commission shall have been authorized by the council or by the public officials submitting the proposal. In any case in which the commission finds that it is not reasonably able to complete its review of a proposal within thirty days, it may extend the time for such review for not more than thirty days.

### City of Springfield Land Development Code

#### Sec. 36-226. - Major subdivision review procedure.

- (3) Preliminary plat.
  - (a) After participating in the pre-subdivision review with city staff, the subdivider may prepare a preliminary plat, together with supplementary material as prescribed in section 36-263.
  - (b) Copies of the preliminary plat and supplementary materials specified, together with a fee for administrative handling and processing in the amount prescribed by ordinance, shall be submitted to the director of planning and development with written application for approval. Upon determination that the application is complete, the director shall place the application on the agenda of the commission at a regular meeting not later than the second such meeting following the date of the filing of the application.
  - (c) The commission shall hold a public hearing on the preliminary plat. Notice of the public hearing shall be made in accordance with city ordinance and the rules of the commission.
  - (d) The commission shall review the preliminary plat and supporting material, recommendations from agencies or officials, and testimony and exhibits submitted at the public hearing. The commission shall approve, conditionally approve or disapprove the preliminary plat and if approved, the commission shall express its approval and state the conditions of such approval, if any, or if disapproved, shall express its disapproval and its reasons, therefore. In any case, a notation of the action taken, and the reasons, therefore, shall be entered in the records of the commission.
  - (e) If approved by the commission or approved with conditions acceptable to the applicant, then the director of planning and development shall forward the preliminary plat to the city council for its approval. Council shall determine if the land or easement proposed to be dedicated by the applicant for public use or if the public improvements shall be accepted by the city. If the city council determines that the location of the land to be dedicated for public use or the location of public improvements is appropriate and complies with applicable ordinances then the city council shall authorize the acceptance of the dedication of the land or easements upon the applicant filing and recording a final plat which substantially conforms to the preliminary plat and shall authorize the acceptance of the public improvements upon the director of public works certifying to the director of planning and development and the city clerk that the public improvements have been made in accordance with city standards and specifications.

## DEVELOPMENT REVIEW STAFF REPORT

- (f) If approved with modifications which are not acceptable to the applicant or if disapproved, the director of planning and development shall attach to the plat a statement of reasons for such action and return it to the subdivider.
- (g) Actions by the commission regarding the preliminary plat are final unless such action is appealed by the subdivider to the city council within 90 days of the action by the commission.
- (h) Effective period of preliminary approval.
  - 1. The approval of a preliminary plat shall be effective for a period of two years. The application for final plat approval must be submitted to the department of planning and development within the two-year period. Any plat not submitted within the two-year limit shall be null and void except as provided in subparagraph 2. below.
  - 2. The planning and zoning commission may at its discretion and upon application by the subdivider extend the effective period of preliminary approval by two years, one time. All other submittals shall be considered a new preliminary plat and subject to applicable reviews.

## DEVELOPMENT REVIEW STAFF REPORT

### ZONING ORDINANCE REQUIREMENTS:

CODE ITEM	REQUIREMENTS FOR PLANNED DEVELOPMENT 391
Minimum lot dimension requirements	<p><b><u>Traditional Single-Family Lots</u></b>            Lot Area: 4,000 square feet            Lot Width: 50 feet</p> <p><b><u>Small Format Residential Single-Family Lots</u></b>            Lot Area: 2,000 square feet            Lot Width: 30 feet</p> <p><b><u>Apartment Tracts</u></b>            Lot Area: 8,500 square feet or 2,450 square feet per unit            Lot Width: 100 feet</p> <p><b><u>Mixed Residential Tracts</u></b>            Lot Area:                Stacked Duplexes and 6-plexes- 6,000 square feet or 3,000 square feet per unit                Apartments- 8,500 square feet or 2,450 square feet per unit            Lot Width:                Stacked Duplexes and 6-plexes- 50 feet                Apartments- 100 feet</p> <p><b><u>Community Center &amp; Commercial Tracts</u></b>            Lot Width: 36 feet of frontage along a public street</p>
Maximum structure height	<p>- <b><u>Traditional Single-Family Lots</u></b>: Thirty-two (32) feet or two-and one-half stories.</p> <p>- <b><u>Small Format Residential Single-Family Lots</u></b>: Twenty-five (25) feet or two stories above finished grade.</p> <p>- <b><u>Apartments, Mixed Residential, Community Center, &amp; Commercial Tracts</u></b>: Forty (40) feet or three stories above finished grade.</p>
Front, side, and rear yard setback	<p><b><u>Traditional Single-Family Lots</u></b>            Front Yard: 25 feet            Side Yard: 3 feet            Rear Yard: 30 feet</p> <p><b><u>Small Format Residential Single-Family Lots</u></b>            Front Yard: 25 feet            Side Yard: 3 feet            Rear Yard: 20 feet</p> <p><b><u>Apartment &amp; Mixed Residential Tracts</u></b>            Front Yard: 25 feet            Side Yard: 5 feet            Rear Yard: 20 feet</p>

## DEVELOPMENT REVIEW STAFF REPORT

	<p><b><u>Community Center &amp; Commercial Tracts</u></b>            Front Yard: 25 feet            Side Yard (Interior): None            Side Yard (Street): 15 feet            Rear Yard: 20 feet</p>
Street Classification	N Summit Avenue – Secondary Arterial E Smith Street – Secondary Arterial N Vernon Road – Local
Sidewalks	Sidewalk is required along the frontage of all adjacent streets, but does not exist.
Open Space Requirements	Not less than the following percentage of the total lot area shall be devoted to open space including required yards and buffer yards: <ul style="list-style-type: none"> <li>- <b>Single-Family Detached Dwellings &amp; Apartments: 30%</b></li> <li>- <b>Small Format Residential Single-Family Dwellings: 20%</b></li> <li>- <b>Mixed Residential: 40%</b></li> <li>- <b>Community Center &amp; Commercial Tracts: 20%</b></li> </ul>

# DEVELOPMENT REVIEW STAFF REPORT

## MAJOR THOROUGHFARE MAP:



## DEVELOPMENT REVIEW STAFF REPORT

### STAFF ANALYSIS AND RECOMMENDATION:

1. The applicant is proposing to subdivide approximately 103.21 acres into a five (5) lot subdivision named "Hawkins Mill Subdivision".
2. Secondary arterial roadways require a minimum width of 70 feet of right-of-way. Summit Avenue is a secondary arterial, but it does not meet the minimum width at the location where the existing Summit Avenue and extension connect. The Administrative Review Committee approved a reduction in right-of-way for the first phase that is final platted. Any future phases will require a separate review and approval of the right-of-way width.
3. Any future subdivision that creates more than five additional lots will be required to go through the major subdivision process. The single-family portion of this development that is identified in Planned Development District No. 391 will be required to go through this process.
4. The future east-west collector that appears in an exhibit of this staff report was removed from the Major Thoroughfare Plan by City Council approval in July 2025. This change has not yet been reflected in the City's GIS data.
5. Lot 5 contains known sinkholes and are labeled as a No Build Area. Future development on Lot 5 will require a geotechnical report. Lots 1-4 may contain unknown sinkholes. At the time of development, Lots 1-4 may require a geotechnical report if karst/sinkholes identifiers are found.
6. All lots meet the minimum requirements of the City's subdivision regulations and Planned Development District No. 391.
7. If Planning and Zoning Commission approves the preliminary plat, then the plat will be forwarded to City Council for acceptance of public streets and easements. An approved preliminary plat is active for two (2) years.
8. The Land Development Code requires that each lot has adequate public facilities including but not limited to water, sanitary sewer, electricity, gas, open space, storm drainage, access to the public transportation system, and that any existing natural features such as floodplains, stream buffers and sinkholes have been identified on the preliminary plat.
9. The proposed preliminary plat was reviewed by City departments and comments are contained in **Attachment 1**. Conditions of Approval are provided in **Attachment 2**. The Preliminary Plat drawing can be found in **Attachment 3**.

### STAFF RECOMMENDATION:

1. The proposed subdivision meets all applicable requirements of the City of Springfield's *Land Development Code* for subdivisions and is compatible with the zoning requirements of the Planned Development District No. 391.
2. Staff recommends approval as submitted in the staff report.

### PLANNING AND ZONING COMMISSION OPTIONS:

## DEVELOPMENT REVIEW STAFF REPORT

In reviewing a preliminary plat, the role of the Planning and Zoning Commission is to determine whether the plat meets the requirements set forth in the subdivision statutes and the Land Development Code. If the plat meets these minimum standards, approval is required.

The commission shall review the preliminary plat and supporting material, recommendations from agencies or officials, and testimony and exhibits submitted at the public hearing.

1. The commission shall approve the preliminary plat.
2. The commission shall conditionally approve the preliminary plat.
3. The commission shall disapprove the preliminary plat and state for the record which requirement or requirements of the *Land Development Code* the preliminary plat fails to meet.

### PUBLIC NOTIFICATION AND COMMENTS:

The property was posted by the applicant at least 10 days prior to the public hearing. No comments were received by citizens for this case at the time of publication.

## DEVELOPMENT REVIEW STAFF REPORT

### DEPARTMENT COMMENTS:

#### ATTACHMENT 1

1. AT&T:

AT&T has facilities along Vernon. For further questions or future build to this area for AT&T contact Cody Butler at [cb670v@att.com](mailto:cb670v@att.com).

2. CITY UTILITIES:

CU can provide electric/gas/water services to the proposed development per CU's extension policy. 3-phase electric will need to be extended from Norton Rd to provide adequate service to the development.

At least 10' wide utility easements will be required along both sides of all new public streets.

At least 30' wide utility easements will be needed for any utility main extensions into proposed lots 1 & 2, depending on proposed service and meter configurations. These easements can overlay/partially overlay access easements. All required easements can be added to the final plat.

Relocation/reconfiguration of existing CU electric transmission pole/down guys will be needed for the extension of Summit Ave. This relocation is in design.

A license agreement for the construction/use of any improvements in CU's existing electric transmission easement will likely be required prior to the construction of any such improvements or the final plat being approved, depending on which happens first.

3. DEPARTMENT OF PUBLIC WORKS TRANSPORTATION ENGINEERING SURVEY DIVISION:

Approved

4. DEPARTMENT OF ENVIRONMENTAL SERVICES WASTEWATER MANAGEMENT DIVISION:

Plat is approvable. Public improvement plans will need to be designed, submitted and constructed to city standards. The public improvements must be approved, filed and constructed or escrowed before any building permits or plats can be issued according to city code section 98-12(b)(c) Private Construction of Public Improvements and section 98-14. - Assurance for completion of Public Improvements.

5. FIRE DEPARTMENT:

The number of total proposed building lots will dictate the need for two separate and approved fire apparatus access roads. More than 30 dwelling units require two separate access roads.

Applicant Response: Additional access points are planned on future phases. One additional access point is expected from Vernon Avenue through Phase 2, and an additional access point is expected from Vernon Avenue through phase 3.

## DEVELOPMENT REVIEW STAFF REPORT

**6. PARKS & GREENWAYS:**

- 1) Lots Under Review / Future Connectivity: This review applies only to Lots 1 and 2. Trail easements and final connectivity requirements for Lots 3 and 4 (separate phase) must be evaluated when those lots develop. At that time, the trail easement terminus will need to be aligned to support a feasible future connection toward the Fulbright Greenway corridor, consistent with Sec. 36-252 and adopted trail plans.
- 2) Public Green Space and Stream Buffer Easement with Trail and Passive Recreation Rights: Please include a recreational trail easement within the Public Green Space/Stream Buffer area, and ensure that trails are explicitly permitted within this easement. Please confirm that the Public Green Space Easement allows trail and recreational use.

**Applicant Response:** Clarification and uses added to Public Green Space Easement to allow public trail construction, maintenance and use.

**7. DEPARTMENT OF PUBLIC WORKS TRANSPORTATION ENGINEERING RIGHT-OF-WAY DIVISION:**

"Perpetual Easements" appear to be Sanitary Sewer easements, should be updated for final plat. If you need updated forms for easement dedication, please reach out to me at [brady.ghan@springfieldmo.gov](mailto:brady.ghan@springfieldmo.gov)

**8. DEPARTMENT OF PUBLIC WORKS TRANSPORTATION CONSTRUCTION INSPECTION DIVISION:**

Any required public improvements must be built and approved by the City or escrowed prior to approval of the plat or issuance of any building permits. Please contact Andrew Flippin ([aflippin@springfieldmo.gov](mailto:aflippin@springfieldmo.gov); 417-864-1946) for more information on the City's escrow process.

**9. GREENE COUNTY HIGHWAY DEPARTMENT:**

Did not respond in allotted review time.

**10. DEPARTMENT OF PUBLIC WORKS STORMWATER ENGINEERING DIVISION:**

Site Description and Drainage Pattern

	Drainage Basin	Fee in Lieu of Flood Control	Fee in Lieu of Water Quality	Stream Buffer on Site	Sinkhole or Watershed	Floodplain/Floodway
3299 N Vernon Rd	Pea Ridge Creek	Stormwater Report Needed	No	Yes	Yes	Yes

All chapter and section references below are to the City's Flood Control and Water Quality Protection Manual Version April 2022.

## DEVELOPMENT REVIEW STAFF REPORT

### Detention and Discharge Requirements

1. A public improvement project is required based on the submitted preliminary plat. The subdivision of the southern four lots will require storm sewer to drain both on-site and off-site stormwater to the Pea Ridge Creek.
  - a. Detention for flood control is triggered by the subdivision. The presence of the Floodplain and Floodway does allow for an opportunity to submit a fee in lieu of detention application. This application is dependent on a full stormwater report to determine the downstream impacts of not detaining flood control volumes.
  - b. Partial or full flood control detention can be presented in the stormwater analysis. Water quality will be required and can provide a partial flood control volume as well.

### Water Quality Requirements

1. Water Quality is required for new development with the subdivision. Any area planned for new impervious surface will require drainage to a water quality stormwater control measure.
2. A land disturbance permit will be required with disturbing 1 acre or greater per Chapter 4 Section 5 of the City's Flood Control and Water Quality Protection Manual.
3. Water Quality Credits are available to use in design for preserved trees and newly planted trees. Landscaping and Bufferyards trees required by Planning cannot be used for the water quality credits unless it is part of a SCM. Chapter 10, Section 3.1.

### Floodplain

1. The proposed development has Floodplain and Floodway located in the Pea Ridge Creek streams. The floodplain will require floodplain permits for any fill or construction within the floodplain area.

### Natural Channels and Stream Buffers

1. The Pea Ridge Creek main branch and a tributary are present on the preliminary plat.
  - a. The preliminary plat Lot 2 and 3 has the correct width for the tributary; 100 minimal widths (50 feet wide on both sides from top of bank). Any further subdivision of Lot 2 or 3 may require a more in-depth survey of the stream.
  - b. Lot 5 contains the Pea Ridge Creek main branch and has the proper 200 feet wide stream buffer for a Category A Large Stream. Further subdivision or development of Lot 4 will require a more in-depth survey of the stream.

### Sinkholes and Karst Features

1. Lot 5 contains known sinkholes and are labeled as a No Build Area. Future development on Lot 5 will require a geotechnical report. Lots 1-4 may contain unknown sinkholes. At time of development, Lots 1-4 may require a geotechnical report if karst/sinkholes identifiers are found.

## DEVELOPMENT REVIEW STAFF REPORT

### 11. DEPARTMENT OF PUBLIC WORKS TRAFFIC ENGINEERING DIVISION:

Traffic Report

	Street Name	Street Classification	Jurisdiction	ROW from Centerline (ft.)		Traffic Count (vehicles per day)	On-Street Parking	Sidewalk	
				Required	Existing			Required	Existing
Street 1	N. Vernon Road	Local	City	25	25	NA	No	Yes	<b>No</b>
Street 2	E. Smith Street	Secondary Arterial	City	35	<b>30</b>	NA	No	Yes	<b>No</b>
Street 3	N. Summit Avenue	Secondary Arterial	City	35	40	NA	No	Yes	<b>No</b>
Street 4	Extension of N. Summit Avenue	Secondary Arterial	City	35	<b>0</b>	NA	No	Yes	<b>No</b>

Access

All new and existing driveway approaches shall comply with the accepted Traffic Impact Study, requirements of the planned development, and current City of Springfield standards for the street classification.

Trails, Bus Stops, And Additional Information

There are no Greenway Trails near the property. There are two (2) bus stops near the property on E. Norton Road.

Improvements

A Traffic Impact Study was completed and accepted for this development. The following improvements are required based on the Traffic Impact Study.

- Designated 175-foot left-turn lane restriped on Norton Road to accommodate eastbound left- turning traffic onto northbound Summit Avenue.
- Redesign intersection of Summit Avenue and Smith Street to accommodate new intersection geometry with north-south secondary arterial (Access 01).
- Revise signing and striping at the intersection of Summit Avenue and Smith Street.
- Correct sight-distance obstruction at the northeast corner of Norton Road and Summit Avenue.
- Intersection improvements at Vernon Avenue and Camorene Street to accommodate Access 02 will be required with future phases.

All public improvements shall be designed and constructed per City of Springfield Public Works Design Standards for Public Improvements. All required public improvements must be constructed, or funds escrowed prior to approval of a building permit or final plat.

## DEVELOPMENT REVIEW STAFF REPORT

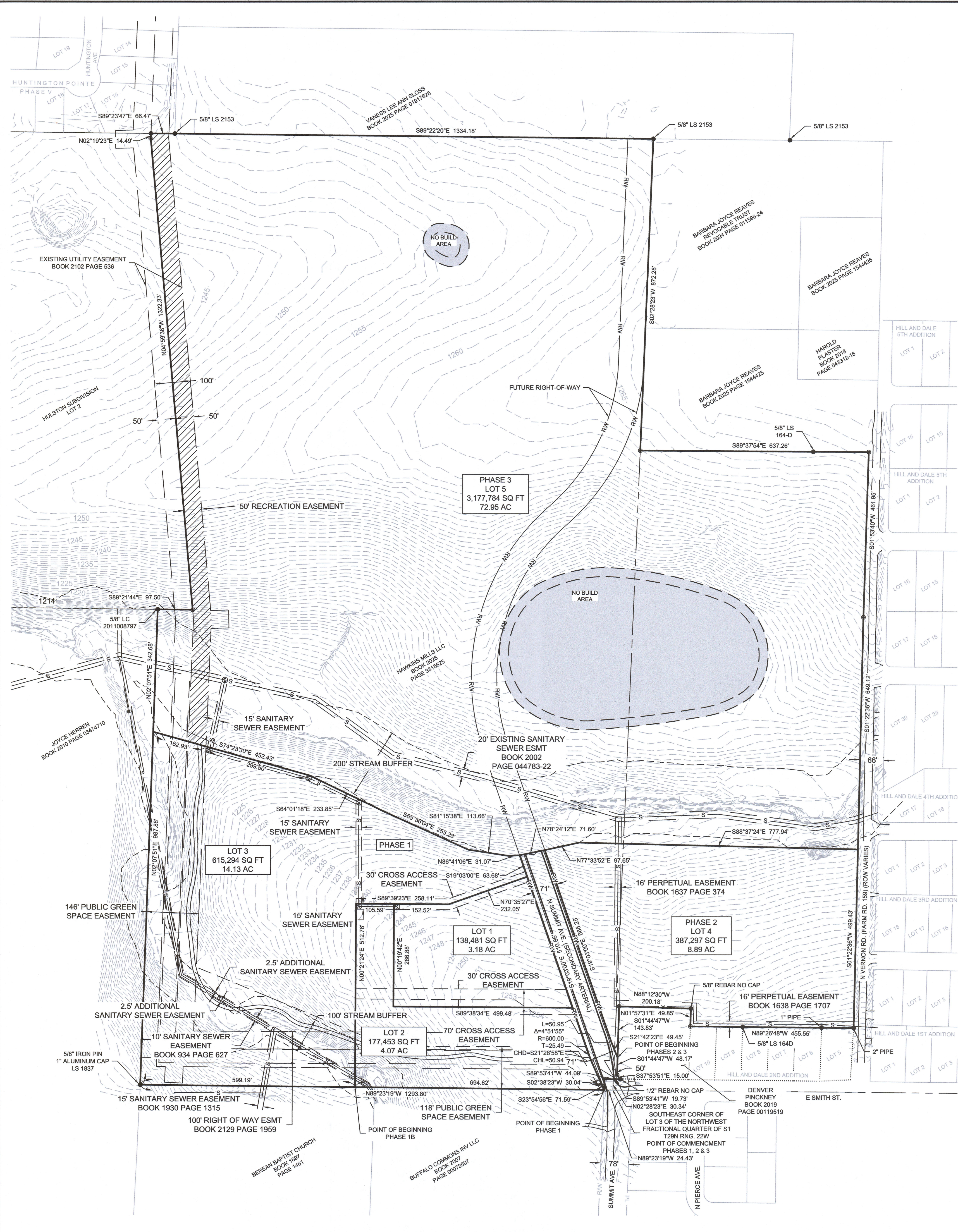
### CONDITIONS FOR APPROVAL:

#### ATTACHMENT 2

Staff recommends the Planning and Zoning Commission approve the Preliminary Plat, with the conditions listed below:

1. All improvements shall be constructed in accordance with the “Design Standards for Public Improvements” of the Public Works Department and the maintenance and operation of such improvements shall be the responsibility of the developers unless approved by the Director of Public Works. All required sanitary sewer, street, sidewalk, and drainage plans shall be prepared in accordance with City standards and specifications and approved by the Director of Public Works.
2. All required street rights-of-way, drainage and utility easements and limitations of access shall be dedicated on the final plat.
3. The developer shall meet all city and state erosion control regulations prior to disturbing the soil.
4. It is determined that the public interest requires assurance concerning adequate maintenance of common space areas and improvements. The restrictive covenants, rules and bylaws creating the common ownership must therefore provide that if the owners of the Property Owners Association shall fail to maintain the common areas or improvements in reasonable order and condition in accordance with the approved plans, the City may, after notice and hearing, maintain the same and assess the costs against the units or lots, per the Common Open Space and Common Improvement Regulations section of the Zoning Ordinance.
5. The developer shall be responsible for the relocation costs of any existing utility services and shall be responsible for clearing all utility easements of trees, brush, and overhanging tree limbs.
6. All other requirements which are necessary for this subdivision to be in compliance with the Subdivision Regulations.

If the request is recommended for denial by the Commission and the applicant requests City Council consideration, all the above conditions, plus any amendments made by the Planning and Zoning Commission, shall be included in the Council Bill.



PROPERTY DESCRIPTION

PHASE 1:  
 A TRACT OF LAND LYING IN PART OF LOT 3 OF THE NORTHWEST FRACTIONAL QUARTER AND PART OF THE NORTHEAST FRACTIONAL QUARTER OF SECTION 1, TOWNSHIP 29 NORTH, RANGE 22 WEST AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:  
 COMMENCING AT THE SOUTHEAST CORNER OF LOT 3 OF THE NORTHWEST FRACTIONAL QUARTER OF SAID SECTION 1, THENCE ALONG THE SOUTH LINE OF SAID NORTHWEST FRACTIONAL QUARTER NORTH 89°23'19" WEST, 24.43 FEET TO THE POINT OF BEGINNING, THENCE CONTINUING ALONG SAID SOUTH LINE NORTH 89°23'19" WEST, 1293.80 FEET, THENCE NORTH 02°07'51" EAST, 867.88 FEET, THENCE SOUTH 74°22'30" EAST, 452.43 FEET, THENCE SOUTH 64°01'18" EAST, 233.85 FEET, THENCE SOUTH 65°36'04" EAST, 255.28 FEET, THENCE SOUTH 81°15'38" EAST, 113.66 FEET, THENCE NORTH 86°41'06" EAST, 31.07 FEET, THENCE NORTH 78°24'12" EAST, 71.60 FEET, THENCE SOUTH 19°03'00" EAST, 565.25 FEET, THENCE SOUTH 21°42'23" EAST, 49.45 FEET, THENCE SOUTH 01°44'47" WEST, 48.17 FEET, THENCE SOUTH 37°53'51" EAST, 15.00 FEET, THENCE SOUTH 89°53'41" WEST, 44.09 FEET, THENCE SOUTH 02°38'23" WEST, 30.04 FEET TO THE POINT OF BEGINNING, CONTAINING 978.403 SQUARE FEET (22.45 ACRES), ALL LYING IN SECTION 1, TOWNSHIP 29 NORTH, RANGE 22 WEST, IN THE CITY OF SPRINGFIELD, GREENE COUNTY, MISSOURI.

PHASES 2 & 3 (LOTS 4 & 5):  
 A TRACT OF LAND LYING IN PART OF LOTS 3 AND 4 OF THE NORTHWEST FRACTIONAL QUARTER AND THE NORTHEAST FRACTIONAL QUARTER OF SECTION 1, TOWNSHIP 29 NORTH, RANGE 22 WEST AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:  
 COMMENCING AT THE SOUTHEAST CORNER OF LOT 3 OF THE NORTHWEST FRACTIONAL QUARTER OF SAID SECTION 1, THENCE ALONG THE EAST LINE OF SAID NORTHWEST FRACTIONAL QUARTER NORTH 02°28'23" EAST, 30.34 FEET, THENCE LEAVING SAID EAST LINE NORTH 89°53'41" EAST, 18.73 FEET, THENCE NORTH 37°53'51" WEST, 15.00 FEET, THENCE NORTH 01°44'47" EAST, 48.17 FEET TO THE POINT OF BEGINNING, THENCE NORTH 21°42'23" WEST, 49.45 FEET, THENCE NORTH 19°03'00" WEST, 565.25 FEET, THENCE SOUTH 78°24'12" WEST, 71.60 FEET, THENCE SOUTH 86°41'06" WEST, 31.07 FEET, THENCE NORTH 81°15'38" WEST, 113.66 FEET, THENCE NORTH 65°36'04" WEST, 255.28 FEET, THENCE NORTH 64°01'18" WEST, 233.85 FEET, THENCE NORTH 74°22'30" WEST, 452.43 FEET, THENCE NORTH 02°07'51" EAST, 342.88 FEET, THENCE SOUTH 89°21'44" EAST, 97.50 FEET, THENCE NORTH 04°59'38" WEST, 1322.33 FEET, THENCE NORTH 02°19'23" EAST, 14.49 FEET, THENCE SOUTH 89°23'47" EAST, 66.47 FEET, THENCE SOUTH 89°22'20" EAST, 1334.18 FEET, THENCE SOUTH 02°28'23" WEST, 872.28 FEET, THENCE SOUTH 89°37'54" EAST, 637.26 FEET, THENCE SOUTH 01°53'40" WEST, 481.95 FEET, THENCE SOUTH 01°22'38" WEST, 1148.55 FEET, THENCE NORTH 89°23'49" WEST, 455.55 FEET, THENCE NORTH 01°57'51" EAST, 49.85 FEET, THENCE NORTH 88°12'30" WEST, 200.18 FEET, THENCE SOUTH 01°44'47" WEST, 143.83 FEET TO THE POINT OF BEGINNING, CONTAINING 3,565.081 SQUARE FEET (81.84 ACRES), ALL LYING IN SECTION 1, TOWNSHIP 29 NORTH, RANGE 22 WEST, IN THE CITY OF SPRINGFIELD, GREENE COUNTY, MISSOURI.

CERTIFICATE OF APPROVAL BY THE PLANNING AND ZONING COMMISSION

APPROVED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_ BY THE PLANNING AND ZONING COMMISSION OF THE CITY OF SPRINGFIELD,

STEPHEN CHILDERS, DIRECTOR OF PLANNING AND DEVELOPMENT

DEVELOPMENT NOTES

TOTAL AREA: 4,495,916 SQ. FT. (103.21 ACRES)  
 TOTAL NUMBER OF LOTS: 4  
 PHASE 1: LOT 1 - 138,481 SQ FT (3.18 AC) (SMALLEST LOT)  
 LOT 2 - 177,453 SQ FT (4.07 AC)  
 LOT 3 - 615,294 SQ FT (14.13 AC)  
 RIGHT-OF-WAY - 47,176 SQ FT (1.08 AC)  
 PHASE 2: LOT 4 - 387,297 SQ FT (8.89 AC)  
 PHASE 3: LOT 5 - 3,177,784 SQ FT (72.95 AC) (LARGEST LOT)  
 PLANNED DEVELOPMENT 391  
 SOURCE OF TITLE: BOOK 2025 PAGE 3315625  
 BOOK 2025 PAGE 034117-25

REFERENCE MATERIAL

DEEDS AS SHOWN  
 BOOK 2025 PAGE 3315625  
 BOOK 2025 PAGE 034117-25

OWNER / DEVELOPER

HAWKINS MILL, LLC  
 5051 S NATIONAL AVE.  
 SPRINGFIELD, MO 65810

DEDICATION

SAID LAND HAS BEEN SUBDIVIDED AS SHOWN HEREON. ALL STREETS, EASEMENTS, AND ACCESS LIMITATIONS ARE RELINQUISHED AND DEDICATED TO THE PUBLIC.

IN WITNESS WHEREOF, STU STENGER, MANAGER OF HAWKINS MILL, LLC, OWNER OF THE PROPERTY DESCRIBED HEREON, HAS CAUSED THIS PLAT TO BE SIGNED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_.

STU STENGER, MANAGER OF STENGER MANAGEMENT LLC, ITS MANAGER DATE \_\_\_\_\_ NO SEAL

ACKNOWLEDGMENT

STATE OF MISSOURI (SS)  
 COUNTY OF GREENE

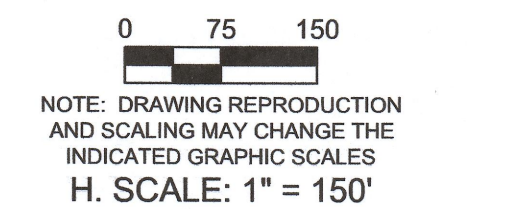
ON THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_, BEFORE ME PERSONALLY APPEARED STU STENGER, TO ME KNOWN, WHO DULY SWORN, DID SAY THAT THEY ARE SINGLE, AND ACKNOWLEDGE SAID INSTRUMENT TO BE THEIR FREE ACT AND DEED.

IN WITNESS WHEREOF, I HAVE HEREUNTO SET MY HAND AND AFFIXED MY OFFICIAL SEAL AT MY OFFICE IN SPRINGFIELD, GREENE COUNTY, MISSOURI, ON THE DAY AND DATE FIRST ABOVE WRITTEN.

NOTARY PUBLIC \_\_\_\_\_  
 PRINT NAME OF NOTARY PUBLIC \_\_\_\_\_  
 MY COMMISSION EXPIRES \_\_\_\_\_



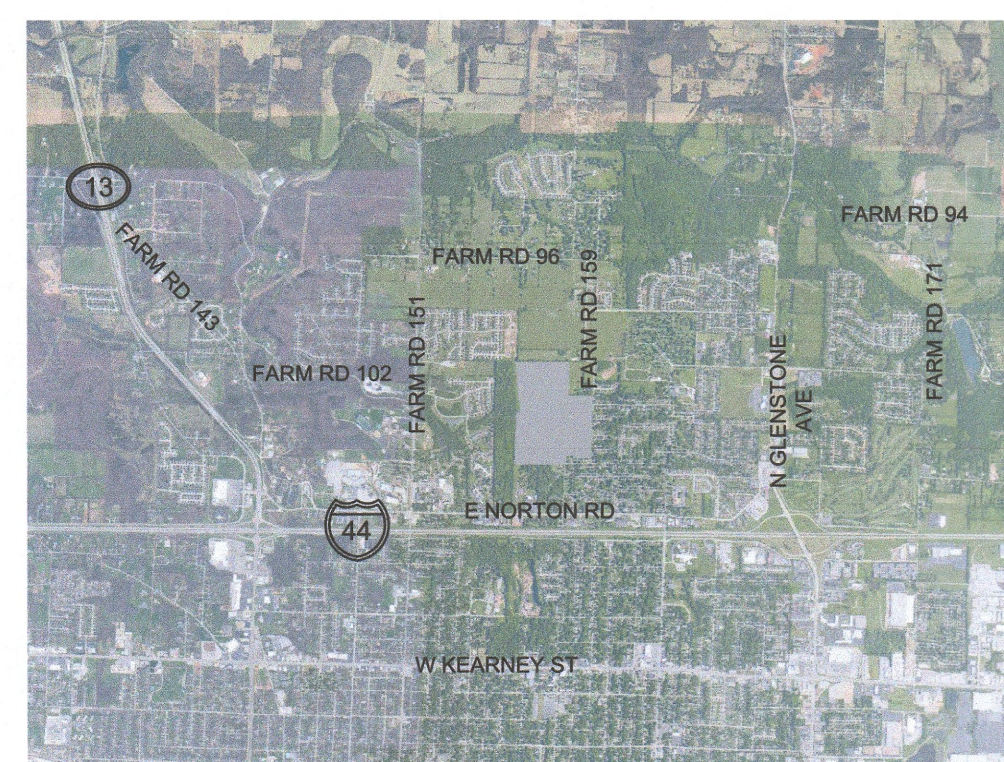
BASIS OF BEARING  
 MISSOURI STATE PLANE  
 NAD 83 CENTRAL ZONE



LEGEND:

- RIGHT-OF-WAY, MARKER
- IRON PIN FOUND AS NOTED
- SET 5/8" IRON PIN WITH CAP, MO LC 2011008797
- PROPERTY LINE: PRIMARY
- PROPERTY LINE: ADJOINER
- LAND SECTION LINE
- UTILITY EASEMENT
- SINKHOLE BOUNDARY
- SINKHOLE (NO CONSTRUCTION LIMITS)
- SINKHOLE AREA
- EXISTING EASEMENT
- STREAM BUFFER
- EASEMENT AREA

PRELIMINARY PLAT OF HAWKINS MILL SUBDIVISION SECTION 1, TOWNSHIP 29N, RANGE 22W SPRINGFIELD, GREENE COUNTY, MISSOURI



NOTES

NO STRUCTURES ARE TO BE BUILT BETWEEN RIGHT-OF-WAY LINE AND BUILDING SETBACK LINE.  
 SETBACKS TO BE DETERMINED BY THE ZONING DISTRICT AT THE TIME OF DEVELOPMENT.  
 DETACHED ACCESSORY STRUCTURE MUST BE LOCATED IN COMPLIANCE WITH THE ZONING REGULATIONS FOR THE DISTRICT.  
 MAINTENANCE OF ANY AREA REFERRED TO AS AN UTILITY EASEMENT, IS THE RESPONSIBILITY OF THE PROPERTY OWNER.  
 STORMWATER:  
 THE AREA SHOWN HEREON IS NOT LOCATED IN A STORM SEWER DISTRICT AS OF THE DATE OF RECORDING AND MAY BE SUBJECT TO FUTURE ASSESSMENT COST IF INCLUDED IN FUTURE STORM WATER BENEFIT DISTRICT DEEMED NECESSARY RESULTING FROM PROBLEMS CREATED BY SURFACE WATER RUNOFF. THIS IS DUE TO THE FACT THAT THE SURFACE WATER RUNOFF IS PRESENTLY BEING ACCOMMODATED BY STREET AND OPEN DRAINAGE FACILITIES.

ALL COMMON AREAS SHALL BE CONSIDERED DRAINAGE EASEMENTS. ALL COMMON AREAS ARE TO BE MAINTAINED BY THE PROPERTY OWNERS ASSOCIATION. ALL DRAINAGE EASEMENTS ARE TO BE MAINTAINED BY THE PROPERTY OWNER.  
 NO FENCES, PLANTINGS, OR OBSTRUCTIONS OTHER THAN MAILBOXES ARE PERMITTED WITHIN THE LIMITS OF ANY DRAINAGE EASEMENT, UNLESS THE DRAINAGE IS ENCLOSED IN A BELOW GRADE CONDUIT. AT NO TIME SHALL PERMANENT STRUCTURES BE ALLOWED IN THE EASEMENT.

STREAM BUFFER:  
 STREAM BUFFER AREAS ARE DEDICATED FOR THE PROTECTION OF STORMWATER RUNOFF QUALITY, STREAM PRESERVATION, AND FLOOD CONTROL. THE PROPERTY OWNER MAY FULLY USE AND ENJOY THE LAND WITHIN THE STREAM BUFFER AREA PROVIDED THAT SUCH USE IS IN ACCORDANCE WITH CHAPTER 96 OF THE SPRINGFIELD CITY CODE, AS AMENDED AND THE FLOOD CONTROL AND WATER QUALITY PROTECTION MANUAL, AS AMENDED. MAINTENANCE, REPAIR, AND RESTORATION, IF NECESSARY, OF THE STREAM BUFFER AREA IS THE RESPONSIBILITY OF THE PROPERTY OWNER AND SHALL BE CONDUCTED IN ACCORDANCE WITH THE FLOOD CONTROL AND WATER QUALITY PROTECTION MANUAL.

PUBLIC GREEN SPACE EASEMENT  
 THIS AREA GRANTS ACCESS FOR STREAM BUFFER AREAS AND OTHER PUBLIC UTILITIES OR INFRASTRUCTURE FOR MAINTENANCE AND CONSTRUCTION PURPOSES AND PROVIDES THE RIGHT TO CONSTRUCT, MAINTAIN, AND USE PUBLIC TRAILS AND PASSIVE RECREATION AMENITIES. MAINTENANCE OF THIS AREA IS THE RESPONSIBILITY OF THE PROPERTY OWNER.

SURVEYOR'S NOTES

PREVIOUSLY RECORDED PROPERTY BOUNDARY SURVEY WAS PROVIDED OR DISCOVERED DURING THE RESEARCH PROCESS.

FENCE LOCATIONS SHOWN BETWEEN DIMENSION POINTS ARE APPROXIMATE AND THE ACTUAL FENCE MAY MEANDER FROM THE LOCATIONS SHOWN ON THE PLAT HEREIN. ALL INTERIOR FENCES MAY NOT BE SHOWN.

PROPERTY ACCURACY STANDARD: URBAN

DATE OF SURVEY FIELD WORK: 02/10/2025

DECLARATION BY SURVEYOR

I, KENT R. PETERSON, DO HEREBY CERTIFY TO HAWKINS MILL, LLC THAT THIS PLAT WAS PREPARED AND THE MONUMENTS AND PINS SET UNDER MY PERSONAL SUPERVISION FROM AN ACTUAL SURVEY OF THE LAND HEREIN, IN ACCORDANCE WITH THE CURRENT MISSOURI STANDARDS FOR PROPERTY BOUNDARY SURVEYS.

PHYSICAL EVIDENCE OF IMPROVEMENTS IS SHOWN FROM INFORMATION TAKEN BY VISUAL INSPECTION OF THE PREMISES. EASEMENTS SHOWN ARE THOSE WRITTEN, PROVIDED, OR DISCOVERED AND MAY NOT BE ALL INCLUSIVE. APPARENT OWNERSHIPS AS SHOWN ARE BASED UPON INFORMATION PROVIDED BY OTHERS AND DO NOT REPRESENT AN OPINION AS TO TITLE. THIS PLAT OF SURVEY IS AN INSTRUMENT OF SERVICE AND IS NOT TO BE USED BY ANYONE OTHER THAN THOSE TO WHOM IT HAS BEEN CERTIFIED UNLESS IT HAS BEEN UPDATED AND RE-CERTIFIED BY THE UNDERSIGNED.

Kent R. Peterson  
 KENT R. PETERSON  
 MISSOURI, PLS 2000161241  
 DATE: 1-28-2026

#	REVISION	DATE



KENT R. PETERSON - LAND SURVEYOR MO# 2659

DATE: 10/30/25  
 SCALE: 1" = 150'

**ATOTHO & ASSOCIATES**  
 1550 E REPUBLIC ROAD  
 SPRINGFIELD, MO 65810  
 Ph: 417-888-0645 Fax: 417-888-0657  
 www.atothoassociates.com  
 CERTIFICATE OF AUTHORITY:  
 MO# LS-2011008797  
 © 2025 Tom and Associates, Inc.

DRAWN BY: MC  
 COORD BY: KRP  
 APPR BY: KRP  
 DATE: 10/30/25  
 SCALE: 1" = 150'

HAWKINS MILL  
 SPRINGFIELD GREENE COUNTY, MISSOURI 65803  
 STENGER HOMES  
 PRELIMINARY PLAT

PROJECT: HAWKINS MILL  
 LOCATION: SPRINGFIELD GREENE COUNTY, MISSOURI 65803  
 CLIENT: STENGER HOMES  
 TITLE: PRELIMINARY PLAT  
 SHEET NO: C-001

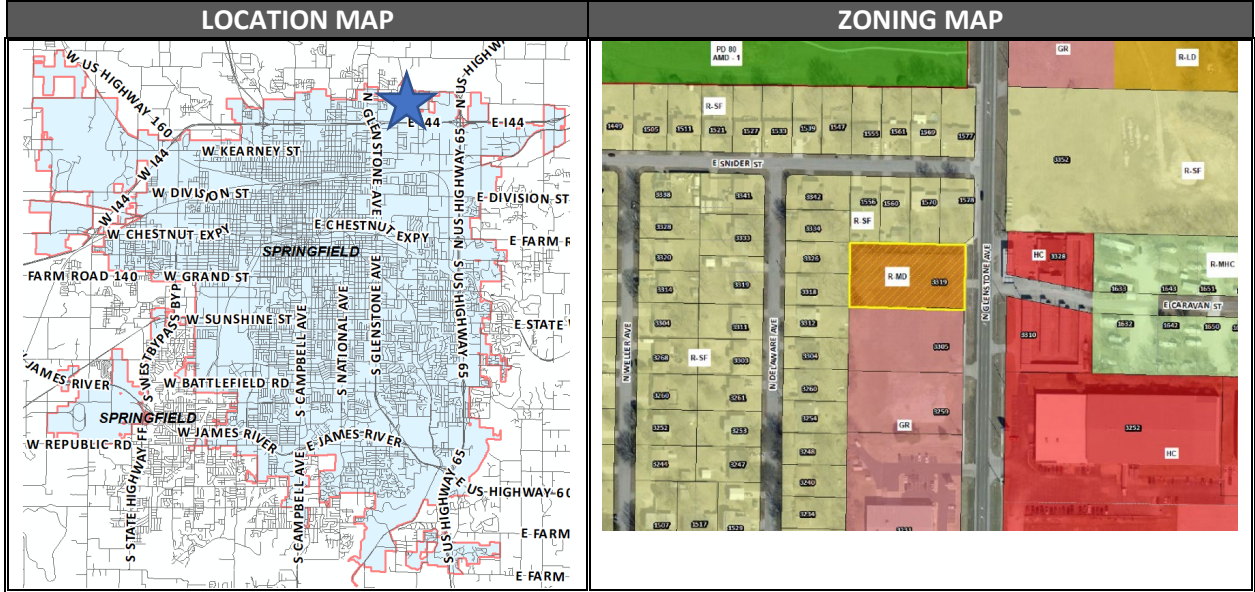
# DEVELOPMENT REVIEW STAFF REPORT

## PROJECT INFORMATION

<b>Case Number:</b>	Z-1-2026
<b>Location:</b>	3319 N. Glenstone Avenue
<b>Total Acres:</b>	0.93 acre
<b>Applicant:</b>	WLM RE HOLDCO, LLC
<b>Existing Land Use:</b>	Vacant/undeveloped land
<b>Neighborhood Meeting:</b>	January 22, 2026
<b>Planning and Zoning Commission:</b>	February 12, 2026
<b>City Council:</b>	March 9, 2026
<b>Public Notification:</b>	Mail, posted property, and legal in the Springfield News-Leader
<b>Staff:</b>	Daniel Neal, Senior Planner
<b>Staff recommendation:</b>	Staff recommends approval
<b>Proposed motion:</b>	I move to recommend approval of rezoning case Z-1-2026 (All commission motions are made in the affirmative).
<b>Required Vote:</b>	A majority of those present (5 members are a quorum).

## PROJECT SUMMARY:

Request to rezone approximately 0.96 acre generally located at 3319 N. Glenstone Avenue from R-MD, Medium Density Multi-Family Residential District to GR, General Retail District.



**DEVELOPMENT REVIEW STAFF REPORT**

**GOOGLE AERIAL OF LANDMARKS, BUSINESSES, AND ATTRACTIONS:**



**GOOGLE MAPS STREET VIEW:**



## DEVELOPMENT REVIEW STAFF REPORT

### PROPERTY HISTORY:

The subject property has been zoned R-MD since the citywide remapping in 1995. It was approved for GR zoning in 2006, but all conditions weren't met in the allotted time from approval.

### PLANNING AND ZONING COMMISSION AUTHORITY:

#### **Sec. 36-367. – Amendments**

(7) Findings by the commission.

(a) Rezoning. If the application is for a reclassification of property to a different zoning district classification on the zoning map, the report of the planning and zoning commission may consider:

1. Whether the proposed zoning district classification is consistent with the Springfield Comprehensive Plan;
2. Whether there are any changed or changing conditions in the area affected that make the proposed rezoning necessary;
3. Whether the range of uses in the proposed zoning district classification are compatible with the uses permitted on other property in the immediate vicinity;
4. Whether adequate utility and sewer and water facilities exist or can be provided to serve the uses that would be permitted on the property if it were rezoned;
5. The impact the uses, which would be permitted if the property were rezoned, will have upon the volume of vehicular and pedestrian traffic and traffic safety in the vicinity;
6. Whether the proposed rezoning would correct an error in the application of this article as applied to the subject property;
7. Whether a reasonably viable economic use of the subject property will be precluded if the proposed rezoning is denied; and
8. Information submitted at the public hearing.

## DEVELOPMENT REVIEW STAFF REPORT

### ZONING ORDINANCE REQUIREMENTS:

CODE ITEM	REQUIREMENTS FOR GR DISTRICT
Use Limitations	<p>(a) All outdoor automobile parking areas used for the purpose of retail or wholesale storage or sale of motorized or commercial vehicles shall be prohibited. Other outdoor activities that are not specifically permitted may only be allowed as an accessory use to the permitted uses as provided in subsection 36-421(2), permitted uses, as follows:</p> <ol style="list-style-type: none"> <li>1. If any portion of the premises abuts any residential zoning district, the outdoor activities may be permitted, provided they meet the provisions of, and a conditional use permit is issued pursuant to Section 36-363, conditional use permits, of this article. A building permit(s) showing compliance with all applicable codes and ordinances may be required as determined by the director of building development services.</li> <li>2. If the premises abuts only nonresidential zoning districts, the outdoor activities may be permitted. A conditional use permit will not be required. A building permit(s) showing compliance with all applicable codes and ordinances may be required as determined by the director of building development services.</li> </ol> <p>(b) No outdoor storage except as provided in subsection 36-421(2), permitted uses, and subsection 36-421(3), conditional uses.</p> <p>(c) All uses shall operate in accordance with the noise standards contained in section 36-485, noise standards.</p> <p>(d) No use shall emit an odor that creates a nuisance as determined by Springfield City Code.</p> <p>(e) Uses on parcels not served by public water and public sewer shall meet the requirements of subsection 36-303(22).</p> <p>(f) Streets through an adjacent residential area shall not be used to provide principal access for truck traffic to any nonresidential use in this district except on streets classified as expressways, arterials, or collectors.</p>
Minimum Lot Size	Not applicable to the GR, General Retail District
Maximum Height	Not applicable to the GR, General Retail District
Bulk Plane	All structures shall remain below a 30-degree bulk plane as measured from the boundaries of R-SF or R-TH districts.
Minimum Yard Requirements	Front yards – 25 feet when fronting on a street classified as collector or higher, or as required by Section 36-453, Supplemental open space, and yard regulations. 15 feet when fronting a street classified as local, or as required by Section 36-453. The front yard setback may be reduced

**DEVELOPMENT REVIEW STAFF REPORT**

	<p>below the minimum required above if a Conditional Use Permit is approved in accordance with Section 36-363, Conditional use permits, or if a preliminary plat is approved in accordance with the City's subdivision regulations.</p> <p>Side yards – None, except as required by Section 36-453 and the bufferyard requirements contained in Section 36-482, Landscaping and bufferyards.</p> <p>Rear yards – None, except as required by the bufferyard requirements contained in Section 36-482.</p>
<p>Minimum Open Space</p>	<p>Not less than 20 percent of the gross site area shall be devoted to open space, including required yards and bufferyards unless modified in accordance with subsection 36-482 (15). Open space shall not include areas covered by buildings, structures, parking, storage, loading and other paved areas and internal streets or areas containing plants for display and sale. Open space shall contain living ground cover and other landscaping materials.</p>
<p>Design Requirements</p>	<p>(a) A site plan, meeting the requirements of Section 36-360, Site plan review, shall be submitted and approved.</p> <p>(b) A landscape plan, meeting the requirements of Sections 36-482 and 36-483, Off-street parking and loading design standards, shall be submitted, and approved.</p> <p>(c) Off-street parking and vehicular use areas shall be screened from all residential uses, in accordance with Section 36-480, Screening and fencing.</p> <p>(d) Refuse storage areas shall be screened from view in accordance with Section 36-480.</p> <p>(e) Mechanical and electrical equipment, including air conditioning units, shall be screened from view in accordance with Section 36-480.</p> <p>(f) Lighting shall be designed to reflect away from any adjacent residential area and in accordance with Section 36-484, Lighting standards.</p> <p>(g) Accessory buildings and structures shall meet the requirements of Section 36-450, Accessory structures and uses.</p>
<p>Buffering and Landscaping</p>	<p>A landscape plan, meeting the requirements of sections 36-482, landscaping and bufferyards, and 36-483, off-street parking and loading area design standards, shall be submitted and approved.</p>

## DEVELOPMENT REVIEW STAFF REPORT

### COMPATIBILITY WITH COMPREHENSIVE PLAN:

#### PLACETYPE:

The *Comprehensive Plan's Land Use & Development* chapter identifies the subject property within the City Corridor Placetype.

The City Corridor Placetype predominantly consists of commercial and service-related development varying in scale, ranging from standalone businesses to large retail centers. City Corridors are also key locations to support and encourage multi-family developments that rely on proximity to retail, commercial services, and employment centers. Each of these use groups are best located along major roadways with high volumes of traffic. This Placetype is not only highly accessible by car, but also by walking, biking, and transit. City Corridors provide a wide range of shopping, service, entertainment, and employment destinations for both residents and visitors. Common uses within the Placetype include chain restaurants, gas stations, hotels, national retailers, movie theaters, smaller offices, and a variety of support services.

#### Primary Land Uses:

- Office, hospitality, retail sales and service
- Multi-family
- Sports complexes and recreation facilities
- Maker, artisan, and innovation spaces

#### Supporting Land Uses:

- Public and private schools and places of worship
- Parks, greenways, and open space
- Urban agriculture
- Universities, colleges, and vocational schools
- Personal and outdoor storage

#### **Characteristics**

#### TRANSPORTATION & INFRASTRUCTURE

- Access management is improved for vehicles through curb cut consolidation and cross-access between commercial properties, reducing traffic conflicts and backups.
- Electric vehicle charging facilities, pedestrian and bicycle infrastructure, and automated vehicle parking and loading spaces are integrated along major corridors, installed at key destinations, and incorporated into private development plans.
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#### URBAN DESIGN - BUILDING AND SITE TYPOLOGY:

- Residential development and commercial buildings should be oriented to the street.

## DEVELOPMENT REVIEW STAFF REPORT

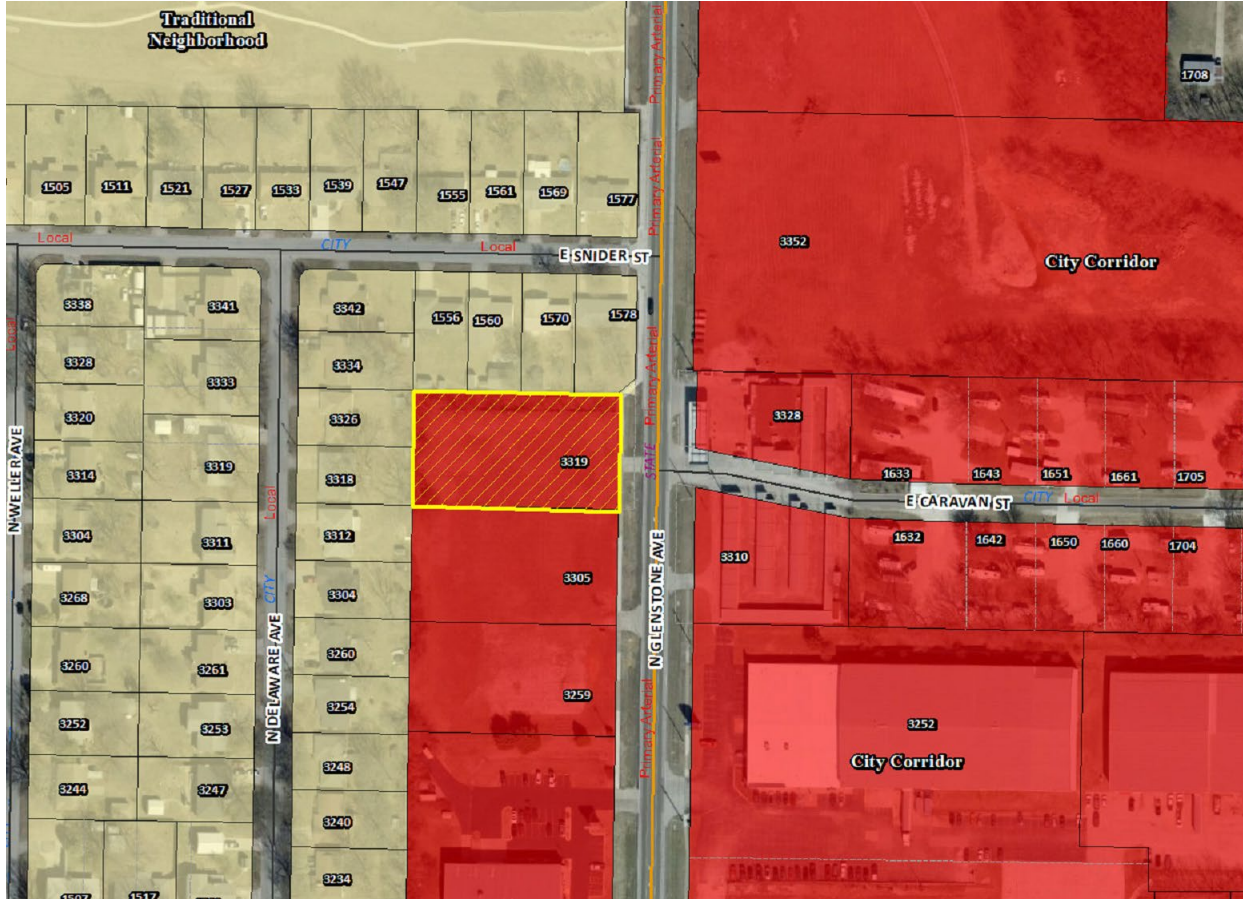
- Parking should be located behind or beside the primary buildings with abundant landscaping and screening to encourage greater interest and interaction between the adjoining street and the building, that contributes to community-wide quality of place.
- Pedestrian pathways within large parking lots provide safe access to business entrances.
- A greater focus on site design, parking access, massing, and building orientation are adopted to ensure development that is complementary to adjacent lower density residential development.
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- A mix of building heights is supported through structured site and building design strategies to soften the impact on adjacent lower intensity residential development.
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- Multi-story buildings should be sited and designed to reduce the impact on adjacent lower intensity residential development.

# DEVELOPMENT REVIEW STAFF REPORT

## FUTURE PLACETYPE MAP:



PLACETYPES	LAND USES																
	Single Family Detached	Single Family Attached	Multi-Family	Parks & Open Space	Sports Complexes & Recreational Facilities	Urban Agriculture	Office, Hospitality, Retail Sales & Service	Neighborhood Commercial	Maker, Artisan & Innovation Spaces	Public & Private Schools & Places of Worship	Universities, Colleges & Vocational Schools	Government, Health Care & Institutional Facilities	Personal Storage, Outdoor Sales & Service	Light Industry	Warehousing & Distribution Facilities	Heavy Industry & Manufacturing	Airport, Railroad & Freight Facilities
Residential Neighborhood	●	○	◇	○	○	○	○	○	○	○	○	○	○	○	○	○	○
Mixed Residential	●	●	○	○	○	○	○	○	○	○	○	○	○	○	○	○	○
Downtown	○	○	○	○	○	○	○	○	○	○	○	○	○	○	○	○	○
Mixed-Use	○	○	○	○	○	○	○	○	○	○	○	○	○	○	○	○	○
City Corridor	○	○	○	○	○	○	○	○	○	○	○	○	○	○	○	○	○
Institutional & Employment Center	○	○	○	○	○	○	○	○	○	○	○	○	○	○	○	○	○
Business Flex	○	○	○	○	○	○	○	○	○	○	○	○	○	○	○	○	○
Industry & Logistics	○	○	○	○	○	○	○	○	○	○	○	○	○	○	○	○	○
Urban Green Space & Recreation	○	○	○	○	○	○	○	○	○	○	○	○	○	○	○	○	○

● **Primary Land Use:** More prominent and play a pivotal role in characterizing that placetype

○ **Supporting Land Use:** Less prevalent and serve to support the primary land use.

◇ **Low Intensity Supporting Land Use:** Less prevalent and serve to support the primary use at neighborhood scale

## DEVELOPMENT REVIEW STAFF REPORT

### MAJOR THOROUGHFARE MAP:



### SURROUNDING ZONING, LAND USES AND PLACETYPES:

	NORTH	SOUTH	EAST	WEST
ZONING	R-SF	GR	HC	R-SF
LAND USE	Single-family residential uses	Vacant	Conv. & storage	Single-family res.
PLACETYPES	Traditional Neighb.	City Corridor	City Corridor	Traditional Neighb.

DEPARTMENT OF BUILDING DEVELOPMENT SERVICES:

No comments.

CITY UTILITIES:

No comments.

DEPARTMENT OF ENVIRONMENTAL SERVICES WASTEWATER MANAGEMENT DIVISION:

## DEVELOPMENT REVIEW STAFF REPORT

No comments.

**FIRE DEPARTMENT:**

No comments.

**DEPARTMENT OF PUBLIC WORKS TRAFFIC ENGINEERING DIVISION:**

**TRAFFIC REPORT**

	Street Name	Street Classification	Jurisdiction	ROW from Centerline (ft.)		Traffic Count (vehicles per day)	On-Street Parking	Sidewalk	
				Required	Existing			Required	Existing
<b>Street 1</b>	N Glenstone Avenue	Primary Arterial	MoDOT	50	50	10,500	No	Yes	Yes

**ACCESS** - All new or modified driveway approaches shall comply with current City of Springfield standards for the street classification.

**TRAILS, BUS STOPS, AND ADDITIONAL INFORMATION** - There are no Greenway trails or bus stops near this property.

**IMPROVEMENTS** - No improvements are required for this rezoning. A Traffic Impact Study (TIS) is required at the time of development. All public improvements required for the development must be constructed or escrowed prior to the approval of the building permit or plat.

**DEPARTMENT OF PUBLIC WORKS STORMWATER ENGINEERING DIVISION:**

**SITE DESCRIPTION & DRAINAGE PATTERN**

	Drainage Basin	Fee in Lieu Flood Control	Fee in Lieu Water Quality	Stream Buffer	Sinkhole or Watershed	Floodplain/ Floodway
<b>3319 N Glenstone Ave</b>	Pea Ridge Creek	Existing SCM	Existing SCM	No	No	No

All chapter and section references below are to the City's Flood Control and Water Quality Protection Manual Version April 2022.

**DETENTION AND DISCHARGE REQUIREMENTS**

1. Flood Control provided by extended dry detention basin built under 7PW5909. Site must drain to existing storm sewer and into SCM.

**WATER QUALITY REQUIREMENTS**

1. Water Quality provided by extended dry detention basin built under 7PW5909. Site must drain to existing storm sewer and into SCM.

2. A land disturbance permit will be required with disturbing 1 acre or greater per Chapter 4 Section 5 of the City's Flood Control and Water Quality Protection Manual.

## DEVELOPMENT REVIEW STAFF REPORT

### FLOODPLAIN

N/A

### NATURAL CHANNEL & STREAM BUFFERS

N/A

### SINKHOLES & KARST FEATURES

N/A

### STAFF ANALYSIS AND RECOMMENDATION:

1. The applicant is requesting to rezone approximately 0.93 acre generally located at 3319 N. Glenstone Avenue from R-MD, Medium Density Multi-Family Residential District to GR, General Retail District. The applicant intends to construct a new mixed-use building. This rezoning is running concurrently with Conditional Use Permit 485 for residential uses on the first floor frontage of a building.
2. The *Comprehensive Plan's Land Use & Development* chapter identifies the subject property within the City Corridor Placetype. This Placetype predominantly consists of commercial and service-related development varying in scale, ranging from standalone businesses to large retail centers. City Corridors are also key locations to support and encourage multi-family developments that rely on proximity to retail, commercial services, and employment centers.
3. The GR district is consistent with the City Corridor Placetype. Multi-family and retail sales and service are listed as a primary land use in the City Corridor Placetype.
4. The GR District is to the immediate south of this property and the applicant plans on combining the lots for their mixed-use development.
5. The subject property has access to City Utilities infrastructure, and any necessary extension of such services can be provided via City Utilities' extension policy, though new easements may be necessary to accommodate this.
6. There are few known changing conditions in the area affected that make the proposed rezoning necessary.
7. The range of uses in the proposed GR district are compatible with the uses permitted on other property in the immediate vicinity.
8. There are adequate utility and sewer and water facilities existing or can be provided to serve the uses that would be permitted on the property if it were rezoned.
9. The impact the uses, which would be permitted if the property were rezoned, is not expected to significantly increase the volume of vehicular and pedestrian traffic or reduce traffic safety in the vicinity.
10. The proposed zoning will not correct an error in the application of this article, but rather will provide a viable use of the property subject to the provisions of the zoning district.

## DEVELOPMENT REVIEW STAFF REPORT

11. A reasonably viable economic use of the subject property will not be precluded if the proposed rezoning is denied.
12. The proposed rezoning was reviewed by City departments and comments are contained in the staff report (above).
13. The applicant held a neighborhood meeting on January 22, 2026, regarding the rezoning request. A summary of the meeting is attached (Attachment 1).
14. The public notice was advertised in the Springfield News-Leader at least 15 days prior to the public hearing. The property was posted by the applicant at least 10 days prior to the public hearing. Public notice letters were sent out at least 10 days prior to the public hearing to all property owners within 185 feet.

### STAFF RECOMMENDATION:

1. Staff recommends approval based on the proposal's general conformance to the Comprehensive Plan's City Corridor Placetype and on the finding of facts above.

### PLANNING AND ZONING OPTIONS:

The planning and zoning commission shall make one of the following recommendations in connection with each proposed change in zoning district classification of this article:

1. Recommend against the proposed change in the zoning district classification.
2. Recommend a change in the zoning district classification.
3. Recommend a change in the zoning district classification together with recommendations which, in the judgment of the planning and zoning commission, will protect adjacent property and ensure that the proposed amendment is consistent with the purpose and intent of this article.



# MEETING NOTES

## Neighborhood Rezoning Meeting

<b>Project Name:</b>	3319 N. Glenstone Proposed Development
<b>Project Location:</b>	Springfield, MO
<b>Client:</b>	Greenway Development
<b>Project Manager:</b>	Ricky Haase
<b>Date:</b>	01/23/2026

### 1) List of verbal comments and how we plan to address any issues:

- a) **How many units are going in?**
  - 1) We answered how many 1 and 2 bedroom apartments there were.
  - 2) 77 total units; 69 one bedrooms, 8 two bedrooms, 115 parking stalls
- b) **Will there be security on-site guarding the gate and patrolling the streets?**
  - 1) Greenway Development assured residents that security would be patrolling at night, but the gate would not be manned, and it would just have pin-pad entry.
- c) **Which side of the detention concrete will the fence be on? Will it be on top of the concrete wall?**
  - 1) As of right now, it will be on the north side, directly behind the concrete wall. However, that could change depending on what would work best for the site and current residents. Design team to follow up with neighbors if design progresses.
- d) **Who will maintain the wooden fence if one is built on the property lines?**
  - 1) That would be the responsibility of the developer.
- e) **Would this be a long-term hold? Will you sell the property?**
  - 1) Greenway responded "We will not sell. This is an opportunity zone, and I plan to develop it for a minimum of 10 years. So yes, we plan to hold this."
- f) **How many entrances will there be?**
  - 1) There will be 2 entrance/exits. One for residents only, and one meant for people using the commercial facility in addition to residents.
- g) **What will the commercial facility be?**
  - 1) Hopefully a restaurant, or something that will benefit the community and that the neighborhood could use.
- h) **What other properties have you built and what restaurant do you (Brent) own?**
  - 1) Greenway Developers have done Galloway Creek (2018), Boomer Town (2018), Moon City, Park 57, Northgate Estates, etc. All are 50-100 unit developments. Brent mentioned that he is proud of his properties and makes sure they are kept up with. He also owns Retro Metro

- i) **If this gets developed, what will be the effect on traffic? Traffic is already unbearable with the apartments on Valley Water Mill, especially during rush hour, so what is their plan to manage that?**
  - 1) We were required to do a traffic study so the entrances and exits conform to that.
- j) **Can we move the entrance/exit to Delaware?**
  - 1) No, we don't want to divert traffic to the other neighborhoods.
- k) **Is there a swimming pool?**
  - 1) No, we have a pickleball court but no swimming pool.
- l) **Are people required to clean up after their pets?**
  - 1) Yes, there is very strict enforcement on that.
- m) **What if someone has a big party in their apartment and brings a lot of cars. Where will they park?**
  - 1) That's a million-dollar question. They can't park on Glenstone, or walk through yards, so it's a hard thing to plan for. There is open parking in the restaurant, and possibly additional parking in place of the pickleball court.
- n) **What is there for lighting?**
  - 1) There are street/parking lot lighting that must all face inwards and they cannot cast more than a 1-foot candle.
- o) **What is there for a buffer?**
  - 1) The back side is basically all utilities so there is roughly a 75-foot buffer.
- p) **How long before the site looks accurate to the rendering with all the trees grown to full size?**
  - 1) Roughly 5-7 years.
- q) **Could this lower property value of existing homes?**
  - 1) It is always a concern, but the economic climate is very strange right now. Values are subject to various different things. The more development that comes this way, the more it pushes in the right direction, IF it's done right and is a nice development
- r) **What will the age demographic be? What is it like at your (Greenway Development's) other properties?**
  - 1) There are no studio apartments, which means there will be fewer college kids. You get a lot of young professionals in 1-2 beds. There might be some workforce housing on the 1 beds and possibly young families in the 2 beds. Since it is hard for young families to buy a house, a lot of them are living in 2-bedroom apartments rather than buying a home. We will most likely have younger residents who are working professionals.
- s) **What will rent be like?**
  - 1) \$900-\$950 range for one bedroom, \$1,200 for two bedrooms.
- t) **What is above the restaurant?**
  - 1) More apartments.

- u) **Will the people high up be able to see into the current resident's backyard?**
  - 1) Most likely no, it's still a long ways away.
- v) **Can we get rid of the concrete wall that's currently there? It sticks up 6 foot above ground level.**
  - 1) No, but there's a possibility of sawcutting it so it's not as tall and building a fence to hide it more. We will work with residents to do what they would like to enhance the aesthetics.
- w) **What is the length of the property/fence length?**
  - 1) 300-350 feet, give or take.
- x) **Residents believed that when the area was built up, they had drainage embedded in the property that made it flow to the culvert. Is that true?**
  - 1) Yes, but we are tearing it all out to put in new drainage systems.
- y) **What has happened to the value of nearby properties and neighboring houses in the areas where other properties like this have been built?**
  - 1) We have done exactly what we said we would do, so it looks the same as it did then. All the neighborhoods around have continued to grow and flourish. It's hard to say the values have increased, but he (Brent) doesn't think there's been a decrease.
- z) **Did all the people on Delaware get notices?**
  - 1) Yes there were 100 invites sent out to everyone in a 500-foot radius.
- aa) **Will there be a fitness room?**
  - 1) Yes, there will be a very small fitness room with 5-6 machines, along with a package room for the apartment near the leasing office.
- bb) **What is the square footage for the apartments?**
  - 1) 500-525 square feet for the one bedrooms, 800 square feet for the two bedrooms.
- cc) **Is the entrance to the apartment units accessed from the inside?**
  - 1) Yes, they're all indoor access without balconies. They are prioritizing natural light so there is a large door to the outside but no balcony access.
- dd) **When will construction start?**
  - 1) Construction would likely start in the summer of 2026 and take tenants in the summer of 2027.

## 2) General Concerns

- a) Many people are concerned about the current fencing situation. There is a large concrete wall that they want removed and say that all the fence that is currently there has not been kept up with properly. It is overgrown, broken and dirty. They cannot get ahold of the city to keep up with maintenance.
- b) Many said the property has almost been "forgotten" because it isn't being kept up with anymore.
  - 1) We assured everyone that we don't want to make anything worse, and we want to make it better and increase property value. So, we are trying to figure out the best way to do all that.



- 2) We want to be good neighbors, clean it up and make it look good. We want to bring the city's awareness to it and make them keep up with the property.
- c) We asked if we could just clean up the wall, power wash it and get rid of the brush in place of putting a new fence in. We're cleaning out all the trees from the culvert and planting new trees.
- d) We are looking for a solution that appeals to everyone, whether that's removing the chain link fence to replace with wood, sawcutting the concrete wall, using different materials for fencing, etc.

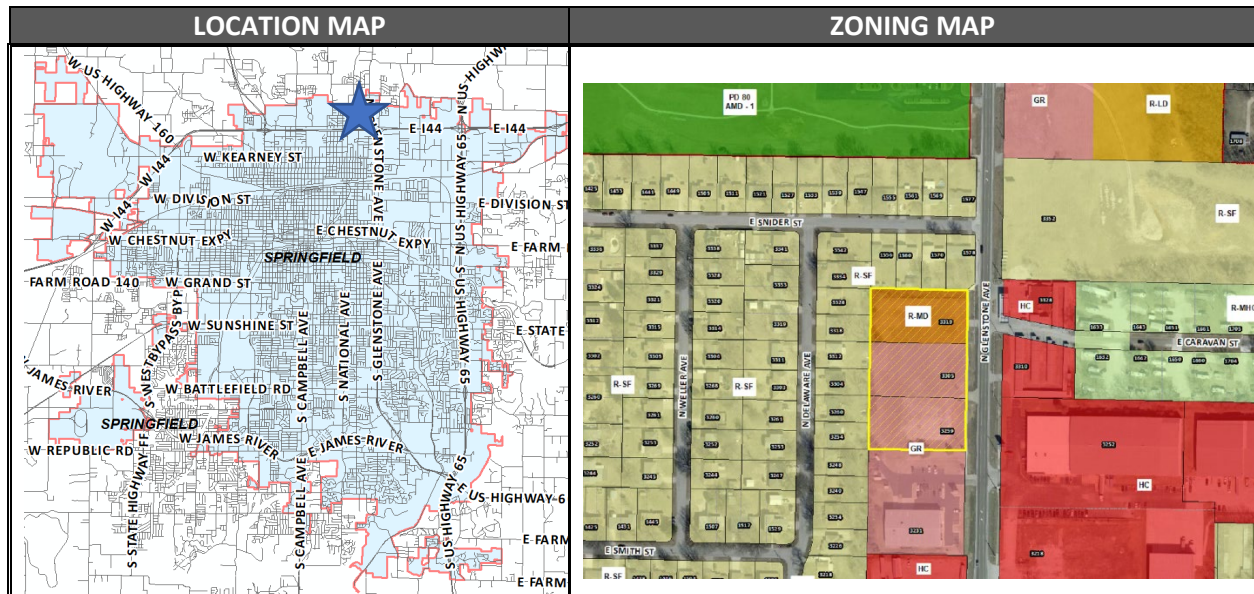


## DEVELOPMENT REVIEW STAFF REPORT

PROJECT INFORMATION	
<b>Case Number:</b>	Conditional Use Permit No. 485
<b>Location:</b>	3259, 3305 & 3319 N. Glenstone Avenue
<b>Total Acres:</b>	2.8 acres
<b>Applicant:</b>	WLM RE HOLDCO, LLC
<b>Existing Land Use:</b>	Vacant/undeveloped
<b>Neighborhood Meeting:</b>	January 22, 2026
<b>Planning and Zoning Commission:</b>	February 12, 2026
<b>City Council:</b>	March 9, 2026
<b>Public Notification:</b>	Mail, posted property, and legal in Springfield News-Leader
<b>Staff:</b>	Daniel Neal, Senior Planner, (417) 864-1036
<b>Staff recommendation:</b>	Staff recommends approval
<b>Proposed motion:</b>	I move to adopt the staff's responses in Attachment 2 to the staff report as the findings of fact and recommend approval of CUP 485 subject to the conditions listed in Attachment 1 to the staff report. (All commission motions are made in the affirmative.)
<b>Required Vote:</b>	A majority of those present (5 members are a quorum).

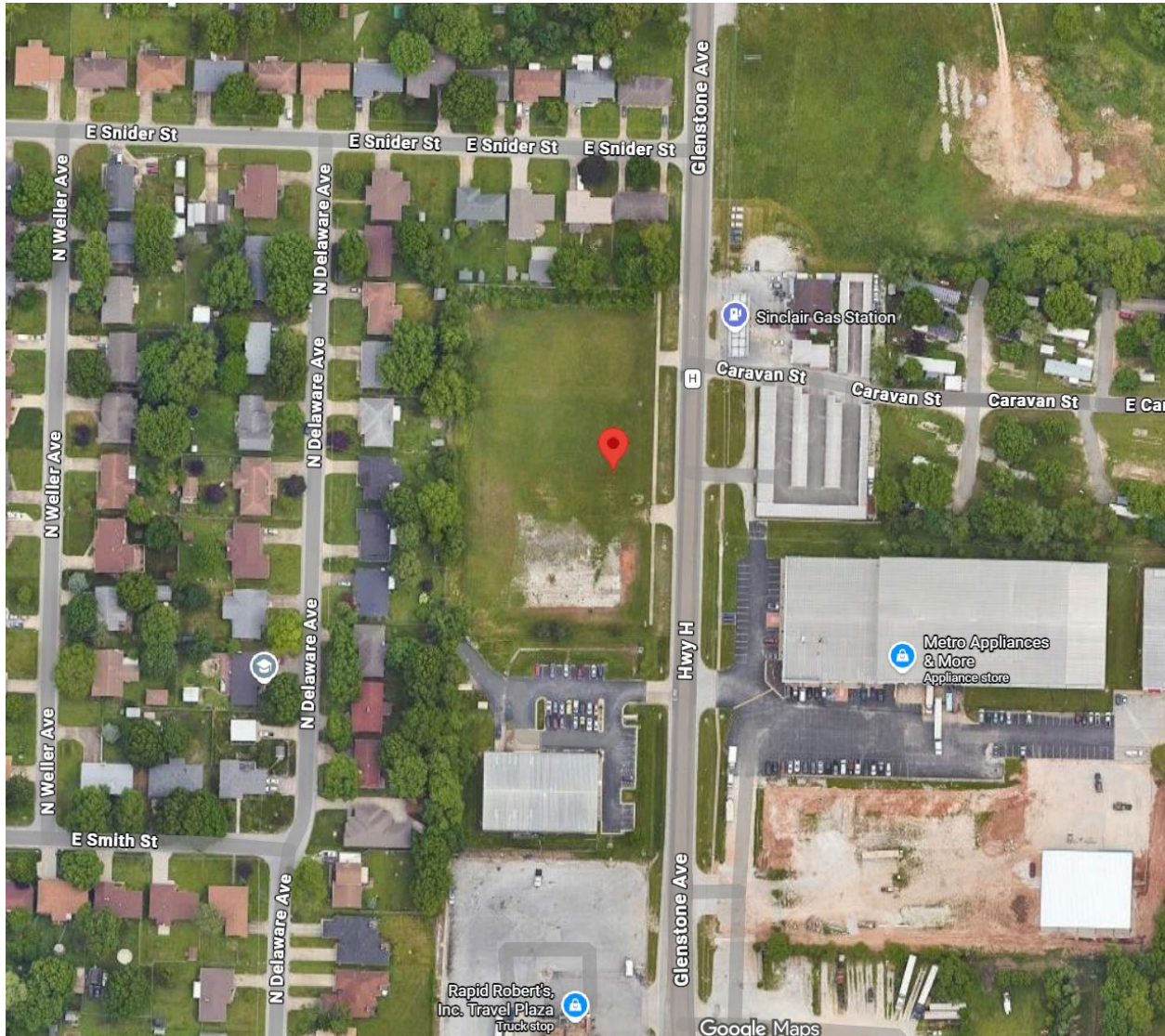
### PROJECT SUMMARY:

Request to permit residential first-floor frontage within a GR, General Retail District, generally located at 3259, 3305 and 3319 N. Glenstone Avenue.



DEVELOPMENT REVIEW STAFF REPORT

GOOGLE AERIAL OF LANDMARKS, BUSINESSES, AND ATTRACTIONS:



GOOGLE MAPS STREET VIEW:



## DEVELOPMENT REVIEW STAFF REPORT

### PROPERTY HISTORY:

The north portion of the subject property was rezoned to R-MD in 2006. The southern portion of the subject property was rezoned to GR, General Retail District in 2001. A CUP for a car wash was approved, but expired in 2007.

### PLANNING AND ZONING COMMISSION AUTHORITY:

#### Sec. 36-363. – Conditional Use Permit

(1) *Purpose.* The conditional use permit procedure is designed to provide the planning and zoning commission and the city council with an opportunity for discretionary review of requests to establish or construct uses or structures which may be necessary or desirable in a zoning district, but which may also have the potential for a deleterious impact upon the health, safety, and welfare of the public. The purpose of the review is to determine whether the proposed location of the use or structure is appropriate and whether it will be designed and located to avoid, minimize, or mitigate any potentially adverse effects upon the community or other properties in its vicinity. The discretionary conditional use permit procedure is designed to enable the planning and zoning commission and the city council to impose conditions upon such uses and structures that are designed to avoid, minimize or mitigate potentially adverse effects upon the community or other properties in the vicinity of the proposed use or structure, and to deny requests for a conditional use permit when it is apparent that a proposed use or structure will or may cause harm to the community or injury to the value, lawful use and reasonable enjoyment of other properties in the vicinity of the proposed use or structure.

(8) *Period of validity.*

(a) No conditional use permit shall be valid for a period longer than 18 months from the date on which the city council grants the conditional use permit, unless within such 18 months period:

1. A building permit is obtained, and the erection or alteration of a structure is started; or
2. An occupancy permit is obtained, and the conditional use is commenced.

The city council may grant one additional extension not exceeding 18 months, upon written application, without notice or hearing provided such grant is approved by city council prior to the expiration of the original 18-month period. No additional extension shall be granted without complying with the notice and hearing requirements for an initial application for a conditional use permit. This additional extension shall be considered to have begun on the date of expiration of the original conditional use permit regardless of when this additional extension is granted by city council.

(b) When a conditional use is discontinued or abandoned for a period of 12 consecutive months (regardless of any reservation of an intent not to abandon or to resume such use), such use shall not thereafter be reestablished or resumed unless a new conditional use permit is granted by city council consistent with this section. The burden of proof shall be on the property owner to show that the conditional use has not been discontinued or abandoned for a period of 12 consecutive months or longer.

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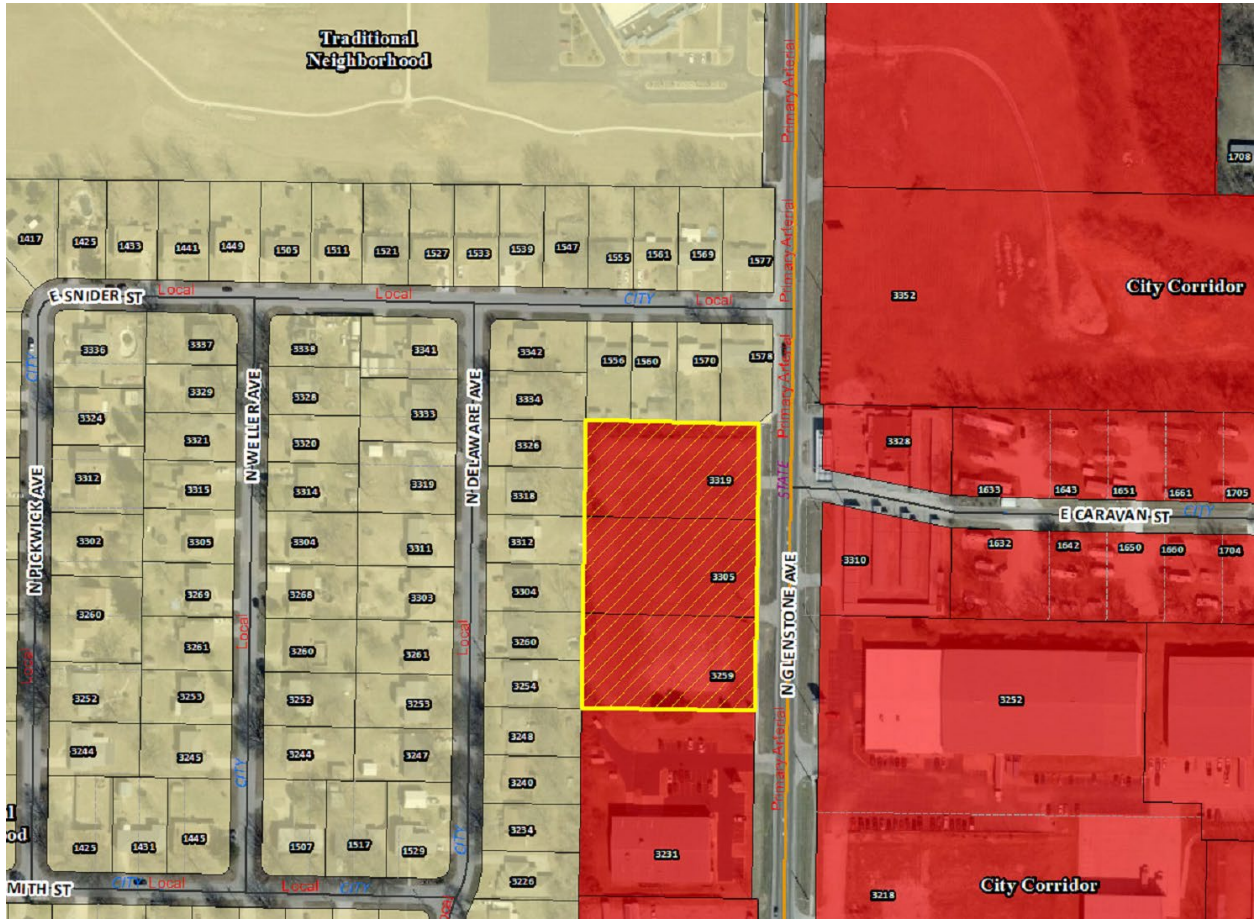
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# DEVELOPMENT REVIEW STAFF REPORT

## FUTURE PLACETYPE MAP:



PLACETYPES	LAND USES																
	Single Family Detached	Single Family Attached	Multi-family	Parks & Open Space	Sports Complexes & Recreational Facilities	Urban Agriculture	Office, Hospitality, Retail Sales & Service	Neighborhood Commercial	Major, Artisan & Innovation Spokes	Public & Private Schools & Places of Worship	Universities, College & Vocational Schools	Government, Healthcare & Institutional Facilities	Personal Storage, Outdoor Sales & Service	Light Industry	Warehousing & Distribution Facilities	Heavy Industry & Manufacturing	Airport Railroad & Freight Facilities
Residential Neighborhood	●	○	◇	○	○	○	○	○	○	○	○	○	○	○	○	○	○
Mixed Residential	●	●	●	○	○	○	○	○	○	○	○	○	○	○	○	○	○
Downtown	○	○	○	○	○	○	○	○	○	○	○	○	○	○	○	○	○
Mixed-Use	○	○	○	○	○	○	○	○	○	○	○	○	○	○	○	○	○
City Corridor	○	○	○	○	○	○	○	○	○	○	○	○	○	○	○	○	○
Institutional & Employment Center	○	○	○	○	○	○	○	○	○	○	○	○	○	○	○	○	○
Business Flex	○	○	○	○	○	○	○	○	○	○	○	○	○	○	○	○	○
Industry & Logistics	○	○	○	○	○	○	○	○	○	○	○	○	○	○	○	○	○
Urban Green Space & Recreation	○	○	○	○	○	○	○	○	○	○	○	○	○	○	○	○	○

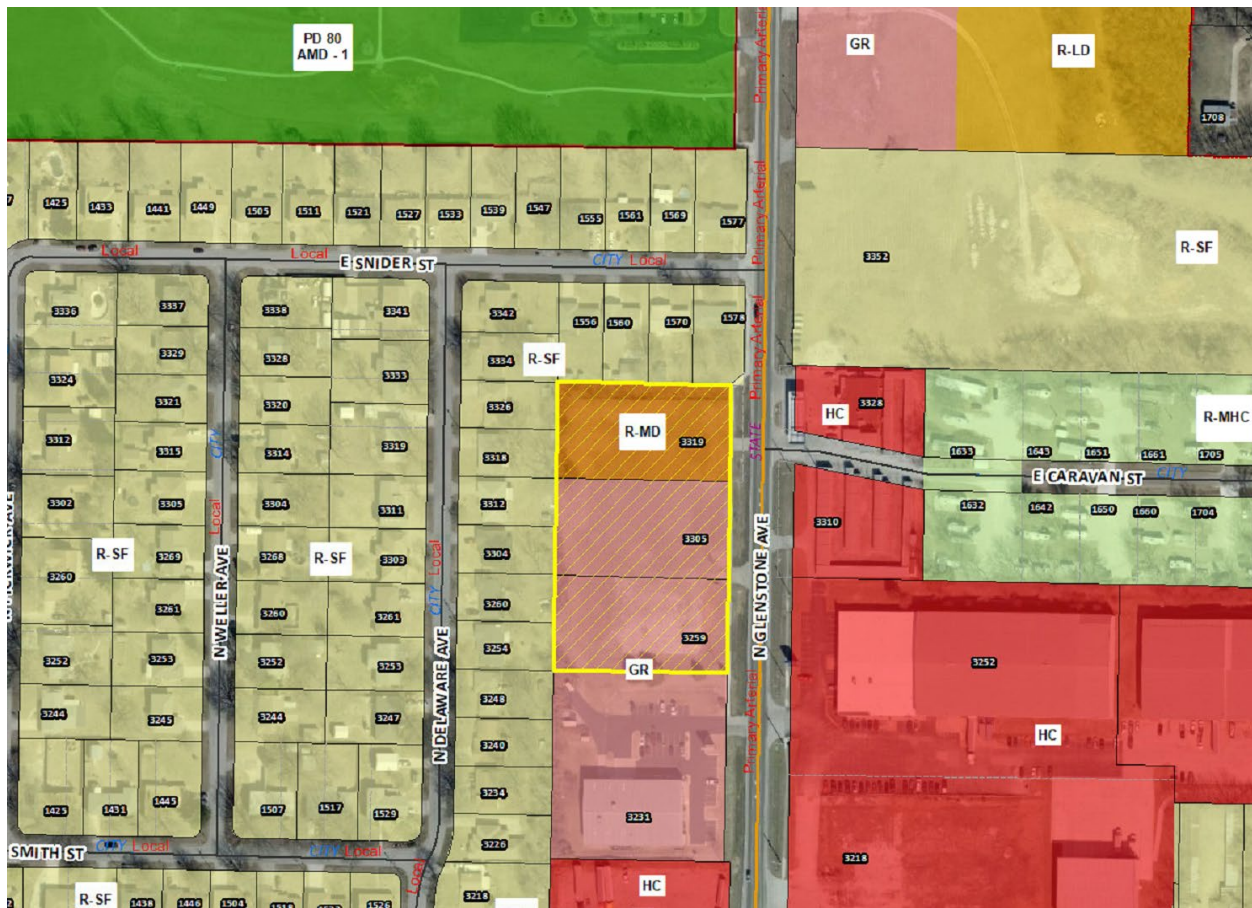
● **Primary Land Use:** More prominent and play a pivotal role in characterizing that placetype

○ **Supporting Land Use:** Less prevalent and serve to support the primary land use.

◇ **Low Intensity Supporting Land Use:** Less prevalent and serve to support the primary use at neighborhood scale

# DEVELOPMENT REVIEW STAFF REPORT

## MAJOR THOROUGHFARE MAP:



## SURROUNDING ZONING, LAND USES AND PLACETYPES:

	NORTH	SOUTH	EAST	WEST
ZONING	R-SF	GR	HC	R-SF
LAND USE	Single-family residential uses	Office uses	Convenience store and storage units	Single-family residential uses
PLACETYPES	Traditional Neighborhood	City Corridor	City Corridor	Traditional Neighborhood

## DEVELOPMENT REVIEW STAFF REPORT

### DEPARTMENT COMMENTS:

1. DEPARTMENT OF BUILDING DEVELOPMENT SERVICES:  
No comments.
2. CITY UTILITIES:  
No issues with the proposed CUP.
3. DEPARTMENT OF ENVIRONMENTAL SERVICES WASTEWATER MANAGEMENT DIVISION:  
No issues with CUP. Property still needs offsite sewer extension capable of serving development.
4. FIRE DEPARTMENT:  
Development shall comply with 2018 IFC.
5. DEPARTMENT OF PUBLIC WORKS STORMWATER ENGINEERING DIVISION:

### SITE DESCRIPTION & DRAINAGE PATTERN

	Drainage Basin	Fee in Lieu Flood Control	Fee in Lieu Water Quality	Stream Buffer	Sinkhole or Watershed	Floodplain/Floodway
<b>3319 N Glenstone Ave</b>	Pea Ridge Creek	Existing SCM	Existing SCM	No	No	No

All chapter and section references below are to the City's Flood Control and Water Quality Protection Manual Version April 2022.

#### DETENTION AND DISCHARGE REQUIREMENTS

1. Flood Control provided by extended dry detention basin built under 7PW5909. Site must drain to existing storm sewer and into SCM.

#### WATER QUALITY REQUIREMENTS

1. Water Quality provided by extended dry detention basin built under 7PW5909. Site must drain to existing storm sewer and into SCM.

#### FLOODPLAIN

N/A

#### NATURAL CHANNEL & STREAM BUFFERS

N/A

#### SINKHOLES & KARST FEATURES

N/A

6. DEPARTMENT OF PUBLIC WORKS TRAFFIC DIVISION:

## DEVELOPMENT REVIEW STAFF REPORT

### TRAFFIC REPORT

	Street Name	Street Classification	Jurisdiction	ROW from Centerline (ft.)		Traffic Count (vehicles per day)	On-Street Parking	Sidewalk	
				Required	Existing			Required	Existing
Street 1	N Glenstone Avenue	Primary Arterial	MoDOT	50	50	10,500	No	Yes	Yes

**ACCESS** - All new or modified driveway approaches shall comply with current City of Springfield standards for the street classification.

**TRAILS, BUS STOPS, AND ADDITIONAL INFORMATION** - There are no Greenway trails or bus stops near this property.

**IMPROVEMENTS** - No improvements are required for this Conditional Use Permit. A Traffic Impact Study (TIS) is required at the time of development. All public improvements required for the development must be constructed or escrowed prior to the approval of the building permit or plat.

### STAFF ANALYSIS AND RECOMMENDATION:

1. The applicant has requested this conditional use permit to permit residential first-floor frontage within a GR, General Retail District, generally located at 3259, 3305 and 3319 N. Glenstone Avenue. The applicant is proposing a new mixed-use development which is mostly residential.
2. This application is for a conditional use permit for residential uses on the first-floor frontage of a building in the GR, General Retail District. The permitted use in the GR district are allowed as stated: Residential uses provided such uses are located above the first floor or behind nonresidential uses so as to create a continuous nonresidential facade, on the first-floor level. The applicant has designed the site to meet this requirement.
3. The *Comprehensive Plan's Land Use & Development* chapter identifies the subject property within the City Corridor Placetype. This Placetype predominantly consists of commercial and service-related development varying in scale, ranging from standalone businesses to large retail centers. City Corridors are also key locations to support and encourage multi-family developments that rely on proximity to retail, commercial services, and employment centers.
4. The applicant has provided elevations that show how the proposed building will meet the Multi-Family Location and Design Guidelines and Comprehensive Plan goals.
5. A site plan has been provided (Attachment 4) showing the proposed site and structure layout.

## DEVELOPMENT REVIEW STAFF REPORT

6. There are no additional height requirements or bufferyards required with the proposed use permit because the affected area is within the GR District and the standard bulk plane and bufferyards adjacent to less intense districts will continue to apply.
7. Staff has determined that the requested rezoning and conditional use permit are in general alignment with the objectives and intent of the *Comprehensive Plan's* City Corridor Placetype as outlined in the Compatibility with the Comprehensive Plan section (above).
8. The proposed conditional use permit was reviewed by City departments and comments are contained in the staff report (above).
9. The applicant held a neighborhood meeting on January 22, 2026, regarding the rezoning request. A summary of the meeting is attached (Attachment 3).
10. The public notice was advertised in the Springfield News-Leader at least 15 days prior to the public hearing. The property was posted by the applicant at least 10 days prior to the public hearing. Public notice letters were sent out at least 10 days prior to the public hearing to all property owners within 185 feet

### STAFF RECOMMENDATION:

1. Staff recommends approval based on the proposal's general conformance to the *Comprehensive Plan's* City Corridor Placetype and based on the development's compliance with the standards of approval below (Attachment 2).

### PLANNING AND ZONING OPTIONS:

The Planning and Zoning Commission shall make one of the following recommendations in connection with each proposed conditional use:

1. Recommend against the proposed conditional use,
2. Recommend approval of the proposed conditional use, or
3. Recommend approval of the proposed conditional use together with recommendations which, in the judgment of the Planning and Zoning Commission, will protect adjacent property and ensure that the proposed conditional use is consistent with the purpose and intent of this article.

## DEVELOPMENT REVIEW STAFF REPORT

### ATTACHMENT 1 CONDITIONAL USE PERMIT NO. 485

1. The first-floor residential uses shall comply with all the standards listed in Attachment 2.
2. The first-floor residential uses shall be permitted in conformance with the site plan and elevations provided in Attachment 4.
3. All other standards of the Zoning Ordinance and other applicable Ordinances shall be adhered to.

## DEVELOPMENT REVIEW STAFF REPORT

### ATTACHMENT 2 STANDARDS FOR CONDITIONAL USE PERMIT NO. 485

Sec. 36-363 (10) Standards. An application for a Conditional Use Permit shall be granted only if evidence is presented at the public hearing which establishes the following:	Applicant's response:	Staff's response:
1. The proposed conditional use will be consistent with the adopted policies in the Springfield <i>Comprehensive Plan</i> .	Yes, the conditional use will be consistent with the adopted policies of the Springfield <i>Comprehensive Plan</i> .	Staff has determined that the proposed conditional use within the requested GR district is in general alignment with the <i>Comprehensive Plan's</i> City Corridor Placetype designation.
2. The proposed conditional use will not adversely affect the safety of the motoring public and of pedestrians using the facility and the area immediately surrounding the site.	It will not affect safety.	Public Works – Traffic has reviewed the proposed conditional use and traffic study and has determined that it will not adversely affect the safety of the motoring public or of pedestrians using the facility or within the immediate surroundings of the proposal.
3. The proposed conditional use will adequately provide for safety from fire hazards and have effective measures of fire control.	All fire codes will be adhered to.	The Fire Department has reviewed the proposed conditional use and hasn't noted any concerns about fire safety and fire control measures. The Fire Department's comments are provided within the Department Comments section of the staff report, above.
4. The proposed conditional use will not increase the hazard to adjacent property from flood or water damage.	All City of Springfield stormwater codes will be adhered to, and existing stormwater detention and water quality for the site is already in place.	Public Works – Stormwater has reviewed the proposed conditional use and has provided their comments within the Department Comments section of the staff report, above.
5. The proposed conditional use will not have noise characteristics that exceed the sound levels that are	The proposed CUP will not have excessive noise characteristics that would exceed permitted uses.	Staff does not have any concerns pertaining to the anticipated noise levels associated with the proposed

## DEVELOPMENT REVIEW STAFF REPORT

typical of uses permitted as a matter of right in the district.		CUP uses which should fit in with the existing uses in the area.
6. The glare of vehicular and stationary lights will not affect the established character of the neighborhood, and to the extent such lights will be visible from any residential district, measures to shield or direct such lights to eliminate or mitigate such glare are proposed.	Photometric plans will be provided, and buffer yard fencing and landscaping will be provided.	All stationary lighting will be required to be meet the requirements and limitations of Section 36-484, Exterior lighting.
7. The location, lighting, and type of signs and the relationships of signs to traffic control is appropriate for the site.	All proposed signage will be appropriate for the site.	Any signage must comply with the requirements and limitations of the CUP approval standards and Section 36-454, Signs, of the Zoning Ordinance.
8. Such signs will not have an adverse effect on any adjacent properties.	Signs will not have an adverse effect on adjacent properties.	Any signage must comply with the requirements and limitations of Section 36-454, Signs, of the Zoning Ordinance.
9. The street right-of-way and pavement width in the vicinity is or will be adequate for traffic reasonably expected to be generated by the proposed use.	N. Glenstone is a primary arterial (MoDOT) and is adequate for traffic generated by the proposed use.	As noted by Public Works – Traffic, there are no concerns at this time regarding the proposal’s impact on traffic in the area.
10. The proposed conditional use will not have any substantial or undue adverse effect upon, or will lack amenity or will be incompatible with, the use or enjoyment of adjacent and surrounding property, the character of the neighborhood, traffic conditions, parking, utility facilities, and other matters affecting the public health, safety and general welfare.	No, it will not.	Staff doesn’t anticipate that the proposed development will adversely impact or be incompatible with the surrounding property.
11. The proposed conditional use will be constructed, arranged and	Yes, The conditional use is limited to the first floor of the proposed building.	Staff doesn’t anticipate any changes that would dominate the immediate vicinity or

## DEVELOPMENT REVIEW STAFF REPORT

<p>operated so as not to dominate the immediate vicinity or to interfere with the development and use of neighboring property in accordance with the applicable district regulations. In determining whether the proposed conditional use will so dominate the immediate neighborhood, consideration shall be given to:</p> <ul style="list-style-type: none"> <li>a. The location, nature and height of buildings, structures, wall and fences on the site; and</li> <li>b. The nature and extent of landscaping and screening on the site.</li> </ul>	<p>The height and location of buildings will be consistent with the current GR zoning.</p> <p>The conditional use has no effect on the required landscaping and screening.</p>	<p>interfere with the development and use of the neighboring property.</p>
<p>12. The proposed conditional use, as shown by the application, will not destroy, damage, detrimentally modify or interfere with the enjoyment and function of any significant natural topographic or physical features of the site.</p>	<p>There are no known significant natural topographic or physical features on the site.</p>	<p>Staff has no concerns with the effects this use will have to surrounding properties.</p>
<p>13. The proposed conditional use will not result in the destruction, loss or damage of any natural, scenic or historic feature of significant importance.</p>	<p>The site is vacant and bare.</p>	<p>Staff isn't aware of any features that will be destroyed or lost with the development of this site.</p>
<p>14. The proposed conditional use otherwise complies with all applicable regulations of the Article, including lot size requirements, bulk regulations, use limitations and performance standards.</p>	<p>Yes, the proposed CUP complies with all of these regulations.</p>	<p>The proposed use and site plan appear to comply with all district regulations.</p>

## DEVELOPMENT REVIEW STAFF REPORT

<p>15. The proposed conditional use at the specified location will contribute to or promote the welfare or convenience of the public.</p>	<p>Yes, the proposed CUP provides additional residential housing needed in the area..</p>	<p>The proposed use will contribute to the general welfare of the City.</p>
<p>16. Off-street parking and loading areas will be provided in accordance with the standards set out in 36-455, 36-456 and 36-483 of this Article, and such areas will be screened from any adjoining residential uses and located to protect such residential uses from any injurious effect.</p>	<p>Yes, parking will be per standard, and screened per city regulations.</p>	<p>The development must meet the requirements of Section 36-455 of the Zoning Ordinance.</p>
<p>17. Adequate access roads or entrance or exit drives will be provided and will be designed so as to prevent traffic hazards and to minimize traffic congestion in public streets and alleys.</p>	<p>Yes, access will be approved by MoDOT.</p>	<p>A traffic study has been submitted and approved by PW Traffic.</p>
<p>18. The vehicular circulation elements of the proposed application will not create hazards to the safety of vehicular or pedestrian traffic on or off the site, disjointed vehicular or pedestrian circulation paths on or off the site, or undue interference and inconvenience to vehicular and pedestrian travel.</p>	<p>Vehicular circulation will not create hazards or create undue interference.</p>	<p>The development will need to provide sidewalks and pedestrian connections as required by the Zoning Ordinance and CUP conditions.</p>
<p>19. The proposed use, as shown by the application, will not interfere with any easements, roadways, rail lines, utilities and public or private rights-of-way.</p>	<p>The CUP will not interfere with any easements, roadways, rail lines, utilities and public or private rights-of-way.</p>	<p>There are not any known interferences with any public rights-of-way or easements.</p>
<p>20. In the case of existing structures proposed to be converted to uses requiring a conditional use permit, the structures meet all fire,</p>	<p>This is not applicable.</p>	<p>Any new or converted facilities must meet all City code requirements.</p>

## DEVELOPMENT REVIEW STAFF REPORT

<p>health, building, plumbing and electrical requirements of the City of Springfield.</p>		
<p>21. The proposed conditional use will be served adequately by essential public facilities and services such as highways, streets, parking spaces, police and fire protection, drainage structures, refuse disposal, water and sewers, and schools; or that the persons or agencies responsible for the establishment of the proposed use will provide adequately for such services.</p>	<p>Yes, the CUP will be served adequately by all services listed.</p>	<p>The property is currently served by all public facilities and services.</p>



# MEETING NOTES

## Neighborhood Rezoning Meeting

<b>Project Name:</b>	3319 N. Glenstone Proposed Development
<b>Project Location:</b>	Springfield, MO
<b>Client:</b>	Greenway Development
<b>Project Manager:</b>	Ricky Haase
<b>Date:</b>	01/23/2026

### 1) List of verbal comments and how we plan to address any issues:

- a) **How many units are going in?**
  - 1) We answered how many 1 and 2 bedroom apartments there were.
  - 2) 77 total units; 69 one bedrooms, 8 two bedrooms, 115 parking stalls
- b) **Will there be security on-site guarding the gate and patrolling the streets?**
  - 1) Greenway Development assured residents that security would be patrolling at night, but the gate would not be manned, and it would just have pin-pad entry.
- c) **Which side of the detention concrete will the fence be on? Will it be on top of the concrete wall?**
  - 1) As of right now, it will be on the north side, directly behind the concrete wall. However, that could change depending on what would work best for the site and current residents. Design team to follow up with neighbors if design progresses.
- d) **Who will maintain the wooden fence if one is built on the property lines?**
  - 1) That would be the responsibility of the developer.
- e) **Would this be a long-term hold? Will you sell the property?**
  - 1) Greenway responded "We will not sell. This is an opportunity zone, and I plan to develop it for a minimum of 10 years. So yes, we plan to hold this."
- f) **How many entrances will there be?**
  - 1) There will be 2 entrance/exits. One for residents only, and one meant for people using the commercial facility in addition to residents.
- g) **What will the commercial facility be?**
  - 1) Hopefully a restaurant, or something that will benefit the community and that the neighborhood could use.
- h) **What other properties have you built and what restaurant do you (Brent) own?**
  - 1) Greenway Developers have done Galloway Creek (2018), Boomer Town (2018), Moon City, Park 57, Northgate Estates, etc. All are 50-100 unit developments. Brent mentioned that he is proud of his properties and makes sure they are kept up with. He also owns Retro Metro

- i) **If this gets developed, what will be the effect on traffic? Traffic is already unbearable with the apartments on Valley Water Mill, especially during rush hour, so what is their plan to manage that?**
  - 1) We were required to do a traffic study so the entrances and exits conform to that.
- j) **Can we move the entrance/exit to Delaware?**
  - 1) No, we don't want to divert traffic to the other neighborhoods.
- k) **Is there a swimming pool?**
  - 1) No, we have a pickleball court but no swimming pool.
- l) **Are people required to clean up after their pets?**
  - 1) Yes, there is very strict enforcement on that.
- m) **What if someone has a big party in their apartment and brings a lot of cars. Where will they park?**
  - 1) That's a million-dollar question. They can't park on Glenstone, or walk through yards, so it's a hard thing to plan for. There is open parking in the restaurant, and possibly additional parking in place of the pickleball court.
- n) **What is there for lighting?**
  - 1) There are street/parking lot lighting that must all face inwards and they cannot cast more than a 1-foot candle.
- o) **What is there for a buffer?**
  - 1) The back side is basically all utilities so there is roughly a 75-foot buffer.
- p) **How long before the site looks accurate to the rendering with all the trees grown to full size?**
  - 1) Roughly 5-7 years.
- q) **Could this lower property value of existing homes?**
  - 1) It is always a concern, but the economic climate is very strange right now. Values are subject to various different things. The more development that comes this way, the more it pushes in the right direction, IF it's done right and is a nice development
- r) **What will the age demographic be? What is it like at your (Greenway Development's) other properties?**
  - 1) There are no studio apartments, which means there will be fewer college kids. You get a lot of young professionals in 1-2 beds. There might be some workforce housing on the 1 beds and possibly young families in the 2 beds. Since it is hard for young families to buy a house, a lot of them are living in 2-bedroom apartments rather than buying a home. We will most likely have younger residents who are working professionals.
- s) **What will rent be like?**
  - 1) \$900-\$950 range for one bedroom, \$1,200 for two bedrooms.
- t) **What is above the restaurant?**
  - 1) More apartments.

- u) **Will the people high up be able to see into the current resident's backyard?**
  - 1) Most likely no, it's still a long ways away.
- v) **Can we get rid of the concrete wall that's currently there? It sticks up 6 foot above ground level.**
  - 1) No, but there's a possibility of sawcutting it so it's not as tall and building a fence to hide it more. We will work with residents to do what they would like to enhance the aesthetics.
- w) **What is the length of the property/fence length?**
  - 1) 300-350 feet, give or take.
- x) **Residents believed that when the area was built up, they had drainage embedded in the property that made it flow to the culvert. Is that true?**
  - 1) Yes, but we are tearing it all out to put in new drainage systems.
- y) **What has happened to the value of nearby properties and neighboring houses in the areas where other properties like this have been built?**
  - 1) We have done exactly what we said we would do, so it looks the same as it did then. All the neighborhoods around have continued to grow and flourish. It's hard to say the values have increased, but he (Brent) doesn't think there's been a decrease.
- z) **Did all the people on Delaware get notices?**
  - 1) Yes there were 100 invites sent out to everyone in a 500-foot radius.
- aa) **Will there be a fitness room?**
  - 1) Yes, there will be a very small fitness room with 5-6 machines, along with a package room for the apartment near the leasing office.
- bb) **What is the square footage for the apartments?**
  - 1) 500-525 square feet for the one bedrooms, 800 square feet for the two bedrooms.
- cc) **Is the entrance to the apartment units accessed from the inside?**
  - 1) Yes, they're all indoor access without balconies. They are prioritizing natural light so there is a large door to the outside but no balcony access.
- dd) **When will construction start?**
  - 1) Construction would likely start in the summer of 2026 and take tenants in the summer of 2027.

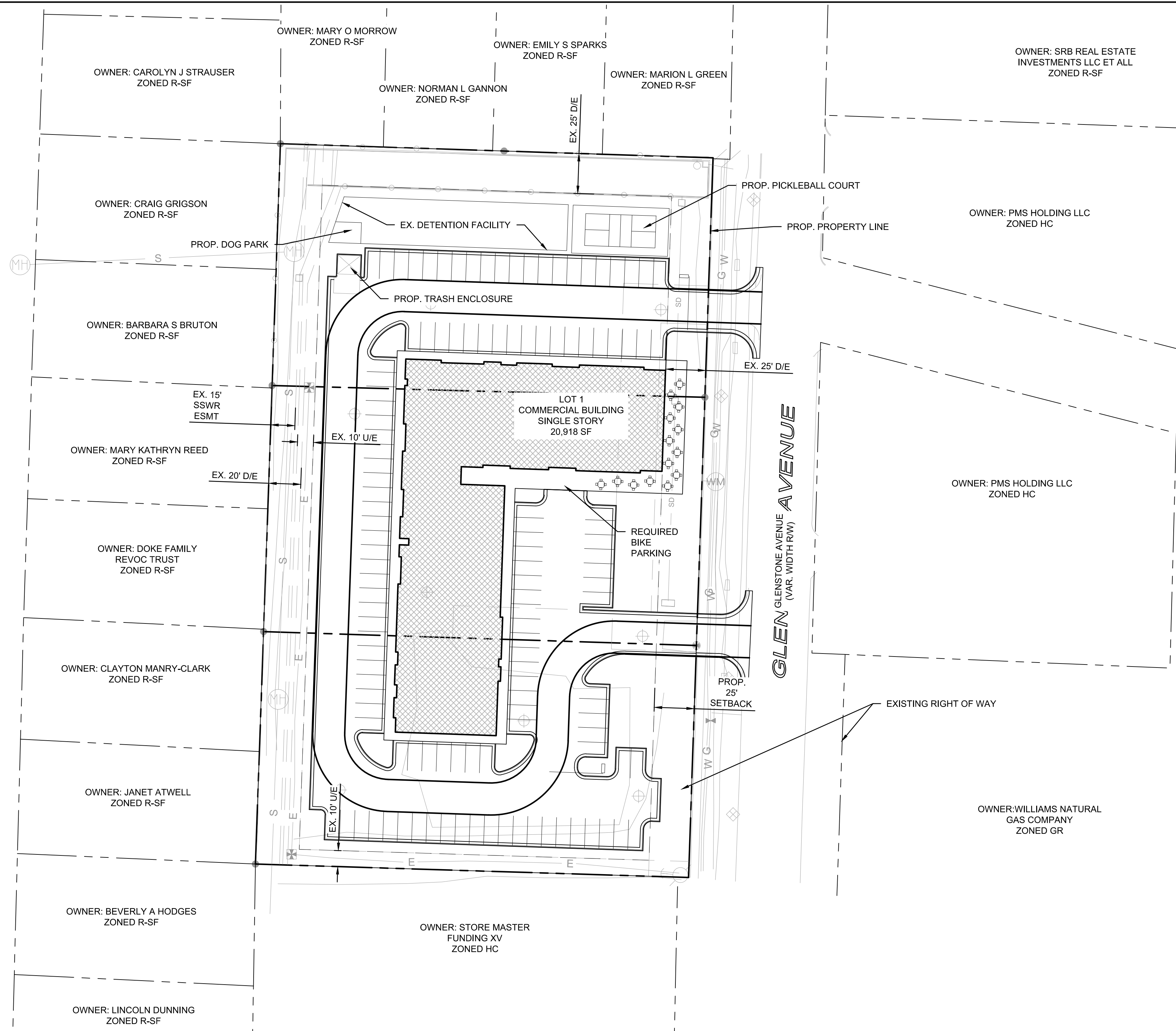
## 2) General Concerns

- a) Many people are concerned about the current fencing situation. There is a large concrete wall that they want removed and say that all the fence that is currently there has not been kept up with properly. It is overgrown, broken and dirty. They cannot get ahold of the city to keep up with maintenance.
- b) Many said the property has almost been "forgotten" because it isn't being kept up with anymore.
  - 1) We assured everyone that we don't want to make anything worse, and we want to make it better and increase property value. So, we are trying to figure out the best way to do all that.



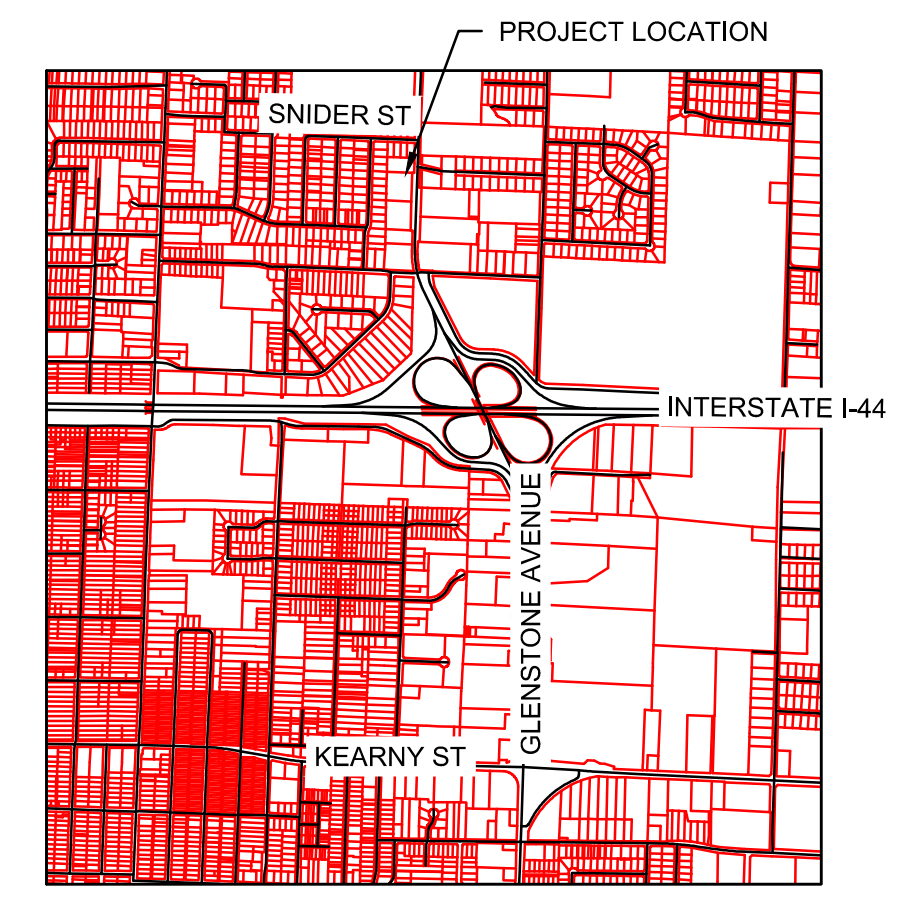
- 2) We want to be good neighbors, clean it up and make it look good. We want to bring the city's awareness to it and make them keep up with the property.
- c) We asked if we could just clean up the wall, power wash it and get rid of the brush in place of putting a new fence in. We're cleaning out all the trees from the culvert and planting new trees.
- d) We are looking for a solution that appeals to everyone, whether that's removing the chain link fence to replace with wood, sawcutting the concrete wall, using different materials for fencing, etc.





**BOUNDARY DESCRIPTION:**  
 LOT ONE, LOT TWO AND LOT THREE OF JONATHON'S PLACE, A RECORDED SUBDIVISION IN THE CITY OF SPRINGFIELD, GREENE COUNTY, MISSOURI, BEING DESCRIBED AS FOLLOWS:  
 COMMENCING AT THE PLATTED NORTHWEST CORNER OF SAID LOT 1; THENCE, ALONG THE PLATTED LINES OF SAID LOTS FOR THE FOLLOWING FIVE (5) DESCRIBED COURSES: THENCE, S88°07'33"E, A DISTANCE OF 270.23 FEET; THENCE, S01°56'53"W, A DISTANCE OF 449.41 FEET; THENCE, N88°13'22"W, A DISTANCE OF 270.48 FEET; THENCE, N02°00'06"E, A DISTANCE OF 298.87 FEET; THENCE, N01°56'19"E, A DISTANCE OF 151.00 FEET TO THE POINT OF COMMENCEMENT. CONTAINING 2.8 ACRES, (121,535.8 SQUARE FEET), MORE OR LESS, AND BEING SUBJECT TO ALL EASEMENTS AND RESTRICTIONS OF RECORD, IF ANY.

- LEGEND**
- RIGHT-OF-WAY LINE
  - - - PROPERTY LINE
  - - - UTILITY EASEMENT
  - - - EXIST. CONTOUR
  - - - FINISH GRADE CONTOUR
  - EXIST. SANITARY SEWER MANHOLE
  - EXIST. LIGHT POLE
  - EXIST. POWER POLE
  - EXIST. SIGN
  - EXIST. STORM MANHOLE
  - EXIST. TELEPHONE MANHOLE
  - EXIST. TRAFFIC SIGNAL BOX
  - EXIST. TRAFFIC SIGNAL POLE
  - EXIST. WOOD POST
  - EXIST. TREE LINE
  - X EXIST. BARBED WIRE FENCE
  - W EXIST. WATER PIPE
  - SS EXIST. SANITARY PIPE
  - SS PROPOSED SANITARY PIPE
  - SS PROPOSED STORM PIPE



VICINITY MAP  
N.T.S.

**UTILITY COMPANIES:**  
 WATER/ELECTRIC/GAS  
 CITY UTILITIES OF SPRINGFIELD  
 2665 S. BLACKMAN ROAD  
 SPRINGFIELD, MO 65809  
 CONTACT: DEVELOPER SERVICES  
 PH: (417) 831-8888  
 EMAIL: Developer\_Services@cityutilities.net

**SANITARY**  
 CITY OF SPRINGFIELD - ENVIRONMENTAL SERVICES  
 840 BOONVILLE AVENUE  
 SPRINGFIELD, MO 65802  
 CONTACT: MATT TAYLOR  
 PH: (417) 864-1934  
 EMAIL: mtaylor@springfieldmo.gov

**STORM SEWER**  
 CITY OF SPRINGFIELD - STORMWATER SERVICES DEPT.  
 840 BOONVILLE AVENUE  
 SPRINGFIELD, MO 65802  
 CONTACT: JOSEPH CODICHINI  
 PH: (417) 864-1152  
 EMAIL: joseph.codichini@springfieldmo.gov

**TELEPHONE**  
 AT&T  
 600 ST. LOUIS STREET  
 SPRINGFIELD, MO 65806  
 CONTACT: CINDY JEFFERS  
 PH: (417) 836-7383  
 EMAIL: cb1483@att.com

**COMMUNICATIONS**  
 SPRINGNET - CITY UTILITIES  
 301 E. CENTRAL STREET  
 SPRINGFIELD, MO 65802  
 CONTACT: BETHANY FORRESTER, P.E.  
 PH: (417) 831-8529  
 EMAIL: bforrester@springnet.net

**COMMUNICATIONS**  
 MEDIACOM  
 1533 E. ENTERPRISE AVE.  
 SPRINGFIELD, MO 65804  
 CONTACT: KYLE KELLER/JAMES ROBERTS  
 PH: (417) 496-5877  
 EMAIL: kkeller@mediacomcc.com

**ENGINEER:**  
 OLSSON, INC.  
 RICKY HAASE  
 550 ST. LOUIS STREET  
 SPRINGFIELD, MO 65806  
 TELE: (417) 890-8802  
 FAX: (417) 890-8805

**SURVEYOR:**  
 OLSSON, INC.  
 550 ST. LOUIS STREET  
 SPRINGFIELD, MO 65806  
 TELE: (417) 890-8802  
 FAX: (417) 890-8805

**OWNER/DEVELOPER :**  
 GREENWAY DEVELOPMENT GROUP  
 RE: BRENT BROWN - FOUNDER / MANAGING PARTNER  
 3938 S. LONE PINE AVE, SUITE 101  
 SPRINGFIELD, MO 65804  
 TELE: (417) 818-6358

**ZONING:**  
 EXISTING: GR (GENERAL RETAIL) & R-MD (RESIDENTIAL MEDIUM DENSITY)  
 PROPOSED: GR (GENERAL RETAIL)

**PRESENT USE:**  
 VACANT

**SITE PROPOSED USE:**  
 MIXED USE RETAIL AND APARTMENTS

**PROJECT AREA:**  
 TOTAL SITE AREA = 2.80± AC. (121,535.80± SF)

**TOTAL GREEN SPACE:**  
 GREEN SPACE REQUIRED = 0.56 AC. (24,307 SF)  
 GREEN SPACE PROVIDED = 1.03 AC. (36,780± SF)

**IMPERVIOUS AREA:**  
 IMPERVIOUS AREA MAX. = 2.24 AC. (80%) (97,229 SF)  
 IMPERVIOUS AREA = 1.77 AC. (63.22%) (76,349 SF)

**SETBACKS:**  
 FRONT YARD: 25' ALONG GLENSTONE AVE  
 ADDITIONAL R.O.W.: NONE REQUIRED  
 SIDE YARD: NONE  
 REAR YARD: NONE

**PARKING CALCULATIONS:**  
 LOT 1 PROPOSED USE: COMMERCIAL & APARTMENTS  
 -RESTURANT IS 1 STALL PER 100 SF, 2,360 SF REQUIRES 24 STALLS  
 -APARTMENTS REQUIRE:  
 - STUDIO = 1 UNIT - 1 PARKING STALL  
 - 1 BED = 67 UNITS - 100.5 PARKING STALLS  
 - 2 BED = 7 UNITS - 10.5 PARKING STALLS  
 TOTAL UNITS = 75 UNITS - 112 PARKING STALLS

OFF-STREET BICYCLE PARKING REQUIREMENTS  
 -10% REDUCTION IN PARKING STALLS REQUIRED

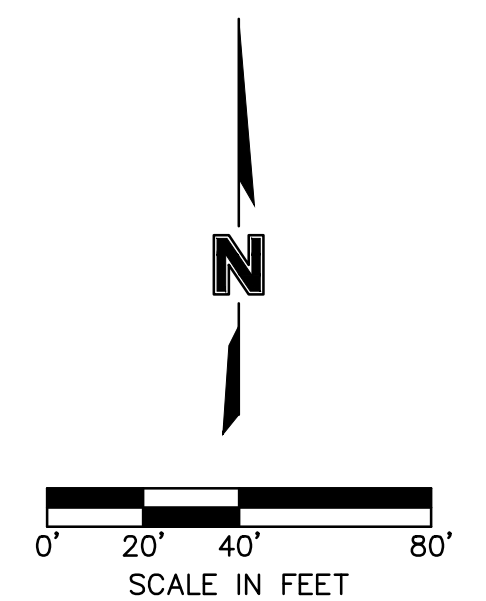
PARKING REQUIRED	STANDARD	ADA	TOTAL	COMBINED TOTAL
RESTAURANT =	23	1	24	
APARTMENTS =	107	5	112	
BIKE PARKING REDUCTION =	14			
				122 STALLS

PARKING PROVIDED	STANDARD	ADA	TOTAL	COMBINED TOTAL
APARTMENTS =	121	5	126	
				126 STALLS

**BIKE PARKING REQUIRED**  
 10% REDUCTION REQUIRED = 14

**STORMWATER DETENTION**  
 THE EXISTING STORMWATER DETENTION LOCATED AT THE NORTH END OF THE SITE WAS DESIGN IN 2008 BY DAVID BODDEN AT H2H ENGINEERS VIA PIP NUMBER 7PW5909. BASED ON THE CALCULATIONS PROVIDED, THE EXISTING FACILITY WILL MEET THE DETENTION AND WATER QUALITY REQUIREMENTS OF THE CITY OF SPRINGFIELD. THE EXISTING VEGETATION IN THE BASIN MUST BE REMOVED AND RETURNED TO A GRASS BOTTOM AT THE DIRECTION OF THE CITY OF SPRINGFIELD.

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Springfield, MO 65806  
TEL 417.890.8802 www.ollson.com

REV. NO.	DATE	REVISIONS DESCRIPTION	

SKETCH PLAN  
 CONDITIONAL USE PERMIT

PROPOSED NEW COMMERCIAL DEVELOPMENT  
 - 3319 N. GLENSTONE -  
 SPRINGFIELD, MISSOURI

2026

drawn by: TDD  
 checked by: RGH  
 approved by: RGH  
 QA/QC by: RGH  
 project no.: 025-05178  
 drawing no.:  
 date: 01/05/2026

**SHEET**  
 1 of 1

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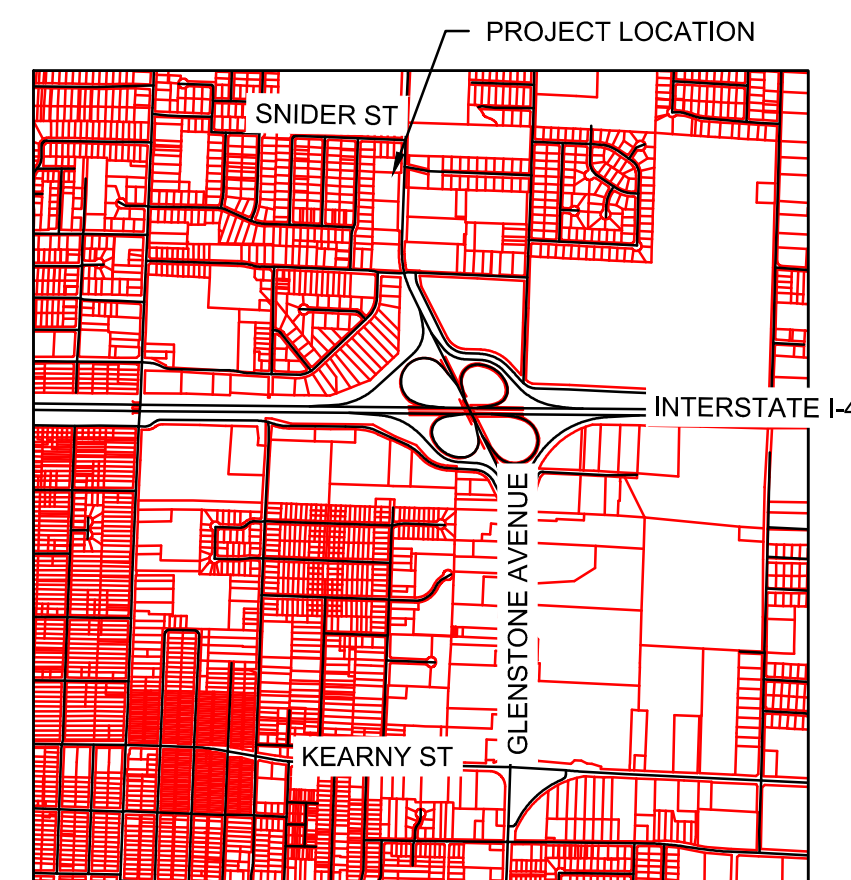
**BOUNDARY DESCRIPTION:**

LOT ONE, LOT TWO AND LOT THREE OF JONATHON'S PLACE, A RECORDED SUBDIVISION IN THE CITY OF SPRINGFIELD, GREENE COUNTY, MISSOURI, BEING DESCRIBED AS FOLLOWS:

COMMENCING AT THE PLATTED NORTHWEST CORNER OF SAID LOT 1; THENCE, ALONG THE PLATTED LINES OF SAID LOTS FOR THE FOLLOWING FIVE (5) DESCRIBED COURSES: THENCE, S88°07'33"E, A DISTANCE OF 270.23 FEET; THENCE, S01°56'53"W, A DISTANCE OF 449.41 FEET; THENCE, N88°13'22"W, A DISTANCE OF 270.48 FEET; THENCE, N02°00'06"E, A DISTANCE OF 298.87 FEET; THENCE, N01°56'19"E, A DISTANCE OF 151.00 FEET TO THE POINT OF COMMENCEMENT. CONTAINING 2.8 ACRES, (121,535.8 SQUARE FEET), MORE OR LESS, AND BEING SUBJECT TO ALL EASEMENTS AND RESTRICTIONS OF RECORD, IF ANY.

**LEGEND**

- RIGHT-OF-WAY LINE
- PROPERTY LINE
- UTILITY EASEMENT
- EXIST. CONTOUR
- FINISH GRADE CONTOUR
- EXIST. SANITARY SEWER MANHOLE
- EXIST. LIGHT POLE
- EXIST. POWER POLE
- EXIST. SIGN
- EXIST. STORM MANHOLE
- EXIST. TELEPHONE MANHOLE
- EXIST. TRAFFIC SIGNAL BOX
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- EXIST. WOOD POST
- EXIST. TREE LINE
- EXIST. BARBED WIRE FENCE
- EXIST. WATER PIPE
- EXIST. SANITARY PIPE
- PROPOSED SANITARY PIPE
- PROPOSED STORM PIPE



VICINITY MAP  
N.T.S.

**UTILITY COMPANIES:**

**WATER/ELECTRIC/GAS**  
 CITY UTILITIES OF SPRINGFIELD  
 2665 S. BLACKMAN ROAD  
 SPRINGFIELD, MO 65809  
 CONTACT: DEVELOPER SERVICES  
 PH: (417) 831-8888  
 EMAIL: Developer\_Services@cityutilities.net

**SANITARY**  
 CITY OF SPRINGFIELD - ENVIRONMENTAL SERVICES  
 840 BOONVILLE AVENUE  
 SPRINGFIELD, MO 65802  
 CONTACT: MATT TAYLOR  
 PH: (417) 864-1934  
 EMAIL: mtaylor@springfieldmo.gov

**STORM SEWER**  
 CITY OF SPRINGFIELD - STORMWATER SERVICES DEPT.  
 840 BOONVILLE AVENUE  
 SPRINGFIELD, MO 65802  
 CONTACT: JOSEPH CODICHINI  
 PH: (417) 864-1152  
 EMAIL: joseph.codichini@springfieldmo.gov

**TELEPHONE**  
 AT&T  
 600 ST. LOUIS STREET  
 SPRINGFIELD, MO 65806  
 CONTACT: CINDY JEFFERS  
 PH: (417) 836-7383  
 EMAIL: cb1483@att.com

**COMMUNICATIONS**  
 SPRINGNET - CITY UTILITIES  
 301 E. CENTRAL STREET  
 SPRINGFIELD, MO 65802  
 CONTACT: BETHANY FORRESTER, P.E.  
 PH: (417) 831-8529  
 EMAIL: bforrester@springnet.net

**COMMUNICATIONS**  
 MEDIACOM  
 1533 E. ENTERPRISE AVE.  
 SPRINGFIELD, MO 65804  
 CONTACT: KYLE KELLER/JAMES ROBERTS  
 PH: (417) 496-5877  
 EMAIL: kkeller@mediacomcc.com

**PARKING CALCULATIONS:**

LOT 1 PROPOSED USE: COMMERCIAL & APARTMENTS  
 -RESTURANT IS 1 STALL PER 100 SF, 2,360 SF REQUIRES 24 STALLS  
 -APARTMENTS REQUIRE:  
 - STUDIO = 1 UNIT - 1 PARKING STALL  
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				122 STALLS
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APARTMENTS =	121	5	126	
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**ENGINEER:**

OLSSON, INC.  
 RICKY HAASE  
 550 ST. LOUIS STREET  
 SPRINGFIELD, MO 65806  
 TELE: (417) 890-8802  
 FAX: (417) 890-8805

**SURVEYOR:**

OLSSON, INC.  
 550 ST. LOUIS STREET  
 SPRINGFIELD, MO 65806  
 TELE: (417) 890-8802  
 FAX: (417) 890-8805

**OWNER/DEVELOPER :**

GREENWAY DEVELOPMENT GROUP  
 RE: BRENT BROWN - FOUNDER / MANAGING PARTNER  
 3938 S. LONE PINE AVE, SUITE 101  
 SPRINGFIELD, MO 65804  
 TELE: (417) 818-6358

**ZONING:**

EXISTING: GR (GENERAL RETAIL) & R-MD (RESIDENTIAL MEDIUM DENSITY)  
 PROPOSED: GR (GENERAL RETAIL)

**PRESENT USE:**

VACANT

**SITE PROPOSED USE:**

MIXED USE RETAIL AND APARTMENTS

**PROJECT AREA:**

TOTAL SITE AREA = 2.80± AC. (121,535.80± SF)

**TOTAL GREEN SPACE:**

GREEN SPACE REQUIRED = 0.56 AC. (20%) (24,307 SF)  
 GREEN SPACE PROVIDED = 1.03 AC. (36.78%) (45,187 SF)

**IMPERVIOUS AREA:**

IMPERVIOUS AREA MAX. = 2.24 AC. (80%) (97,229 SF)  
 IMPERVIOUS AREA = 1.77 AC. (63.22%) (76,349 SF)

**SETBACKS:**

FRONT YARD: 25' ALONG GLENSTONE AVE  
 ADDITIONAL R.O.W.: NONE REQUIRED  
 SIDE YARD: NONE  
 REAR YARD: NONE



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REV. NO.	DATE	REVISIONS DESCRIPTION

2026

SKETCH PLAN  
CONDITIONAL USE PERMIT

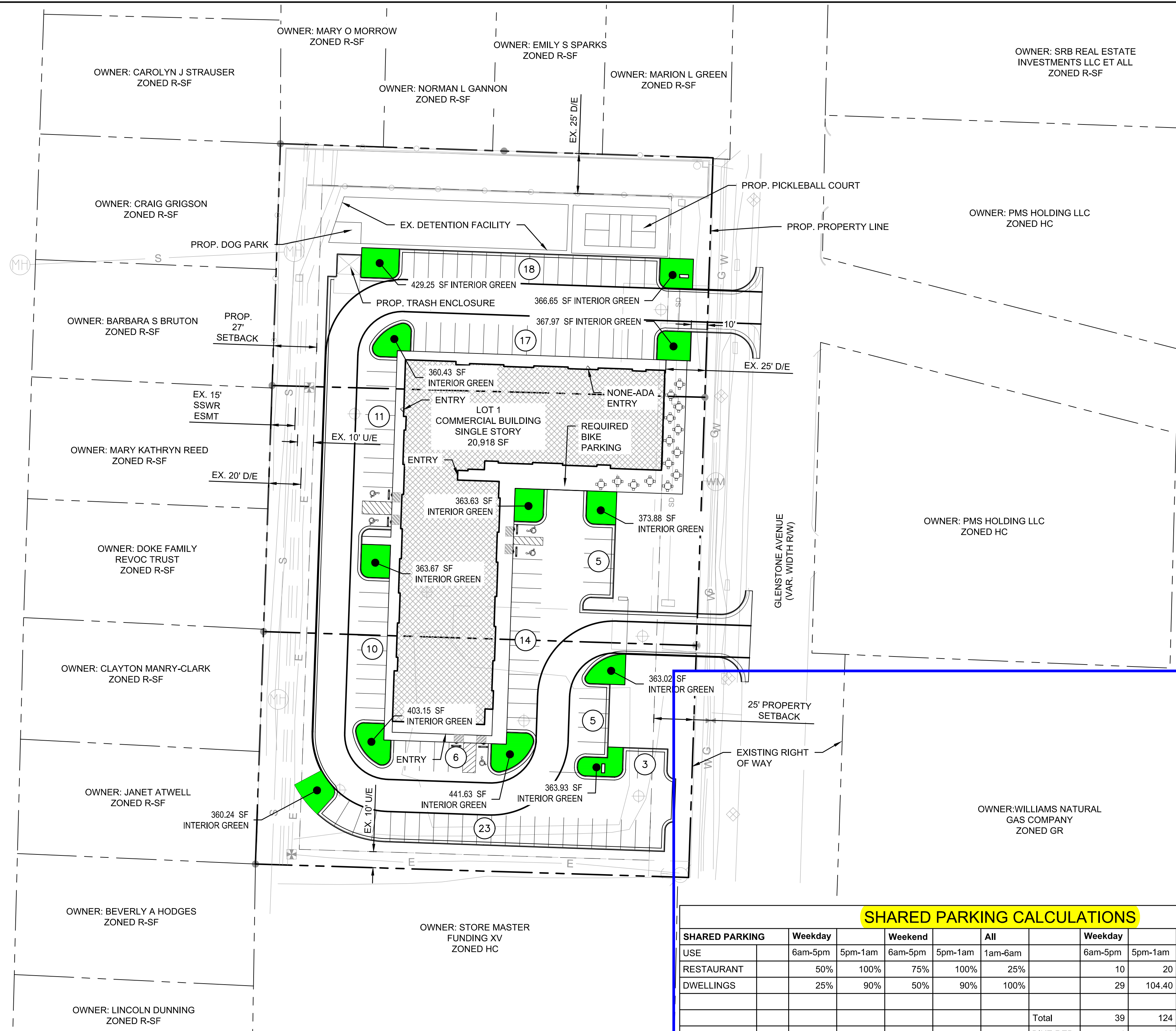
PROPOSED NEW COMMERCIAL DEVELOPMENT  
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SHEET  
1 of 1



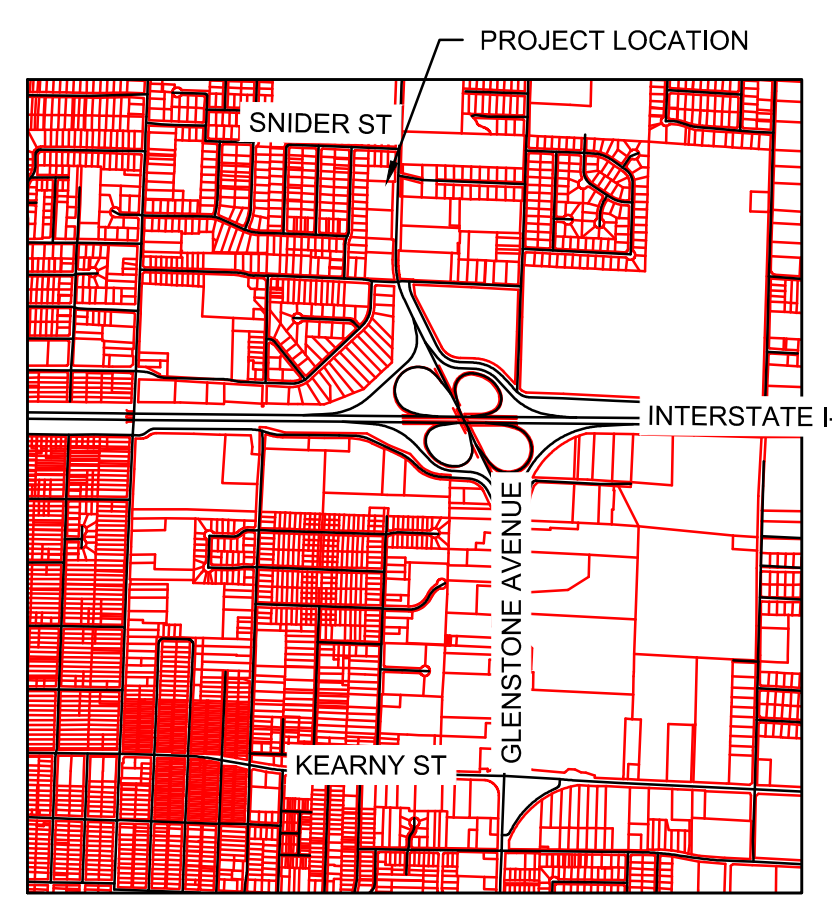
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VICINITY MAP  
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 MIXED USE RETAIL AND APARTMENTS

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**TOTAL GREEN SPACE:**  
 GREEN SPACE REQUIRED = 0.56 AC. (24,307 SF)  
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 IMPERVIOUS AREA MAX. = 2.24 AC. (80%) (97,229 SF)  
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**SETBACKS:**  
 FRONT YARD: 25' ALONG GLENSTONE AVE  
 ADDITIONAL R.O.W.: NONE REQUIRED  
 SIDE YARD: NONE  
 REAR YARD: NONE

**PARKING CALCULATIONS:**  
 VEHICLE PARKING REQUIREMENTS:  
 -RESTAURANT: 1 STALL PER 100 SF, 2,000 SF REQUIRES 20 STALLS  
 -APARTMENTS REQUIRE:  
 - 1 BED = 89 UNITS x 1.5 STALLS/UNIT = 133.5 PARKING STALLS  
 - 2 BED = 8 UNITS x 1.5 STALLS/UNIT = 12 PARKING STALLS  
 TOTAL UNITS = 77 UNITS - 115.5 PARKING STALLS

OFF-STREET BICYCLE PARKING REQUIREMENTS:  
 1 BEDROOM, AND 2 BEDROOM REQUIRE 1 BICYCLE SPACE PER UNIT  
 REQUIRED = 77 BICYCLE SPACES

PARKING REQUIRED	STANDARD	ADA	TOTAL	COMBINED TOTAL
RESTAURANT =	19	1	20	
APARTMENTS =	111	5	116	
GROSS PARKING REQUIRED	130	6	136	

**SHARED PARKING CALCULATIONS**

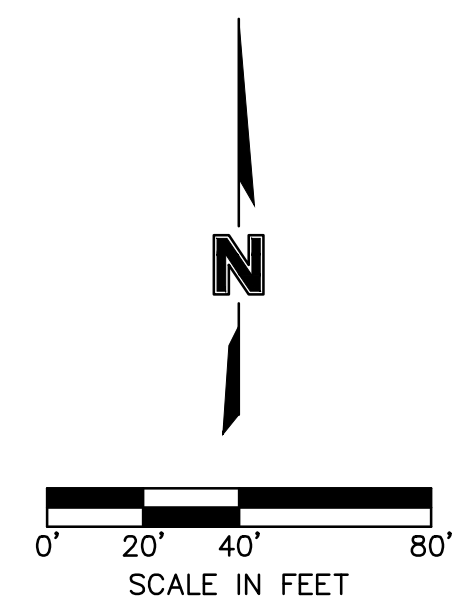
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	6am-5pm	5pm-1am	6am-5pm	5pm-1am	1am-6am	6am-5pm	5pm-1am	6am-5pm	5pm-1am	1am-6am	6am-5pm	5pm-1am	6am-5pm	5pm-1am	1am-6am
RESTAURANT	50%	100%	75%	100%	25%	10	20	15	24	5					
DWELLINGS	25%	90%	50%	90%	100%	29	104.40	58	104.40	116					
						Total	39	124	73	124	121				
						BIKE RED.	4	12	7	12	12				
						NET	35	112	66	112	109				

**PARKING ADJUSTMENTS**  
 SHARED PARKING (RESTAURANT AND RESIDENTIAL)(REFER TO TABLE THIS SHEET) = REDUCTION OF 11 PARKING STALLS  
 BICYCLE REDUCTION (10% OF VEHICULAR PARKING) = REDUCTION OF 13 PARKING STALLS  
 NET PARKING REQUIRED = 107 5 112

PARKING PROVIDED =	STANDARD	ADA	TOTAL	COMBINED TOTAL
APARTMENTS =	106	6	112	112 STALLS

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REV. NO.	DATE	REVISIONS DESCRIPTION

2026

SKETCH PLAN  
 CONDITIONAL USE PERMIT  
 PROPOSED NEW COMMERCIAL DEVELOPMENT  
 - 3319 N. GLENSTONE -  
 SPRINGFIELD, MISSOURI

drawing by: TDD  
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 approved by: RGH  
 QA/QC by: RGH  
 project no.: 025-05178  
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 date: 01/05/2026

SHEET  
 1 of 1



Drawings & Specifications as instruments of service are & shall remain the property of the Architect. They are not to be used on other projects or extensions to this project except by agreement in writing & with appropriate compensation to the Architect.  
Contractor is responsible for confirming and correlating dimensions at job site; the Architect will not be responsible for construction means, methods, techniques, sequences or procedures, or for safety precautions and programs in connection with the project.

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CLIENT NAME

CIVIL CONSULTANT

MEP CONSULTANT

STRUCTURAL CONSULTANT

ENTRUST GLENSTONE  
3259, 3305, 3319 N Glenstone Ave  
SPRINGFIELD, MO

12/12/2025

Architect Name  
Architect Number

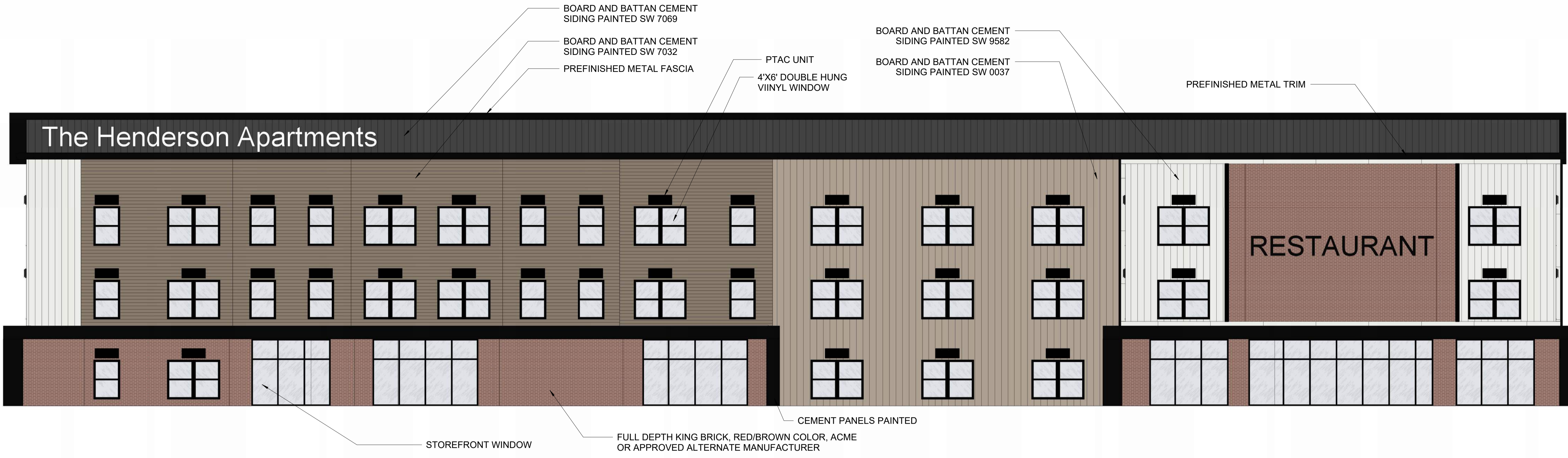
THE SEAL & SIGNATURE APPLY ONLY TO THE DOCUMENT TO WHICH THEY ARE AFFIXED & WE EXPRESSLY DISCLAIM ANY RESPONSIBILITY FOR ALL OTHER PLANS, SPECIFICATIONS, ESTIMATES, REPORTS OR OTHER DOCUMENTS OR INSTRUMENTS RELATING TO OR INTENDED TO BE USED FOR ANY PART OR PARTS OF THE PROJECT.

REVISIONS	
NO.	DESCRIPTION

Drawing Size: 24 x 36	Project #: 00000
Drawn By: Author	Checked By: Checker
Title: EXTERIOR ELEVATIONS	

Sheet Number:  
**A202**

ISSUE DATE: 12/12/2025



**2**  
A202 EAST ELEVATION AA  
1/8" = 1'-0"



**1**  
A202 NORTH ELEVATION AA  
1/8" = 1'-0"

C:\Users\robertse\Documents\25107\_Multi-Family\_Enttrust Glenstone\_SGF\_MO\_24\_\_robertse\JF9AE.rvt

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ENTRUST GLENSTONE  
3259, 3305, 3319 N Glenstone Ave  
SPRINGFIELD, MO

12/12/2025

Architect Name

Architect Number

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REVISIONS

NO.	DATE	DESCRIPTION

Drawing Size: 24 x 36

Project #: 00000

Drawn By: Author

Checked By: Checker

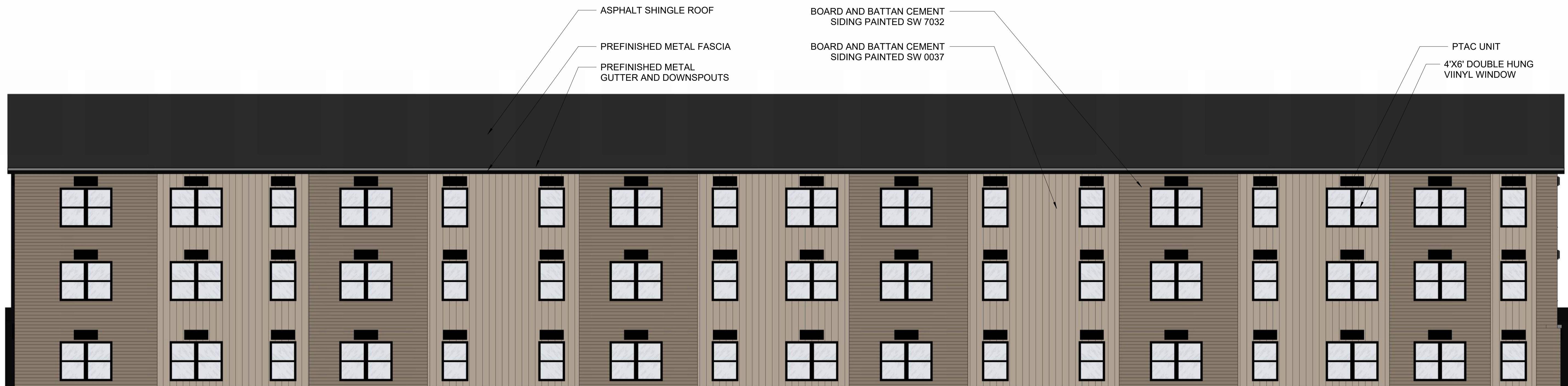
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EXTERIOR ELEVATIONS

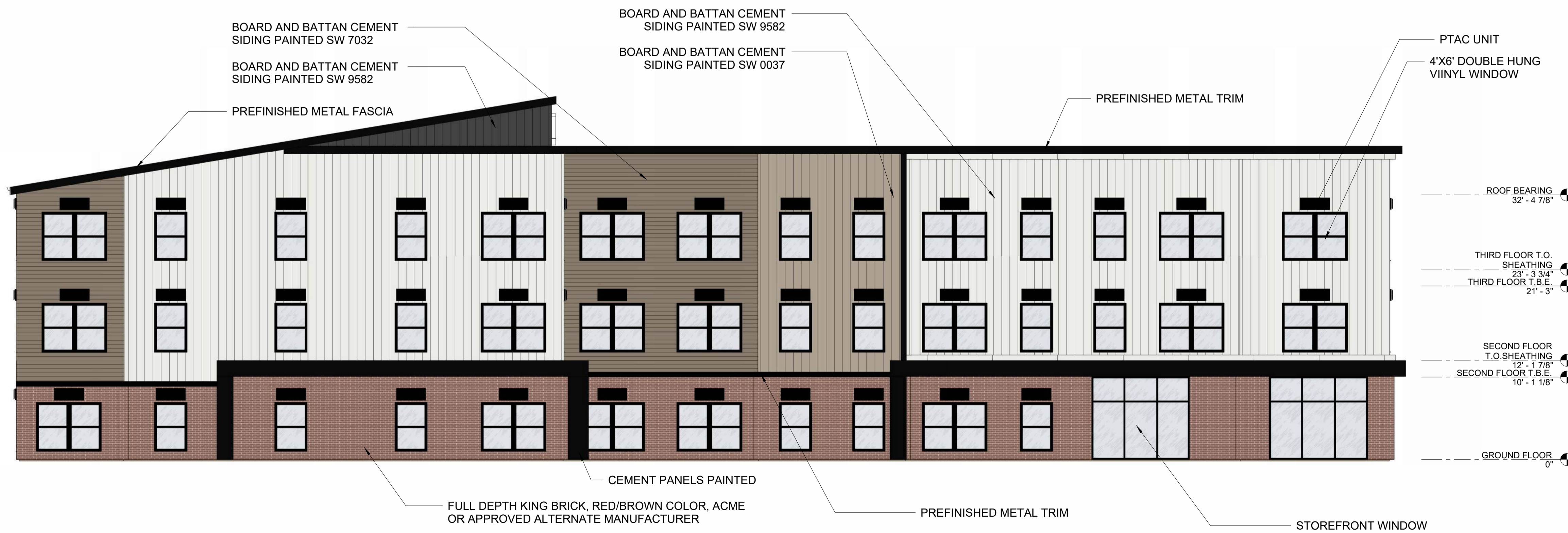
Sheet Number:

A203

ISSUE DATE: 12/12/2025



2 WEST ELEVATION AA  
A203 1/8" = 1'-0"



1 SOUTH ELEVATION AA  
A203 1/8" = 1'-0"

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ENTRUST GLENSTONE

3259, 3305, 3319 N Glenstone Ave  
SPRINGFIELD, MO

12/12/2025

Architect Name

Architect Number

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REVISIONS

NO.	DATE	DESCRIPTION

Drawing Size: 24 x 36

Project #: 00000

Drawn By: Author

Checked By: Checker

Title:

BUILDING PERSPECTIVES

Sheet Number:

A300

ISSUE DATE: 12/12/2025



2 PERSPECTIVE B  
A300



1 PERSPECTIVE A  
A300



**PLANNING AND DEVELOPMENT DEPARTMENT  
DEVELOPMENT REVIEW OFFICE  
MEMORANDUM**

DATE: 2/5/2026

TO: Planning and Zoning Commission

FROM: Michael Sparlin  
Senior Planner

SUBJECT: Z-4-2026

---

This application is requested to be postponed to the next Planning and Zoning Commission meeting on February 26, 2026. The City Council public hearing is scheduled for March 23, 2026.

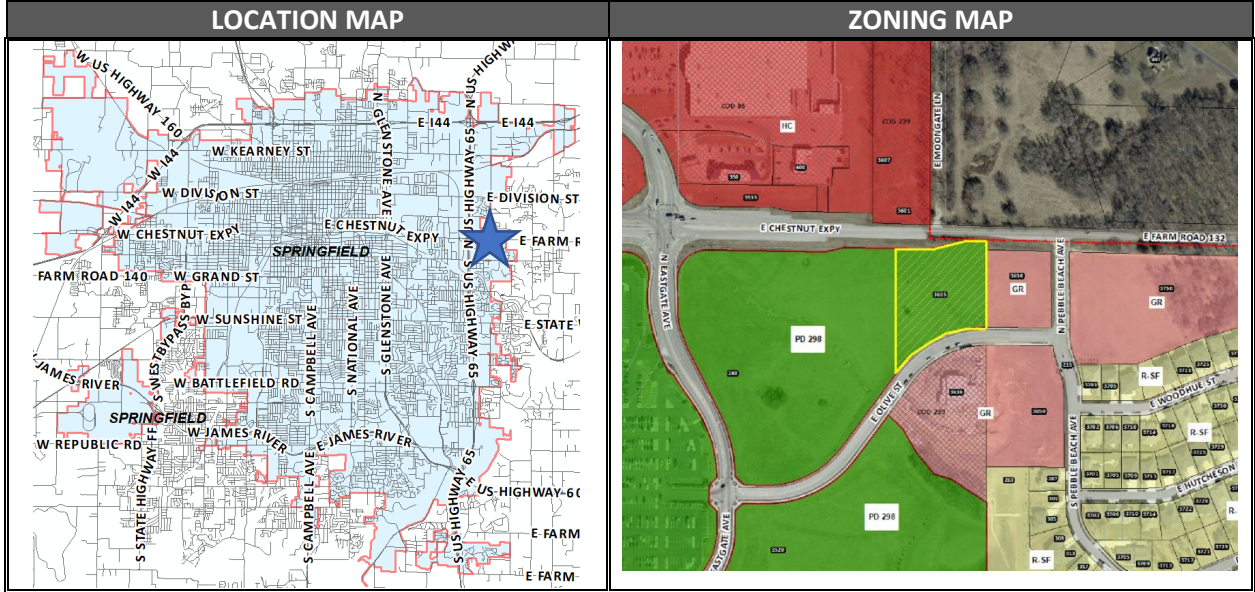
## DEVELOPMENT REVIEW STAFF REPORT

### PROJECT INFORMATION

<b>Case Number:</b>	Z-7-2026
<b>Location:</b>	3635 E. Olive Street
<b>Total Acres:</b>	2.18 acres
<b>Applicant:</b>	Kyon House, LLC
<b>Existing Land Use:</b>	Vacant/undeveloped land
<b>Neighborhood Meeting:</b>	January 15, 2026
<b>Planning and Zoning Commission:</b>	February 12, 2026
<b>City Council:</b>	March 9, 2026
<b>Public Notification:</b>	Mail, posted property, and legal in the Springfield News-Leader
<b>Staff:</b>	Daniel Neal, Senior Planner
<b>Staff recommendation:</b>	Staff recommends approval
<b>Proposed motion:</b>	I move to recommend approval of rezoning case Z-7-2026 (All commission motions are made in the affirmative).
<b>Required Vote:</b>	A majority of those present (5 members are a quorum).

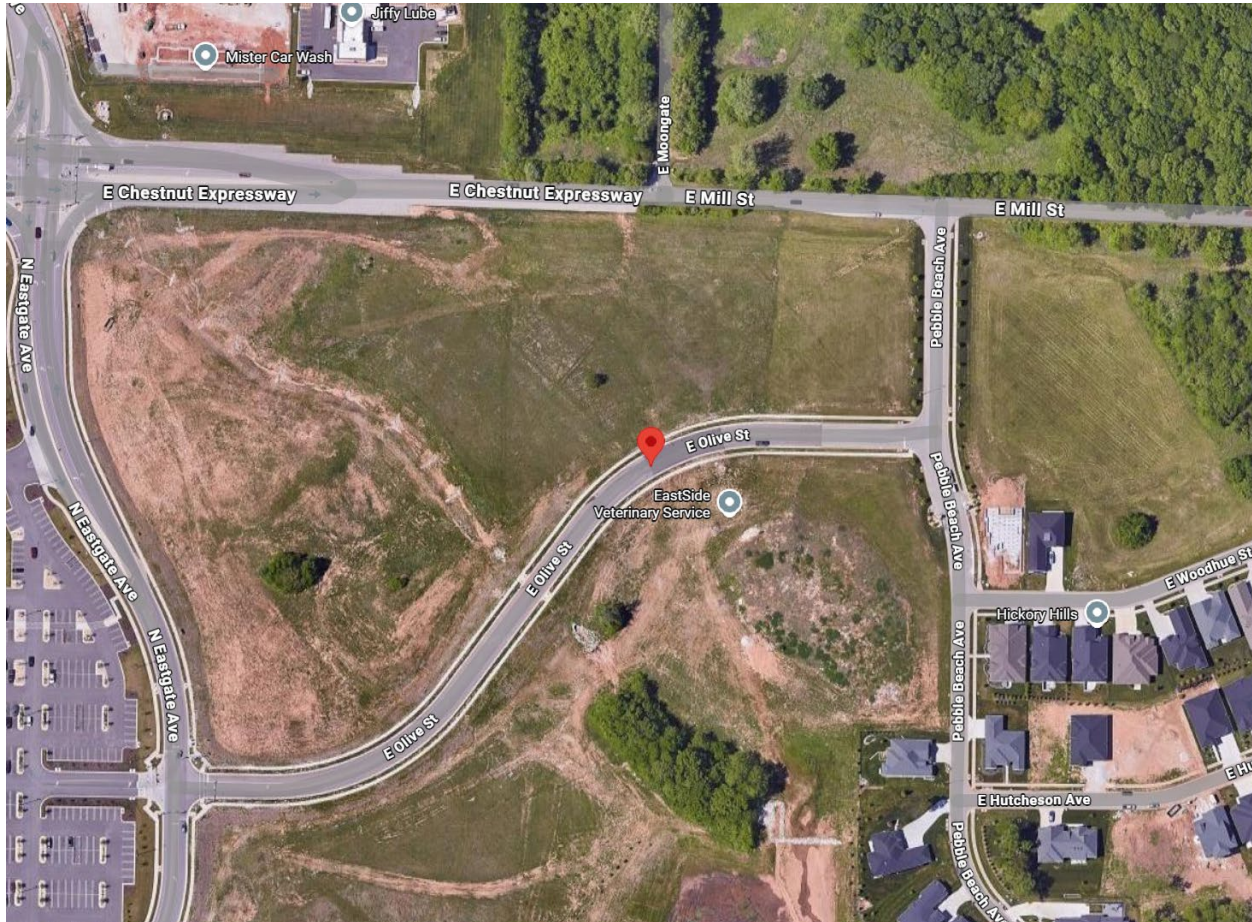
### PROJECT SUMMARY:

Request to rezone approximately 2.18 acres generally located at 3635 E. Olive Street from Planned Development No. 298 to GR, General Retail District.



## DEVELOPMENT REVIEW STAFF REPORT

### GOOGLE AERIAL OF LANDMARKS, BUSINESSES, AND ATTRACTIONS:



### GOOGLE MAPS STREET VIEW:



### PROPERTY HISTORY:

The subject property was rezoned to Planned Development 298 amended in July 2006.

### PLANNING AND ZONING COMMISSION AUTHORITY:

#### Sec. 36-367. – Amendments

(7) Findings by the commission.

## DEVELOPMENT REVIEW STAFF REPORT

- (a) Rezoning. If the application is for a reclassification of property to a different zoning district classification on the zoning map, the report of the planning and zoning commission may consider:
1. Whether the proposed zoning district classification is consistent with the Springfield Comprehensive Plan;
  2. Whether there are any changed or changing conditions in the area affected that make the proposed rezoning necessary;
  3. Whether the range of uses in the proposed zoning district classification are compatible with the uses permitted on other property in the immediate vicinity;
  4. Whether adequate utility and sewer and water facilities exist or can be provided to serve the uses that would be permitted on the property if it were rezoned;
  5. The impact the uses, which would be permitted if the property were rezoned, will have upon the volume of vehicular and pedestrian traffic and traffic safety in the vicinity;
  6. Whether the proposed rezoning would correct an error in the application of this article as applied to the subject property;
  7. Whether a reasonably viable economic use of the subject property will be precluded if the proposed rezoning is denied; and
  8. Information submitted at the public hearing.

## DEVELOPMENT REVIEW STAFF REPORT

### ZONING ORDINANCE REQUIREMENTS:

CODE ITEM	REQUIREMENTS FOR GR DISTRICT
Use Limitations	<p>(a) All outdoor automobile parking areas used for the purpose of retail or wholesale storage or sale of motorized or commercial vehicles shall be prohibited. Other outdoor activities that are not specifically permitted may only be allowed as an accessory use to the permitted uses as provided in subsection 36-421(2), permitted uses, as follows:</p> <ol style="list-style-type: none"> <li>1. If any portion of the premises abuts any residential zoning district, the outdoor activities may be permitted, provided they meet the provisions of, and a conditional use permit is issued pursuant to Section 36-363, conditional use permits, of this article. A building permit(s) showing compliance with all applicable codes and ordinances may be required as determined by the director of building development services.</li> <li>2. If the premises abuts only nonresidential zoning districts, the outdoor activities may be permitted. A conditional use permit will not be required. A building permit(s) showing compliance with all applicable codes and ordinances may be required as determined by the director of building development services.</li> </ol> <p>(b) No outdoor storage except as provided in subsection 36-421(2), permitted uses, and subsection 36-421(3), conditional uses.</p> <p>(c) All uses shall operate in accordance with the noise standards contained in section 36-485, noise standards.</p> <p>(d) No use shall emit an odor that creates a nuisance as determined by Springfield City Code.</p> <p>(e) Uses on parcels not served by public water and public sewer shall meet the requirements of subsection 36-303(22).</p> <p>(f) Streets through an adjacent residential area shall not be used to provide principal access for truck traffic to any nonresidential use in this district except on streets classified as expressways, arterials, or collectors.</p>
Minimum Lot Size	Not applicable to the GR, General Retail District
Maximum Height	Not applicable to the GR, General Retail District
Bulk Plane	All structures shall remain below a 30-degree bulk plane as measured from the boundaries of R-SF or R-TH districts.
Minimum Yard Requirements	Front yards – 25 feet when fronting on a street classified as collector or higher, or as required by Section 36-453, Supplemental open space, and yard regulations. 15 feet when fronting a street classified as local, or as required by Section 36-453. The front yard setback may be reduced

**DEVELOPMENT REVIEW STAFF REPORT**

	<p>below the minimum required above if a Conditional Use Permit is approved in accordance with Section 36-363, Conditional use permits, or if a preliminary plat is approved in accordance with the City’s subdivision regulations.</p> <p>Side yards – None, except as required by Section 36-453 and the bufferyard requirements contained in Section 36-482, Landscaping and bufferyards.</p> <p>Rear yards – None, except as required by the bufferyard requirements contained in Section 36-482.</p>
<p>Minimum Open Space</p>	<p>Not less than 20 percent of the gross site area shall be devoted to open space, including required yards and bufferyards unless modified in accordance with subsection 36-482 (15). Open space shall not include areas covered by buildings, structures, parking, storage, loading and other paved areas and internal streets or areas containing plants for display and sale. Open space shall contain living ground cover and other landscaping materials.</p>
<p>Design Requirements</p>	<p>(a) A site plan, meeting the requirements of Section 36-360, Site plan review, shall be submitted and approved.</p> <p>(b) A landscape plan, meeting the requirements of Sections 36-482 and 36-483, Off-street parking and loading design standards, shall be submitted, and approved.</p> <p>(c) Off-street parking and vehicular use areas shall be screened from all residential uses, in accordance with Section 36-480, Screening and fencing.</p> <p>(d) Refuse storage areas shall be screened from view in accordance with Section 36-480.</p> <p>(e) Mechanical and electrical equipment, including air conditioning units, shall be screened from view in accordance with Section 36-480.</p> <p>(f) Lighting shall be designed to reflect away from any adjacent residential area and in accordance with Section 36-484, Lighting standards.</p> <p>(g) Accessory buildings and structures shall meet the requirements of Section 36-450, Accessory structures and uses.</p>
<p>Buffering and Landscaping</p>	<p>A landscape plan, meeting the requirements of sections 36-482, landscaping and bufferyards, and 36-483, off-street parking and loading area design standards, shall be submitted and approved.</p>

## DEVELOPMENT REVIEW STAFF REPORT

### COMPATIBILITY WITH COMPREHENSIVE PLAN:

#### PLACETYPE:

The *Comprehensive Plan's Land Use & Development* chapter identifies the subject property within the City Corridor Placetype.

The City Corridor Placetype predominantly consists of commercial and service-related development varying in scale, ranging from standalone businesses to large retail centers. City Corridors are also key locations to support and encourage multi-family developments that rely on proximity to retail, commercial services, and employment centers. Each of these use groups are best located along major roadways with high volumes of traffic. This Placetype is not only highly accessible by car, but also by walking, biking, and transit. City Corridors provide a wide range of shopping, service, entertainment, and employment destinations for both residents and visitors. Common uses within the Placetype include chain restaurants, gas stations, hotels, national retailers, movie theaters, smaller offices, and a variety of support services.

#### Primary Land Uses:

- Office, hospitality, retail sales and service
- Multi-family
- Sports complexes and recreation facilities
- Maker, artisan, and innovation spaces

#### Supporting Land Uses:

- Public and private schools and places of worship
- Parks, greenways, and open space
- Urban agriculture
- Universities, colleges, and vocational schools
- Personal and outdoor storage

#### **Characteristics**

#### TRANSPORTATION & INFRASTRUCTURE

- Access management is improved for vehicles through curb cut consolidation and cross-access between commercial properties, reducing traffic conflicts and backups.
- Electric vehicle charging facilities, pedestrian and bicycle infrastructure, and automated vehicle parking and loading spaces are integrated along major corridors, installed at key destinations, and incorporated into private development plans.
- As technology, trends, and funds permit, utilities are buried or consolidated along rear property lines, reducing conflicts with street trees, pedestrian infrastructure, and viewsheds.
- Transit service is expanded along key commercial corridors over the long term with bus stops enhanced with shelters and live timetables.

#### URBAN DESIGN - BUILDING AND SITE TYPOLOGY:

- Residential development and commercial buildings should be oriented to the street.

## DEVELOPMENT REVIEW STAFF REPORT

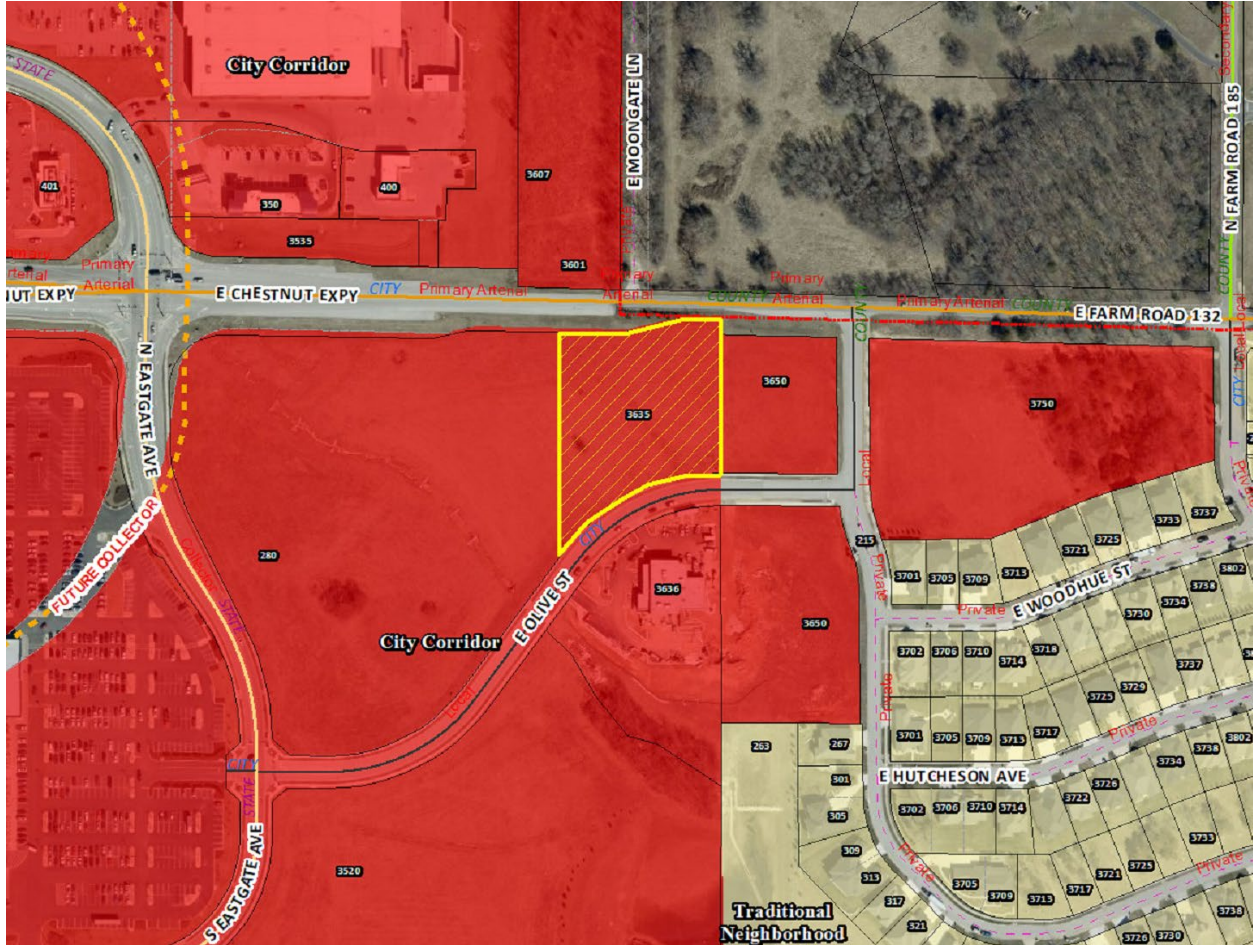
- Parking should be located behind or beside the primary buildings with abundant landscaping and screening to encourage greater interest and interaction between the adjoining street and the building, that contributes to community-wide quality of place.
- Pedestrian pathways within large parking lots provide safe access to business entrances.
- A greater focus on site design, parking access, massing, and building orientation are adopted to ensure development that is complementary to adjacent lower density residential development.
- Multi-story buildings designed with active ground floor spaces should be visible and inviting to increase a vibrant pedestrian environment.
- Use of quality materials, construction methods, workmanship, and design should be incorporated into new development and redevelopment.
- A mix of building heights is supported through structured site and building design strategies to soften the impact on adjacent lower intensity residential development.
- Lighting, landscaping, signage, mail, and delivery accommodations should also be proactively incorporated into the site design.
- Design should avoid the placement of mechanical equipment along major roadways or should be completely screened, along with adequate spacing for storage of waste receptacles.
- Best management practices for stormwater management are required in development projects and within public rights-of-way, such as permeable paving, rain gardens, green roofs, native landscaping, and other low impact design strategies.
- Encourage code adjustments regarding parking minimums instead of parking maximums.

### TRANSITIONS:

- Office and multifamily uses can be placed on the periphery of the Placetype to transition into adjacent lower density residential Placetypes.
- Higher density residential development should be integrated along existing commercial corridors in need of reinvestment, transitioning aging commercial properties to new uses and focusing future commercial development at high activity nodes.
- Commercial and higher density residential is sufficiently screened and buffered between low-density residential development.
- Multi-story buildings should be sited and designed to reduce the impact on adjacent lower intensity residential development.

# DEVELOPMENT REVIEW STAFF REPORT

## FUTURE PLACETYPE MAP:



PLACETYPES	LAND USES																
	Single-Family Detached	Single-Family Attached	Multi-Family	Parks & Open Space	Sports Complexes & Recreational Facilities	Urban Agriculture	Office, Hospitality, Retail Sales & Service	Neighborhood Commercial	Maker, Artisan & Innovation Spaces	Public & Private Schools & Places of Worship	Universities, Colleges & Vocational Schools	Government, Health Care & Institutional Facilities	Personal Storage, Outdoor Sales & Service	Light Industry	Warehousing & Distribution Facilities	Heavy Industry & Manufacturing	Airport, Railroad & Freight Facilities
Residential Neighborhood	●	○	◇	○	○	○	○	○	○	○	○	○	○	○	○	○	○
Mixed Residential	●	●	○	○	○	○	○	○	○	○	○	○	○	○	○	○	○
Downtown	○	○	○	○	○	○	○	○	○	○	○	○	○	○	○	○	○
Mixed-Use	○	○	○	○	○	○	○	○	○	○	○	○	○	○	○	○	○
City Corridor	○	○	○	○	○	○	○	○	○	○	○	○	○	○	○	○	○
Institutional & Employment Center	○	○	○	○	○	○	○	○	○	○	○	○	○	○	○	○	○
Business Flex	○	○	○	○	○	○	○	○	○	○	○	○	○	○	○	○	○
Industry & Logistics	○	○	○	○	○	○	○	○	○	○	○	○	○	○	○	○	○
Urban Green Space & Recreation	○	○	○	○	○	○	○	○	○	○	○	○	○	○	○	○	○

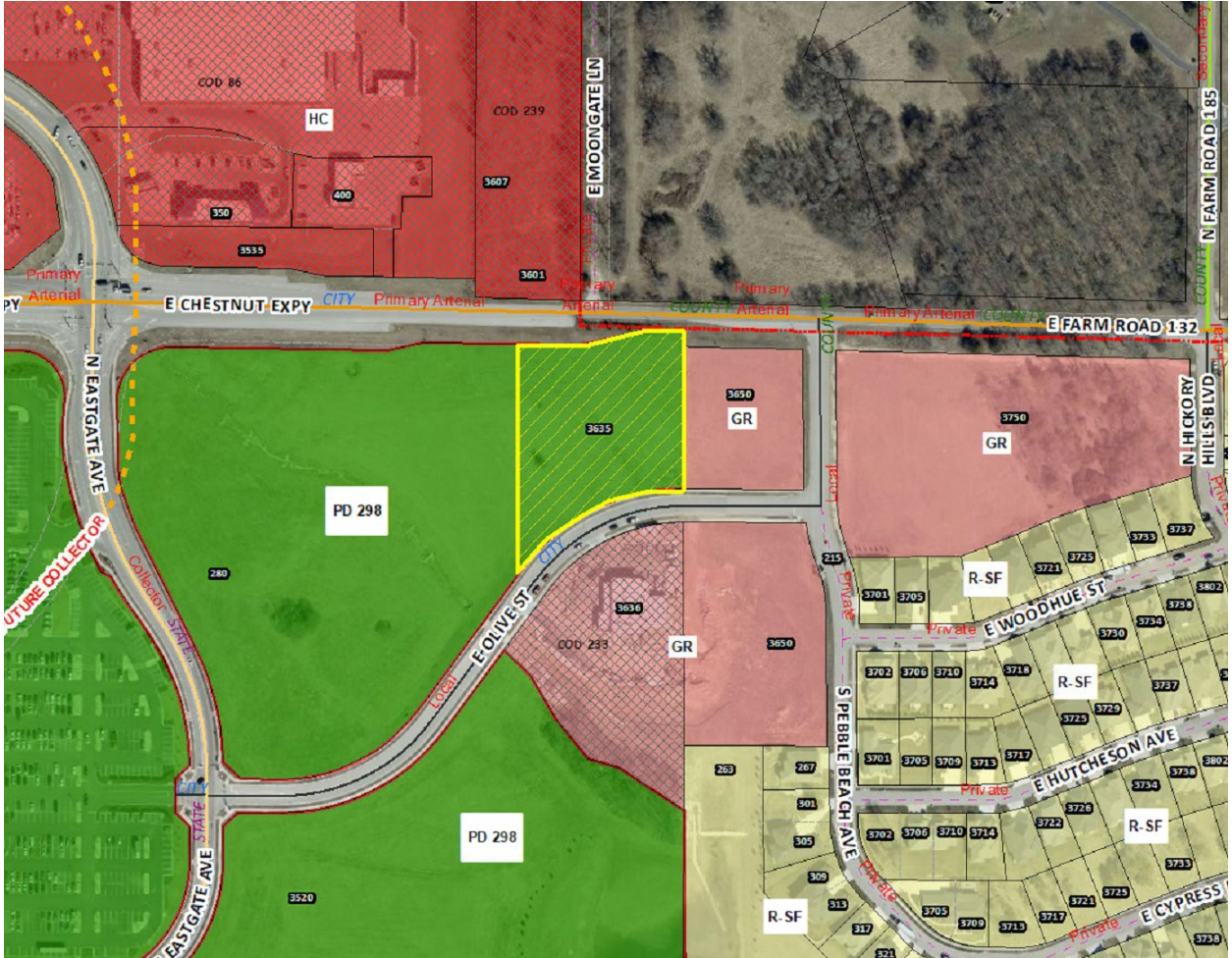
● **Primary Land Use:** More prominent and play a pivotal role in characterizing that placetype

○ **Supporting Land Use:** Less prevalent and serve to support the primary land use.

◇ **Low Intensity Supporting Land Use:** Less prevalent and serve to support the primary use at neighborhood scale

## DEVELOPMENT REVIEW STAFF REPORT

### MAJOR THOROUGHFARE MAP:



### SURROUNDING ZONING, LAND USES AND PLACETYPES:

	NORTH	SOUTH	EAST	WEST
ZONING	HC	GR w/ COD	GR	PD 298
LAND USE	Transportation Services	Veterinarian	Vacant	Vacant
PLACETYPES	City Corridor	City Corridor	City Corridor	City Corridor

**DEPARTMENT OF BUILDING DEVELOPMENT SERVICES:**

No comments.

**CITY UTILITIES:**

No comments.

## DEVELOPMENT REVIEW STAFF REPORT

DEPARTMENT OF ENVIRONMENTAL SERVICES WASTEWATER MANAGEMENT DIVISION:

No issues with the rezoning however we have the following comments regarding development of the site:

There are two trunkline connection fees required for the original lot 2 of Kirkland Commons, Pierson Creek ph. 1 Sewer Basin fee and Hickory Hills ph. 2 Sewer Basin. The total of both trunkline fees for lot 2 was \$56,789.34. This trunkline connection fee has been re-distributed to both new lots according to their square footage. The new trunkline fees for each lot are as follows; New lot 1: \$46,722.49 and new lot 2: \$10,016.85. These fees will be collected at the time of development when sewer permits are issued.

FIRE DEPARTMENT:

No comments.

DEPARTMENT OF PUBLIC WORKS TRAFFIC ENGINEERING DIVISION:

**TRAFFIC REPORT**

	Street Name	Street Classification	Jurisdiction	ROW from Centerline (ft.)		Traffic Count (vehicles per day)	On-Street Parking	Sidewalk	
				Required	Existing			Required	Existing
<b>Street 5</b>	E Chestnut Expressway	Primary Arterial	MoDOT/City/County	50	Varies	NA	No	Yes	No
<b>Street 6</b>	E Olive Street	Primary Arterial	City	30	30	NA	Yes	Yes	Yes

**ACCESS** - All new or modified driveway approaches shall comply with current City of Springfield standards for the street classification.

**TRAILS, BUS STOPS, AND ADDITIONAL INFORMATION** - There are no Greenway Trails near the property. There are no bus stops near the property.

**IMPROVEMENTS** - No improvements are required for this rezoning. A Traffic Impact Study (TIS) is not required for this rezoning.

DEPARTMENT OF PUBLIC WORKS STORMWATER ENGINEERING DIVISION:

**SITE DESCRIPTION & DRAINAGE PATTERN**

	Drainage Basin	Fee in Lieu Flood Control	Fee in Lieu Water Quality	Stream Buffer	Sinkhole or Watershed	Floodplain/ Floodway
<b>280 N Eastgate Ave</b>	Pierson Creek	No	No	No	Yes	No

## DEVELOPMENT REVIEW STAFF REPORT

All chapter and section references below are to the City's Flood Control and Water Quality Protection Manual Version April 2022.

### DETENTION AND DISCHARGE REQUIREMENTS

1. The Kirkland Commons subdivision is provided flood control volume through the extended dry detention basin located in the SE area of 3520 E Olive St. The EDD basin was built as a public improvement project, 2020PW0047.
  - a. The future redevelopment after rezoning must drain runoff to the 30 feet wide channel that drains under Olive St.

### WATER QUALITY REQUIREMENTS

1. The EDD Basin provides water quality volume, no additional work is required. Water Quality is required for new development projects or redevelopment projects, with new or increased impervious surfacing, within the city limits of Springfield that disturb 1 acre or greater. Including projects less than 1 acre that are part of a larger common plan of development or sale that will disturb 1 or more acres over the life of the project. Chapter 10 Sec. 2.0.

### FLOODPLAIN

N/A

### NATURAL CHANNEL & STREAM BUFFERS

N/A

### SINKHOLES & KARST FEATURES

1. This property has three known small sinkholes identified on the Kirkland Commons Final Plat. Future development is restricted to a 25 feet buffer around the boundary of the sinkholes. No additional requirements for the sinkhole or water quality protection are triggered by the rezoning.

### STAFF ANALYSIS AND RECOMMENDATION:

1. The applicant is requesting to rezone approximately 2.18 acres generally located at 3635 E. Olive Street from Planned Development No. 298 to GR, General Retail District. The applicant intends to construct a new pet boarding and daycare service with soundproof bedrooms, indoor/outdoor daycare yards, a pool, and indoor training center.
2. The *Comprehensive Plan's Land Use & Development* chapter identifies the subject property within the City Corridor Placetype. This Placetype predominantly consists of commercial and service-related development varying in scale, ranging from standalone businesses to large retail centers. City Corridors are also key locations to support and encourage multi-family developments that rely on proximity to retail, commercial services, and employment centers.
3. The GR district is consistent with the City Corridor Placetype. Retail sales and service are listed as a primary land use in the City Corridor Placetype.
4. Other properties within the same block have been rezoned to GR, General Retail district as the Planned Development creates unnecessary barriers to development.

## DEVELOPMENT REVIEW STAFF REPORT

5. The subject property has access to City Utilities infrastructure, and any necessary extension of such services can be provided via City Utilities' extension policy, though new easements may be necessary to accommodate this.
6. There are few known changing conditions in the area affected that make the proposed rezoning necessary.
7. The range of uses in the proposed GR district are compatible with the uses permitted on other properties in the immediate vicinity.
8. There are adequate utility and sewer and water facilities existing or can be provided to serve the uses that would be permitted on the property if it were rezoned.
9. The impact the uses, which would be permitted if the property were rezoned, is not expected to significantly increase the volume of vehicular and pedestrian traffic or reduce traffic safety in the vicinity.
10. The proposed zoning will not correct an error in the application of this article, but rather will provide a viable use of the property subject to the provisions of the zoning district.
11. A reasonably viable economic use of the subject property will not be precluded if the proposed rezoning is denied.
12. The proposed rezoning was reviewed by City departments and comments are contained in the staff report (above).
13. The applicant held a neighborhood meeting on January 15, 2026, regarding the rezoning request. A summary of the meeting is attached (Attachment 1).
14. The public notice was advertised in the Springfield News-Leader at least 15 days prior to the public hearing. The property was posted by the applicant at least 10 days prior to the public hearing. Public notice letters were sent out at least 10 days prior to the public hearing to all property owners within 185 feet.

### STAFF RECOMMENDATION:

1. Staff recommends approval based on the proposal's general conformance to the Comprehensive Plan's City Corridor Placetype and on the finding of facts above.

### PLANNING AND ZONING OPTIONS:

The planning and zoning commission shall make one of the following recommendations in connection with each proposed change in zoning district classification of this article:

1. Recommend against the proposed change in the zoning district classification.
2. Recommend a change in the zoning district classification.

## DEVELOPMENT REVIEW STAFF REPORT

3. Recommend a change in the zoning district classification together with recommendations which, in the judgment of the planning and zoning commission, will protect adjacent property and ensure that the proposed amendment is consistent with the purpose and intent of this article.

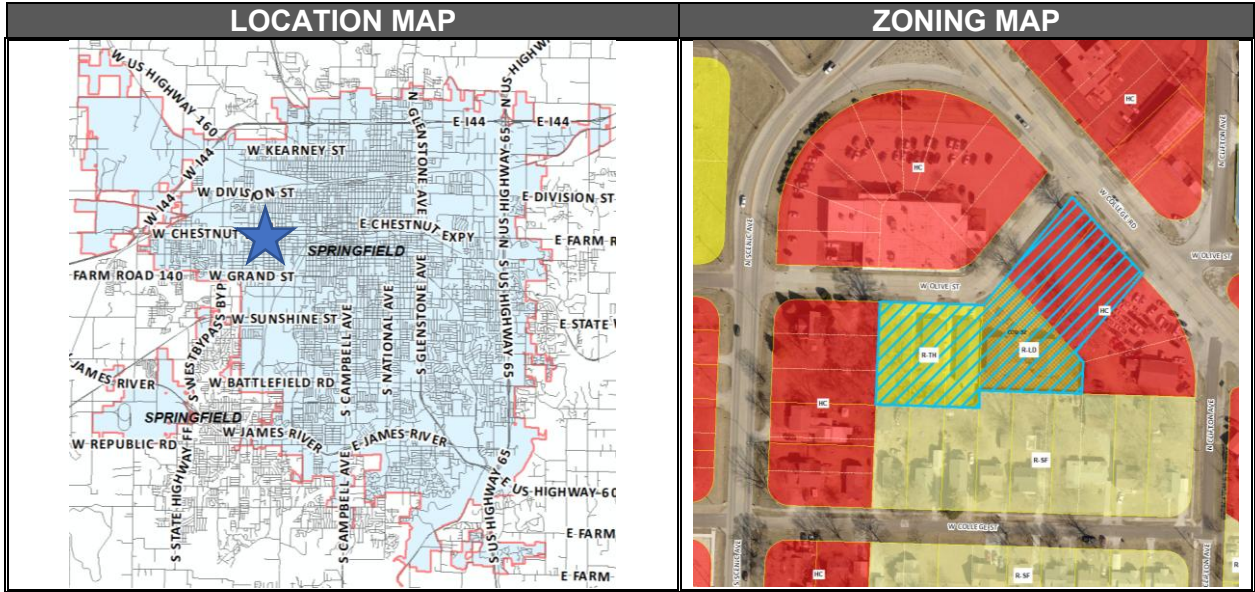
## DEVELOPMENT REVIEW STAFF REPORT

### PROJECT INFORMATION:

<b>Case Number:</b>	Z-9-2026 with Conditional Overlay District No. 285
<b>Location:</b>	2610, 2612 & 2616 West College Road and 2630, 2632, 2634, 2636, 2638, 2642 & 2646 West Olive Street
<b>Total Acres:</b>	1.42 acres
<b>Applicant:</b>	Lakes Country Rehabilitation Center Association
<b>Existing Land Use:</b>	Duplexes and undeveloped land
<b>Neighborhood Meeting:</b>	January 21, 2026
<b>Planning and Zoning Commission:</b>	February 12, 2026
<b>City Council:</b>	March 9, 2026
<b>Public Notification:</b>	Mail, posted property, and legal in the Springfield News-Leader
<b>Staff:</b>	Michael Sparlin, Senior Planner
<b>Staff recommendation:</b>	Staff recommends approval
<b>Proposed motion:</b>	I move to recommend approval of rezoning case Z-9-2026 with Conditional Overlay District No. 285 as set forth in Attachment 1 (All commission motions are made in the affirmative).
<b>Required Vote:</b>	A majority of those present (5 members are a quorum).

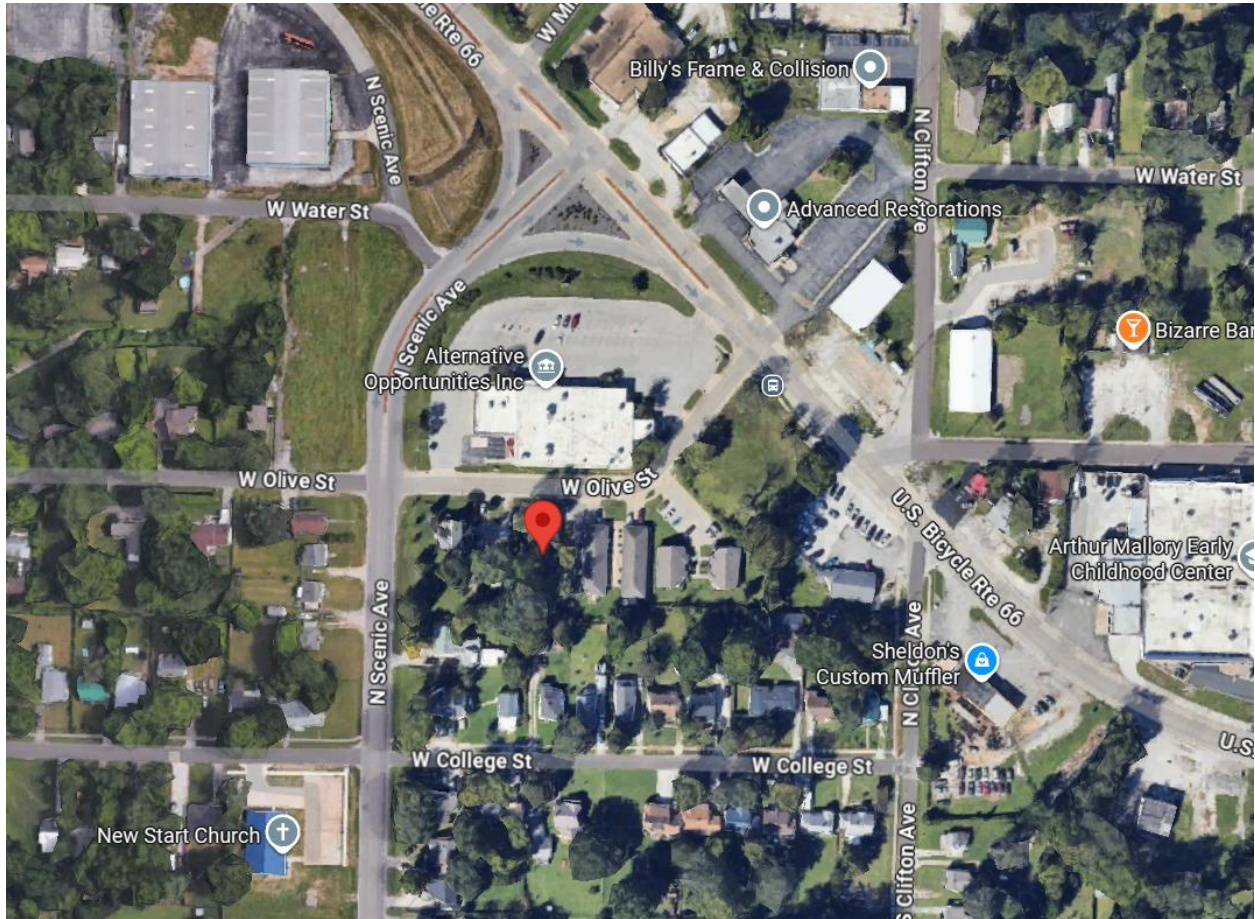
### PROJECT SUMMARY:

Request to rezone approximately 1.42 acres generally located at 2610, 2612 & 2616 West College Road and 2630, 2632, 2634, 2636, 2638, 2642 & 2646 West Olive Street from HC, Highway Commercial, R-LD, Low-Density Multi-family Residential District with Conditional Overlay District No. 32 and R-TH Residential Townhouse to R-LD, Low-Density Multi-family Residential District with Conditional Overlay District 285.



## DEVELOPMENT REVIEW STAFF REPORT

### GOOGLE AERIAL OF LANDMARKS, BUSINESSES, AND ATTRACTIONS:



### GOOGLE STREETVIEW:



## DEVELOPMENT REVIEW STAFF REPORT



### PROPERTY HISTORY:

The HC portion of the subject property was zoned with the 1995 city-wide remapping. The R-LD with COD No. 32, portion of the property was rezoned from HC in July 2007. The R-TH portion of the property was rezoned from HC in October 2002.

### PLANNING AND ZONING COMMISSION AUTHORITY:

#### Sec. 36-367. – Amendments

(7) Findings by the commission.

(a) Rezoning. If the application is for a reclassification of property to a different zoning district classification on the zoning map, the report of the planning and zoning commission may consider:

1. Whether the proposed zoning district classification is consistent with the Springfield Comprehensive Plan;
2. Whether there are any changed or changing conditions in the area affected that make the proposed rezoning necessary;
3. Whether the range of uses in the proposed zoning district classification are compatible with the uses permitted on other property in the immediate vicinity;
4. Whether adequate utility and sewer and water facilities exist or can be provided to serve the uses that would be permitted on the property if it were rezoned;
5. The impact the uses, which would be permitted if the property were rezoned, will have upon the volume of vehicular and pedestrian traffic and traffic safety in the vicinity;
6. Whether the proposed rezoning would correct an error in the application of this article as applied to the subject property;
7. Whether a reasonably viable economic use of the subject property will be precluded if the proposed rezoning is denied; and
8. Information submitted at the public hearing.

**DEVELOPMENT REVIEW STAFF REPORT**

**ZONING ORDINANCE REQUIREMENTS:**

CODE ITEM	REQUIREMENTS FOR R-LD
Minimum Yard Requirements	<p>1. <i>Front yard:</i></p> <p>a. Twenty-five feet along a street classified as a collector or higher classification street or as required by section 36-453.</p> <p>b. Fifteen feet along a street classified as a local street or as required by section 36-453 (garages shall be set back a minimum of 20 feet).</p> <p>2. <i>Side yards:</i> Six feet or as required by section 36-453, supplemental open space and yard regulations, provided that no side yard is required for any building that has a common wall on a lot line.</p> <p>3. <i>Rear yard:</i> Ten percent of the lot depth but may not be less than ten feet nor will more than 20 feet be required. However, in no event may a structure be erected closer to the centerline of an existing or planned street than as prescribed below, except as permitted by subsection 36-303(17)(b) and subsection 36-303(17)(d).</p>
Maximum Height	<p>1. When side yards are less than 15 feet in width: 35 feet or two and one-half stories above the finished grade.</p> <p>2. When side yards are 15 feet in width or greater: 45 feet or three stories above the finished grade.</p> <p>3. No portion of a multifamily dwelling shall be higher than allowed by a 45-degree bulk plane where the property adjoins an R-SF district.</p>
Minimum Open Space	Not less than 20 percent.
Buffering and Landscaping	Whenever any development in an R-LD district is located adjacent to another zoning district or a nonresidential use in an R-LD district is located adjacent to a residential use in an R-LD district, screening and a bufferyard shall be provided in accordance with sections 36-480, screening and fencing, and 36-482, landscaping and bufferyards.

**COMPATIBILITY WITH COMPREHENSIVE PLAN:**

PLACETYPE:

The *Comprehensive Plan's Land Use & Development* chapter identifies the east portion of the subject property as the City Corridor Placetype. The east portion of the subject property is identified as the Traditional Neighborhood Placetype.

**City Corridor:**

## DEVELOPMENT REVIEW STAFF REPORT

The City Corridor Placetype predominantly consists of commercial and service-related development varying in scale, ranging from standalone businesses to large retail centers. City Corridors are also key locations to support and encourage multi-family developments that rely on proximity to retail, commercial services, and employment centers. Each of these use groups are best located along major roadways with high volumes of traffic. This Placetype is not only highly accessible by car, but also by walking, biking, and transit. City Corridors provide a wide range of shopping, service, entertainment, and employment destinations for both residents and visitors. Common uses within the Placetype include chain restaurants, gas stations, hotels, national retailers, movie theaters, smaller offices, and a variety of support services.

### Primary Land Uses:

- Office, hospitality, retail sales and service
- Multi-family
- Sports complexes and recreation facilities
- Maker, artisan, and innovation spaces

### Supporting Land Uses:

- Public and private schools and places of worship
- Parks, greenways, and open space
- Urban agriculture
- Universities, colleges, and vocational schools
- Personal and outdoor storage

### Characteristics

#### TRANSPORTATION & INFRASTRUCTURE

- Access management is improved for vehicles through curb cut consolidation and cross-access between commercial properties, reducing traffic conflicts and backups.
- Electric vehicle charging facilities, pedestrian and bicycle infrastructure, and automated vehicle parking and loading spaces are integrated along major corridors, installed at key destinations, and incorporated into private development plans.
- As technology, trends, and funds permit, utilities are buried or consolidated along rear property lines, reducing conflicts with street trees, pedestrian infrastructure, and viewsheds.
- Transit service is expanded along key commercial corridors over the long term with bus stops enhanced with shelters and live timetables.

#### URBAN DESIGN - BUILDING AND SITE TYPOLOGY:

- Residential development and commercial buildings should be oriented to the street.
- Parking should be located behind or beside the primary buildings with abundant landscaping and screening to encourage greater interest and interaction between the adjoining street and the building, that contributes to community-wide quality of place.
- Pedestrian pathways within large parking lots provide safe access to business entrances.

## DEVELOPMENT REVIEW STAFF REPORT

- A greater focus on site design, parking access, massing, and building orientation are adopted to ensure development that is complementary to adjacent lower density residential development.
- Multi-story buildings designed with active ground floor spaces should be visible and inviting to increase a vibrant pedestrian environment.
- Use of quality materials, construction methods, workmanship, and design should be incorporated into new development and redevelopment.
- A mix of building heights is supported through structured site and building design strategies to soften the impact on adjacent lower intensity residential development.
- Lighting, landscaping, signage, mail, and delivery accommodations should also be proactively incorporated into the site design.
- Design should avoid the placement of mechanical equipment along major roadways or should be completely screened, along with adequate spacing for storage of waste receptacles.
- Best management practices for stormwater management are required in development projects and within public rights-of-way, such as permeable paving, rain gardens, green roofs, native landscaping, and other low impact design strategies.
- Encourage code adjustments regarding parking minimums instead of parking maximums.

### TRANSITIONS:

- Office and multifamily uses can be placed on the periphery of the Placetype to transition into adjacent lower density residential Placetypes.
- Higher density residential development should be integrated along existing commercial corridors in need of reinvestment, transitioning aging commercial properties to new uses and focusing future commercial development at high activity nodes.
- Commercial and higher density residential is sufficiently screened and buffered between low-density residential development.
- Multi-story buildings should be sited and designed to reduce the impact on adjacent lower intensity residential development.

### **Traditional Neighborhood:**

Traditional Neighborhoods are comprised of post-war residential neighborhoods that contain predominantly single-family detached dwellings with uniform setbacks, building designs, and parcel sizes, that are separated from dissimilar uses by distinct zoning boundaries and buffer yards. Housing in Traditional Neighborhoods range from bungalows to expansive ranch style homes constructed with a variety of materials and methods. Neighborhood parks, schools, and churches are dispersed throughout to serve nearby residents. These neighborhoods can follow a gridded block pattern or curvilinear streets and are well connected internally with sidewalks and trails. Traditional Neighborhoods tend to be expansive, isolating residents from services and resources on the edges, often beyond walking distance.

Planning for Traditional Neighborhoods should strive to increase and integrate quality of place and complete neighborhood characteristics. These characteristics could include beautification efforts such as planting street trees, expanding connections and access to the greenway and

## DEVELOPMENT REVIEW STAFF REPORT

trail system, and support for low-intensity multi-family, low-intensity neighborhood commercial, or a mix of uses to serve area residents. Multi-family, neighborhood commercial, or mixed use should be located on the edges of the greenway system, on higher classification roadways, or areas identified by residents during the neighborhood planning process. Preservation of residential housing and housing patterns should be prioritized where lots are predominately accessed from side or internal local streets.

Redevelopment of traditional single-family residential housing for higher-density housing or commercial should be limited to areas adjacent to identified activity centers, where circulation and access will not negatively affect the adjoining neighborhood.

### LAND USES PRIMARY USES

- Single-family detached

### SUPPORTING USES

- Single-family attached
- Low-intensity multifamily
- Low-intensity, neighborhood commercial
- Parks, greenways, and open space
- Public and private schools and places of worship
- Low-intensity urban agriculture

### CHARACTERISTICS TRANSPORTATION & INFRASTRUCTURE

- Traffic-calming measures, such as speed-humps, bump-outs, roundabouts, landscaped chicanes with integrated stormwater management, and on-street parking are used to slow traffic.
- Best management practices for stormwater management are required in development projects and within public rights-of-way, such as permeable paving, rain gardens, green roofs, native landscaping, and other low impact design strategies.
- Sidewalk gaps are filled, and sidewalks connect to transit routes, greenways and trails, and supportive uses are located within the neighborhood and around the perimeter.
- Alleys provide pedestrian connections, alternative access to rear yards, detached garages, and other approved accessory uses.
- Sense of place and identity is enhanced through neighborhood organization efforts, preservation and planting trees, neighborhood identification signs, and traffic calming improvements that double as streetscape elements.
- As technology, trends, and funds permit, utilities are buried or are consolidated along rear property lines, reducing conflicts with street trees, pedestrian infrastructure, and viewsheds.
- Major entrances into neighborhoods are marked by identification signs and landscaping.

### URBAN DESIGN - BUILDING AND SITE TYPOLOGY

## DEVELOPMENT REVIEW STAFF REPORT

- The main entrances of new residential developments are oriented towards the primary street.
- Preservation and adaptive reuse of neighborhood schools and surplus buildings are encouraged.
- When appropriate, adaptive reuse of residential structures for low-intensity, neighborhood-scale nonresidential uses, including missing middle housing types, is encouraged at neighborhood nodes and along edges.
- Accommodations are made to allow expanded home occupations, without detracting from the character of the neighborhood, being conscious of changing trends and advances in technologies.
- New and infill buildings maintain the proportions and architectural features common in the existing block.
- When commercial buildings are located within or adjacent to the neighborhood, they are oriented to the street, focus on pedestrian-scale, and provide limited vehicle parking.

### TRADITIONAL NEIGHBORHOOD

- Residential subdivisions are designed and platted with curvilinear streets in structured layouts that maximize use of land.
- Lots have uniform widths, depths, and setbacks that align with home sizes and densities.
- Attached garages are a standard element, typically integrated into the design of the home and make up a dominant part of the front elevation, reducing the on-street parking demands.
- Vehicular driveways are provided for each home and are accessed almost exclusively from the front or side street, limiting on-street parking opportunities.
- Neighborhoods are often self-regulated by covenants that limit use, size, and design of structures, as well as care and use of private amenities and common areas.

### TRANSITIONS

- A “stepped down” approach is used to transition from higher density/intensity residential and non-residential uses to single-family residential homes and uses, with greater densities/intensities located on higher functioning roadways, at the periphery of the neighborhood.
- Lower density residential uses are sufficiently screened and buffered between higher density housing and nonresidential uses.
- The design of higher density residential uses integrated into the Residential Neighborhood Placetype should complement the scale and character of the surrounding neighborhood. Attention should be given to building height, orientation, architectural style, and setback to ensure the existing neighborhood character is retained.

# DEVELOPMENT REVIEW STAFF REPORT

## FUTURE PLACETYPE MAP:



PLACETYPES	LAND USES																
	Single-Family Detached	Single-Family Attached	Multi-family	Parks & Open Space	Sports Complexes & Recreational Facilities	Urban Agriculture	Office, Hospitality, Retail Sales & Service	Neighborhood Commercial	Maker, Artisan & Innovation Spaces	Public & Private Schools & Places of Worship	Universities, Colleges & Vocational Schools	Government, Healthcare & Institutional Facilities	Personal Storage, Outdoor Sales & Service	Light Industry	Warehousing & Distribution Facilities	Heavy Industry & Manufacturing	Airport, Railroad & Freight Facilities
Residential Neighborhood	●	○	◇	○	◇	◇	○										
Mixed Residential	●	●	○	○	◇	◇	○										
Downtown		●	○	○	○	○	○	○	○	○	○	○	○	○	○	○	○
Mixed-Use	○	○	○	○	○	○	○	○	○	○	○	○	○	○	○	○	○
City Corridor		○	○	○	○	○	○	○	○	○	○	○	○	○	○	○	○
Institutional & Employment Center			○	○	○	○	○	○	○	○	○	○	○	○	○	○	○
Business Flex				○	○	○	○	○	○	○	○	○	○	○	○	○	○
Industry & Logistics							○	○	○	○	○	○	○	○	○	○	○
Urban Green Space & Recreation				●	●	○											

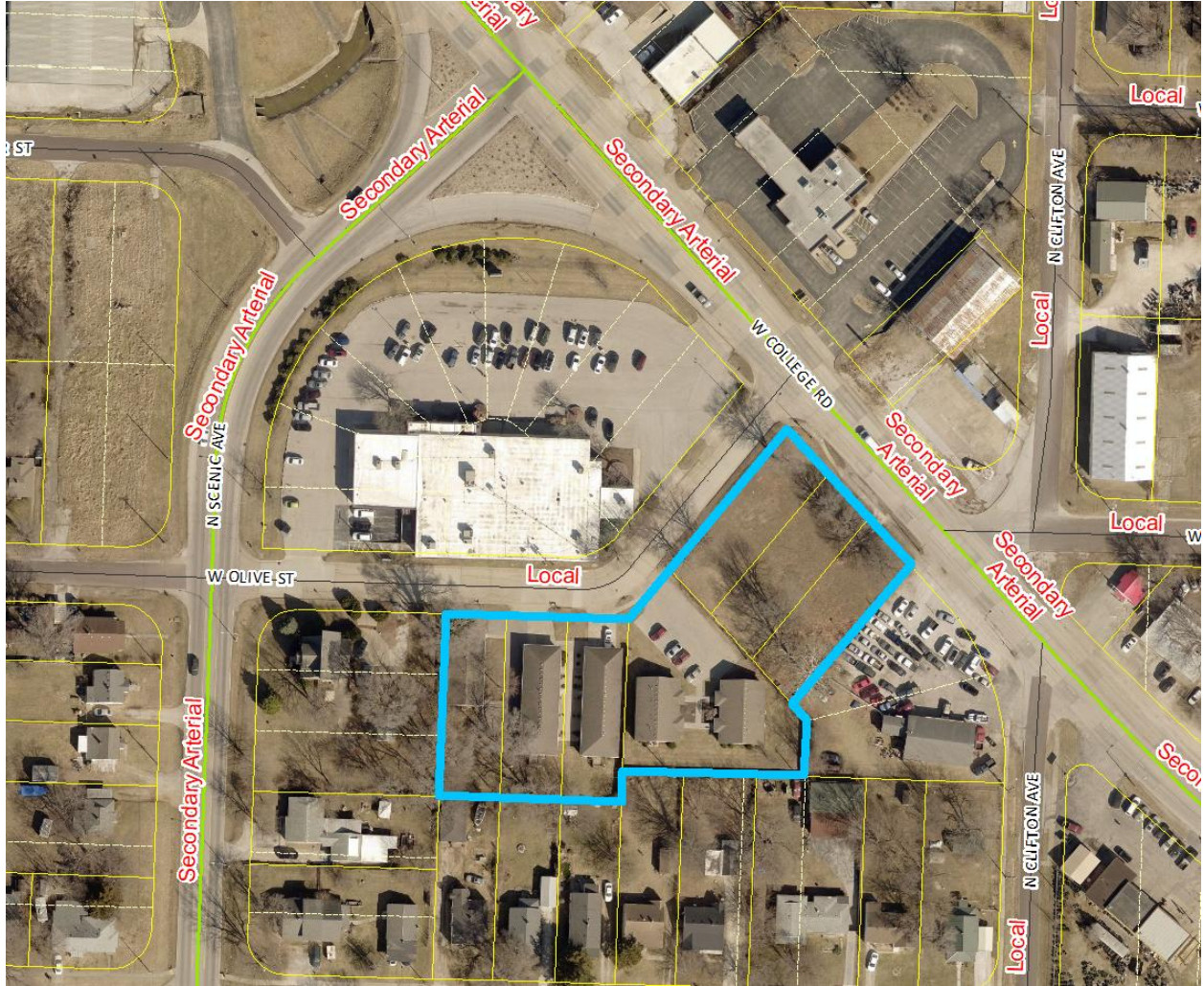
● **Primary Land Use:** More prominent and play a pivotal role in characterizing that placetype

○ **Supporting Land Use:** Less prevalent and serve to support the primary land use.

◇ **Low Intensity Supporting Land Use:** Less prevalent and serve to support the primary use at neighborhood scale

## DEVELOPMENT REVIEW STAFF REPORT

### MAJOR THOROUGHFARE MAP:



### SURROUNDING ZONING, LAND USES AND PLACETYPES:

	NORTH	SOUTH	EAST	WEST
ZONING	HC	R-SF, HC	HC	HC
LAND USE	Health Services office	Single-family houses	Car sales	Single-family houses
PLACETYPES	City Corridor	Traditional neighborhood	City Corridor	Traditional neighborhood

**DEPARTMENT OF BUILDING DEVELOPMENT SERVICES:**

No comments.

**CITY UTILITIES:**

## DEVELOPMENT REVIEW STAFF REPORT

No issues

DEPARTMENT OF ENVIRONMENTAL SERVICES WASTEWATER MANAGEMENT DIVISION:

No issues with rezoning. Each property has access to public sewer and is in an approved sewer district.

FIRE DEPARTMENT:

No objections to rezoning.

DEPARTMENT OF PUBLIC WORKS TRAFFIC ENGINEERING DIVISION:

**TRAFFIC REPORT**

	Street Name	Street Classification	Jurisdiction	ROW from Centerline (ft.)		Traffic Count (vehicles per day)	On-Street Parking	Sidewalk	
				Required	Existing			Required	Existing
<b>Street 5</b>	W College Road	Secondary Arterial	City	35	35	3500	No	Yes	Yes
<b>Street 6</b>	W Olive Street	Local	City	25	25	NA	Yes	Yes	No

**ACCESS** - All new or modified driveway approaches shall comply with the current City of Springfield standards for the street classification.

**TRAILS, BUS STOPS, AND ADDITIONAL INFORMATION** - There are no Greenway Trails near the property. There are bus stops near the property on College Road, Olive Street, and Scenic Avenue.

**IMPROVEMENTS** - No improvements are required for this rezoning. A Traffic Impact Study is not required for this rezoning.

DEPARTMENT OF PUBLIC WORKS STORMWATER ENGINEERING DIVISION:

**SITE DESCRIPTION & DRAINAGE PATTERN**

	Drainage Basin	Fee in Lieu Flood Control	Fee in Lieu Water Quality	Stream Buffer	Sinkhole or Watershed	Floodplain/Floodway
<b>W College Rd and W Olive St</b>	Upper Wilson Creek	Stormwater Report Needed	No	No	No	No

All chapter and section references below are to the City's Flood Control and Water Quality Protection Manual Version April 2022.

**DETENTION AND DISCHARGE REQUIREMENTS**

## DEVELOPMENT REVIEW STAFF REPORT

1. Listed properties drain to both W College Rd and W Olive St. Future development of site would require a stormwater report with downstream analysis to determine if flood control is required or if PW-Stormwater support would be available for a fee in lieu of detention. Future public improvements may be shown required for a fee in lieu of detention application.

### WATER QUALITY REQUIREMENTS

1. Water Quality is required for new development projects or redevelopment projects, with new or increased impervious surfacing, within the city limits of Springfield that disturb 1 acre or greater. Including projects less than 1 acre that are part of a larger common plan of development or sale that will disturb 1 or more acres over the life of the project. Chapter 10 Sec. 2.0.

2. A land disturbance permit will be required with disturbing 1 acre or greater per Chapter 4 Section 5 of the City's Flood Control and Water Quality Protection Manual.

3. Water Quality Credits are available to use in design for preserved trees and new planted trees. Landscaping and bufferyards trees required by planning cannot be used for the water quality credits unless it is part of a SCM. Chapter 10, Section 3.1.

### FLOODPLAIN

N/A

### NATURAL CHANNEL & STREAM BUFFERS

N/A

### SINKHOLES & KARST FEATURES

N/A

### STAFF ANALYSIS AND RECOMMENDATION:

1. The applicant is requesting to rezone approximately 1.42 acres generally located at 2610, 2612 & 2616 West College Road and 2630, 2632, 2634, 2636, 2638, 2642 & 2646 West Olive Street from HC, Highway Commercial, R-LD, Low-Density Multi-family Residential District with Conditional Overlay District No. 32 and R-TH Residential Townhouse and to R-LD, Low-Density Multi-family Residential District with Conditional Overlay District 285. The applicant, Preferred Family Healthcare, intends to maintain the existing duplexes and build more duplexes on the vacant lots to provide rental housing. Preferred Family Healthcare is located to the north of the subject property at 2626 West College Road.
2. The *Comprehensive Plan's Land Use & Development* chapter identifies the east portion of the subject property as the City Corridor Placetype. The east portion of the subject property is identified as the Traditional Neighborhood Placetype.
3. This application is consistent with the City Corridor Placetype which lists multi-family as a primary land use and the Traditional Neighborhood Placetype which lists low-density multi-family as a supporting land use.

## DEVELOPMENT REVIEW STAFF REPORT

4. The COD will limit the density to 11 (eleven) dwelling units per acre. This COD restriction will mitigate potential adverse impacts on surrounding properties by ensuring that the subject property is limited to low-density and low-intensity residential uses.
5. The subject property has access to City Utilities infrastructure, and any necessary extension of such services can be provided via City Utilities' extension policy, though new easements may be necessary to accommodate this.
6. There are few changing conditions in the area affected that make the proposed rezoning necessary. Minor development of property within the vicinity has been occurring.
7. The range of uses in the proposed R-LD district is compatible with the uses permitted on other property in the immediate vicinity.
8. There are adequate utility and sewer and water facilities existing or can be provided to serve the uses that would be permitted on the property if it were rezoned.
9. The impact of the uses, which would be permitted if the property were rezoned, is not expected to significantly increase the volume of vehicular and pedestrian traffic or reduce traffic safety in the vicinity.
10. The proposed zoning will not correct an error in the application of this article but rather will provide a viable use of the property subject to the provisions of the zoning district.
11. A reasonably viable economic use of the subject property will not be precluded if the proposed rezoning is denied.
12. The applicant held a neighborhood meeting on January 21, 2026, regarding the rezoning request. A summary of the meeting is attached (Attachment 1).
13. The public notice was advertised in the Springfield News-Leader at least 15 days prior to the public hearing. The property was posted by the applicant at least 10 days prior to the public hearing. Public notice letters were sent out at least 10 days prior to the public hearing to all property owners within 185 feet.

### STAFF RECOMMENDATION:

1. Staff recommends approval based on the proposal's general conformance to the Comprehensive Plan's City Corridor and Traditional Neighborhood Placetype and on the finding of facts above.

### PLANNING AND ZONING OPTIONS:

The planning and zoning commission shall make one of the following recommendations in connection with each proposed change in zoning district classification of this article:

## DEVELOPMENT REVIEW STAFF REPORT

1. Recommend against the proposed change in the zoning district classification.
2. Recommend a change in the zoning district classification.
3. Recommend a change in the zoning district classification together with recommendations which, in the judgment of the planning and zoning commission, will protect adjacent property and ensure that the proposed amendment is consistent with the purpose and intent of this article.



## DEVELOPMENT REVIEW STAFF REPORT

### ATTACHMENT 1

#### CONDITIONAL OVERLAY DISTRICT PROVISIONS NO. 285

The requirements of Section 36-382 of the Springfield Zoning Ordinance shall be modified herein for development within this district to include the following:

1. The maximum density shall be limited to 11 (eleven) dwelling units per acre.

**AFFIDAVIT OF NEIGHBORHOOD NOTIFICATION AND MEETING SUMMARY**

- 1. Request change to zoning from: R-TH, R-LD (COD 32), & HC to R-LD  
*(existing zoning)* *(proposed zoning)*
- 2. Meeting Date & Time: January 21, 2026 from 4:00pm to 6:30pm
- 3. Meeting Location: 2626 W. College Road
- 4. Number of invitations that were sent: 137
- 5. How the mailing list was generated: city staff
- 6. Number of neighbors in attendance (attach a sign-in sheet): 19 including owner (see attached)
- 7. List the verbal comments and how you plan to address any issues:  
(City Council does not expect all the issues to be resolved to the neighborhood's satisfaction; however, the developer must explain why the issues cannot be resolved).

Most of the neighbors had questions about what we were doing so we were able to explain what this application was about. There were concerns about security and traffic and we were able to explain that this project was about solving some of these issues that the neighborhood had been dealing with. A lot of the security concerns were from people passing through the property, jumping fences, and vandalizing personal property. One neighbor even asked for a 12-foot high fence to be installed to prevent people from continuing to get into their backyard. We explained that this tall of a fence was not realistic, but reassured them that this project was intended to increase the security of the neighborhood as a whole. There was general support for this project from the people who attended this meeting.

- 8. List or attach the written comments and how you plan to address any issues:

None received.

I, BILLY KIMMONS (print name), attest that the neighborhood meeting was held on 1/21/26 (month/date/year), and is at least twenty-one (21) days prior to the Planning and Zoning Commission public hearing and in accordance with the attached "Neighborhood Notification and Meeting Process."

  
\_\_\_\_\_  
Signature of person completing affidavit

BILLY KIMMONS  
\_\_\_\_\_  
Printed name of person completing affidavit

# ATTENDANCE LOG

h

PROJECT	PROJECT #	MEETING DATE	MEETING PURPOSE	
PREFERRED FAMILY HEALTHCARE REZONING	25-132	1-21-26	REZONE + ROW VACATION	
NAME	ORGANIZATION	TYPE OF CONTRACTOR	PHONE	EMAIL
BILLY KIMMONS	HOOD-RICH	ARCHITECT	417 862 4483	bkimmons@hoodrich.com
Billy's Frame and Collision Repairs	Frame Shop		417-862-8822	Billy's frame and collision repairs.com
PAOLO R. D'ARNO	Neighborhood		417-315-2706	
Heather McLaughlin	Home Owner		417-631-3316	hmhavana@yahoo.com
TAM DeWolfe	# Neighbor		417-869-4535	
Sherry Smith	Home Owner			SK5JFT@gmail.com
MARCIA LAUZADEK	Home owner		417-763-8906	Hemecoword
Jed Darns	Home owner			
LYCOURA HOWERTON	HOME OWNER		417-430-7820	LYCOURA.HOWERTON77@gmail.com
John D. Dickson	JOE-AIR		417-766-1887	Pam C. Dickson at
Pam Dickson	" "		" "	G. M. Hacht, Boom
CHRIS BURKHART	HOOD-RICH		417 353 1362	CBURKHART@HOODRICH.COM
FRANCIS McSHANE	FIREFLY			
MARY EASTER	Firefly			
Sharon Brooks	Westside Neighborhood		417-576-6983	dewmso@chcsi.com
Robert M Brantley	Neighbor		908-741-	Rob@508manly.com
LANCE LANPHEER	Neighbor		3489	



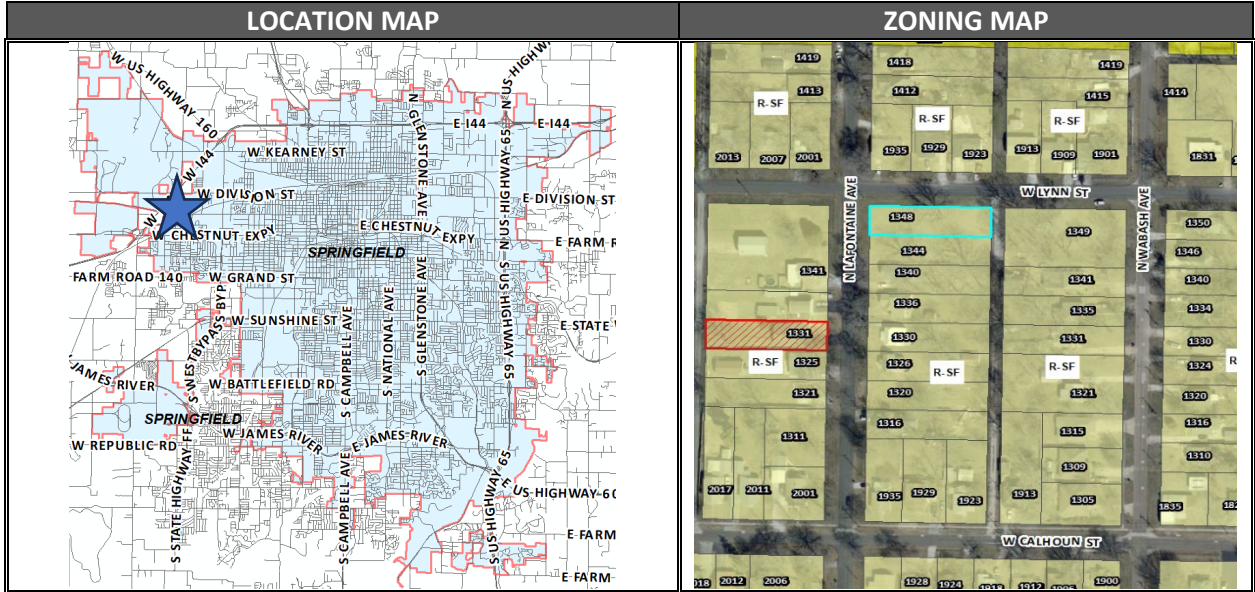
## DEVELOPMENT REVIEW STAFF REPORT

### PROJECT INFORMATION

<b>Case Number:</b>	Z-11-2026
<b>Location:</b>	1349 N. Wabash Avenue
<b>Total Acres:</b>	0.41 acres
<b>Applicant:</b>	City of Springfield
<b>Existing Land Use:</b>	Vacant/undeveloped land
<b>Neighborhood Meeting:</b>	January 15, 2026
<b>Planning and Zoning Commission:</b>	February 12, 2026
<b>City Council:</b>	March 9, 2026
<b>Public Notification:</b>	Mail, posted property, and legal in the Springfield News-Leader
<b>Staff:</b>	Justin Crighton, Assistant Director
<b>Staff recommendation:</b>	Staff recommends approval
<b>Proposed motion:</b>	I move to recommend approval of rezoning case Z-11-2026 (All commission motions are made in the affirmative).
<b>Required Vote:</b>	A majority of those present (5 members are a quorum).

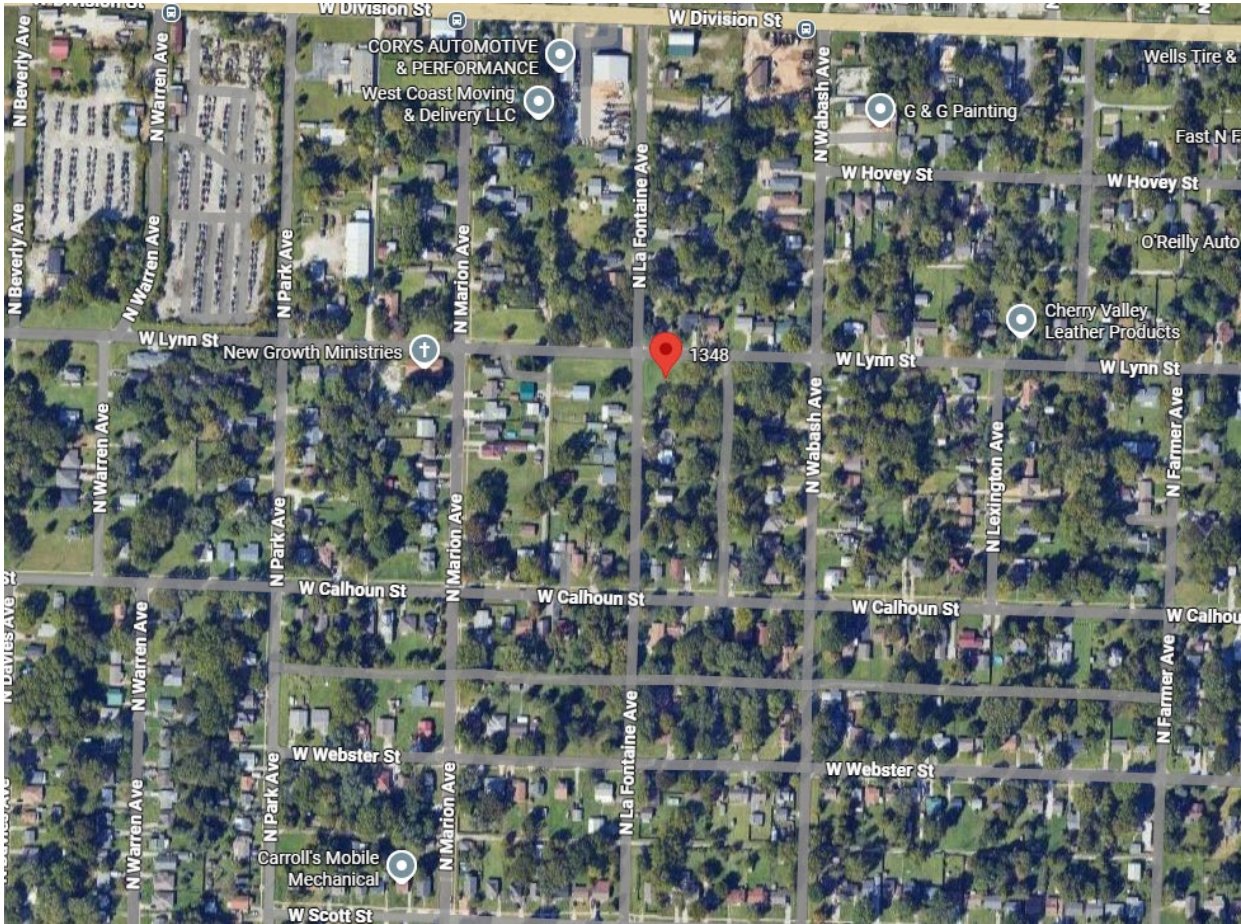
### PROJECT SUMMARY:

Request to rezone approximately 0.41 acre generally located at 1349 N. Wabash Avenue from R-SF Residential - Single Family Residential District to R-TH , Residential Townhouse District.



## DEVELOPMENT REVIEW STAFF REPORT

### GOOGLE AERIAL OF LANDMARKS, BUSINESSES, AND ATTRACTIONS:



### GOOGLE MAPS STREET VIEW:



**DEVELOPMENT REVIEW STAFF REPORT**

The subject property was zoned R-SF in 1995 city-wide remapping.

**PLANNING AND ZONING COMMISSION AUTHORITY:****Sec. 36-367. – Amendments**

(7) Findings by the commission.

(a) Rezoning. If the application is for a reclassification of property to a different zoning district classification on the zoning map, the report of the planning and zoning commission may consider:

1. Whether the proposed zoning district classification is consistent with the Springfield Comprehensive Plan;
2. Whether there are any changed or changing conditions in the area affected that make the proposed rezoning necessary;
3. Whether the range of uses in the proposed zoning district classification are compatible with the uses permitted on other property in the immediate vicinity;
4. Whether adequate utility and sewer and water facilities exist or can be provided to serve the uses that would be permitted on the property if it were rezoned;
5. The impact the uses, which would be permitted if the property were rezoned, will have upon the volume of vehicular and pedestrian traffic and traffic safety in the vicinity;
6. Whether the proposed rezoning would correct an error in the application of this article as applied to the subject property;
7. Whether a reasonably viable economic use of the subject property will be precluded if the proposed rezoning is denied; and
8. Information submitted at the public hearing.

## DEVELOPMENT REVIEW STAFF REPORT

### ZONING ORDINANCE REQUIREMENTS:

CODE ITEM	REQUIREMENTS FOR R-TH DISTRICT
Use Limitations	<ul style="list-style-type: none"> <li>(a) There shall be a separate platted lot of record for each single-family semi-detached or townhouse dwelling unit.</li> <li>(b) All uses shall operate in accordance with the noise standards contained in section 36-485, noise standards.</li> <li>(c) No use shall emit an odor that creates a nuisance as determined by chapter 2A, article X, Springfield City Code.</li> </ul>
Minimum Lot Size	<ul style="list-style-type: none"> <li>1. Single-family detached dwellings and residential group homes: 5,000 square feet.</li> <li>2. Duplexes: 7,500 square feet.</li> <li>(b) <i>Minimum lot width:</i> <ul style="list-style-type: none"> <li>1. Single-family detached and duplex dwellings and residential group homes: 45 feet.</li> <li>2. Townhouses:                             <ul style="list-style-type: none"> <li>a. End lots: 40 feet.</li> <li>b. Interior lots with driveway in front yard: 30 feet.</li> <li>c. Interior lots without driveway in front yard: 24 feet.</li> </ul> </li> <li>3. Single-family semi-detached dwelling units: 30 feet.</li> <li>4. All other uses: 45 feet.</li> </ul> </li> <li>(c) <i>Minimum lot depth:</i> 80 feet.</li> </ul>
Maximum Height	<ul style="list-style-type: none"> <li>1. When side yards are less than 15 feet in width: 35 feet or two and one-half stories above the finished grade.</li> <li>2. When side yards are 15 feet in width or greater: 45 feet or three stories above the finished grade.</li> </ul>
Bulk Plane	None
Minimum Yard Requirements	<ul style="list-style-type: none"> <li>1. <i>Front yard:</i> <ul style="list-style-type: none"> <li>a. Twenty-five feet along a street classified as a collector or higher classification street or as required by section 36-453, supplemental open space, and yard regulations.</li> <li>b. Fifteen feet along a street classified as a local street or as required by section 36-453, supplemental open space, and yard regulations.</li> </ul> </li> <li>2. <i>Side yards:</i> Ten feet on each side of a lot or as required by section 36-453, supplemental open space and yard regulations, provided that no side yard is required for any building that has a common wall on a lot line.</li> <li>3. <i>Rear yards:</i> Ten percent of the lot depth but may not be less than ten feet nor more than 20 feet be required.</li> </ul>

## DEVELOPMENT REVIEW STAFF REPORT

Minimum Open Space	Not less than 20 percent of the total lot area shall be devoted to open space including required yards and bufferyards unless modified in accordance with subsection 36-482(15). Open space shall not include areas covered by buildings, structures, parking, loading and other paved areas and internal streets. Open space shall contain living ground cover and other landscaping materials.
Density Requirements	The maximum density shall be 3,750 square feet per dwelling unit provided the requirements of subsection 36-303(22) are met.
Design Requirements	<ul style="list-style-type: none"> <li>(a) A site plan meeting the requirements of section 36-360, site plan review, shall be submitted and approved.</li> <li>(b) A landscape plan meeting the requirements of section 36-482, landscaping and bufferyards, and 36-483, off-street parking and loading area design standards, shall be submitted, and approved.</li> <li>(c) All off-street parking and vehicular use areas shall be screened from all residential uses in accordance with section 36-480, screening, and fencing.</li> <li>(d) All outdoor storage and refuse storage areas shall be screened from view in accordance with section 36-480, screening, and fencing.</li> <li>(e) Mechanical and electrical equipment, including air conditioning units, shall be screened from view in accordance with section 36-480, screening, and fencing.</li> <li>(f) Lighting shall be designed to reflect away from any adjacent or nearby residential area and in accordance with section 36-484, lighting standards.</li> <li>(g) Accessory buildings and structures shall meet the requirements of section 36-450, accessory structures and uses.</li> </ul>
Buffering and Landscaping	Whenever any development in an R-TH district is located adjacent to a different zoning district, screening and a bufferyard shall be provided in accordance with sections 36-480, screening, and fencing, and 36-482, landscaping and bufferyards.

### COMPATIBILITY WITH COMPREHENSIVE PLAN:

## DEVELOPMENT REVIEW STAFF REPORT

### PLACETYPE:

The *Comprehensive Plan's Land Use & Development* chapter identifies the north portion of the subject property as the Traditional Neighborhood placetype.

**Center City Neighborhoods** are compact, walkable residential areas located within or immediately adjacent to the city's core. They feature a diverse mix of housing types—including single-family homes, townhomes, duplexes, and low- to mid-intensity multifamily buildings—often on smaller parcels with varied setbacks, lot sizes, and architectural styles. Buildings are oriented to the street and reflect incremental development patterns over time rather than uniform subdivision design. Residential uses are closely integrated with neighborhood-scale commercial, civic, and institutional uses, creating vibrant, mixed-use environments.

Housing types range from historic homes and small apartment buildings to contemporary infill, constructed using a variety of materials and design approaches. Neighborhood parks, plazas, schools, places of worship, and small commercial nodes are embedded throughout Center City Neighborhoods, providing daily services within walking distance. Street networks typically follow a connected grid pattern, with short blocks, sidewalks on both sides of the street, and strong connections to transit routes, trails, and surrounding districts.

Center City Neighborhoods are defined by proximity and access rather than separation. Rather than being isolated from services, residents are connected to employment centers, retail, entertainment, and civic destinations by walking, bicycling, and transit. Planning efforts should reinforce this integration while preserving the established scale and character of existing residential areas.

Planning for Center City Neighborhoods should prioritize complete neighborhood principles, including housing diversity, walkability, access to daily needs, and high-quality public spaces. Public and private reinvestment should support streetscape improvements, street tree planting, enhanced pedestrian and bicycle infrastructure, and improved access to transit and greenway systems. Low- to moderate-intensity multifamily housing, neighborhood commercial, and mixed-use development are appropriate throughout the neighborhood, particularly along corridors, at nodes, and near transit stops.

Preservation of existing residential buildings and patterns should be encouraged, especially where they contribute to historic character or neighborhood identity. Redevelopment and infill should respect surrounding context while allowing for increased density that supports walkability, housing choice, and local services. Higher-intensity development should be concentrated along major streets, near activity centers, and in locations where infrastructure and access can support additional demand.

### LAND USES

#### PRIMARY USES

- A mix of housing types, including single-family detached, single-family attached, duplexes, and low- to mid-intensity multifamily

#### SUPPORTING USES

- Neighborhood-scale commercial and mixed-use

## DEVELOPMENT REVIEW STAFF REPORT

- Parks, plazas, greenways, and open space
- Public and private schools, civic buildings, and places of worship
- Small-scale office and live-work uses
- Urban agriculture and community gardens

### CHARACTERISTICS

#### TRANSPORTATION & INFRASTRUCTURE

Streets are designed to prioritize pedestrians, bicyclists, and transit through traffic-calming measures such as narrowed lanes, curb extensions, on-street parking, raised crossings, and landscaped stormwater features.

Best management practices for stormwater management are incorporated into private development and public rights-of-way, including permeable paving, rain gardens, native landscaping, and green infrastructure.

Continuous sidewalks, enhanced crossings, and bicycle facilities connect residences to transit routes, greenways, neighborhood services, and surrounding districts.

On-street parking is encouraged to support local businesses, calm traffic, and accommodate residents and visitors.

Alleys, where present, provide access to parking, service functions, and accessory uses while supporting pedestrian connectivity.

Sense of place is reinforced through streetscape design, public art, historic preservation, neighborhood signage, and coordinated public improvements.

As feasible, utilities are buried or consolidated to reduce visual clutter and improve streetscape quality.

#### URBAN DESIGN – BUILDING AND SITE TYPOLOGY

Buildings are oriented to the street with primary entrances facing sidewalks or public spaces. Adaptive reuse of historic structures, including schools and surplus buildings, is strongly encouraged.

Residential buildings may be adapted for neighborhood-scale commercial or civic uses, particularly at corners, nodes, and along corridors.

Infill development complements the scale, massing, and rhythm of existing buildings while allowing for contemporary architectural expression.

Parking is located to the side or rear of buildings when feasible and is designed to minimize visual impact on the street.

#### CENTER CITY NEIGHBORHOOD FORM

Blocks are short and highly connected, supporting walkability and multiple travel options. Lots and setbacks vary, reflecting historic development patterns rather than uniform subdivision design.

Garages are de-emphasized along primary streets and may be accessed from alleys or secondary streets where possible.

Shared driveways, reduced parking requirements, and on-street parking are used to support compact development.

Neighborhoods evolve incrementally over time, allowing for reinvestment, infill, and adaptive reuse.

## DEVELOPMENT REVIEW STAFF REPORT

### TRANSITIONS

A gradual transition of scale and intensity is used between higher-intensity corridors or activity centers and lower-intensity residential areas.

Building height, massing, setbacks, and design elements are used to ensure compatibility between differing uses and housing types.

New development should respect established neighborhood character while supporting increased density in appropriate locations that enhance walkability and access to services.

### FUTURE PLACETYPE MAP:



# DEVELOPMENT REVIEW STAFF REPORT

PLACETYPES	LAND USES																
	Single-Family Detached	Single-Family Attached	Multi-Family	Parks & Open Space	Sports Complexes & Recreational Facilities	Urban Agriculture	Office, Hospitality, Retail Sales & Service	Neighborhood Commercial	Maker, Artisan & Innovation Spaces	Public & Private Schools & Places of Worship	Universities, Colleges & Vocational Schools	Government, Health Care & Institutional Facilities	Personal Storage, Outdoor Sales & Service	Light Industry	Warehousing & Distribution Facilities	Heavy Industry & Manufacturing	Airport, Railroad & Freight Facilities
Residential Neighborhood	●	○	◇														
Mixed Residential	●	●	○														
Downtown		●	○														
Mixed-Use	○	○	○														
City Corridor			○														
Institutional & Employment Center			○														
Business Flex																	
Industry & Logistics																	
Urban Green Space & Recreation																	

● **Primary Land Use:** More prominent and play a pivotal role in characterizing that placetype

○ **Supporting Land Use:** Less prevalent and serve to support the primary land use.

◇ **Low Intensity Supporting Land Use:** Less prevalent and serve to support the primary use at neighborhood scale

## MAJOR THOROUGHFARE MAP:



**DEVELOPMENT REVIEW STAFF REPORT**

**SURROUNDING ZONING, LAND USES AND PLACETYPES:**

	NORTH	SOUTH	EAST	WEST
ZONING	R-SF	R-SF	R-SF	R-SF
LAND USE	Single-family residence	Single-family residence	Single-family residence	Single-family residence
PLACETYPES	Center City Neighborhood	Center City Neighborhood	Center City Neighborhood	Center City Neighborhood

**DEPARTMENT OF BUILDING DEVELOPMENT SERVICES:**

No comments.

**CITY UTILITIES:**

No issues

**DEPARTMENT OF ENVIRONMENTAL SERVICES WASTEWATER MANAGEMENT DIVISION:**

No objections to the rezoning. Public sewer and a service lateral are available.

**FIRE DEPARTMENT:**

No objections to rezoning. Fire hydrant is required within 400 feet around the exterior portions of the building from the fire apparatus access lane measured along apparatus travel route per 2018 IFC Section 507.5.1 (Increases to 600 feet if building is protected by a fire sprinkler system.)

**DEPARTMENT OF PUBLIC WORKS TRAFFIC ENGINEERING DIVISION:**

No objections to rezoning.

**DEPARTMENT OF PUBLIC WORKS STORMWATER ENGINEERING DIVISION:**

No objections to rezoning.

## DEVELOPMENT REVIEW STAFF REPORT

### STAFF ANALYSIS AND RECOMMENDATION:

1. The applicant is requesting rezone approximately 0.41 acre generally located at 1349 N. Wabash Avenue from R-SF Residential - Single Family Residential District to R-TH, Residential Townhouse District.
2. The applicant has no plans for construction at this time.
3. Single-family attached and low-intensity multifamily is listed as a supporting use in the Center City Neighborhood placetype.
4. This application is consistent with the *Comprehensive Plan's Housing and Neighborhoods* chapter which encourages creative housing solutions to add housing diversity and support downsizing households, young professionals, and aging-in-place. The *Plan* encourages the use of "missing middle" housing types. Missing middle housing sits in the middle of the development spectrum between single-family homes and mid-rise to high-rise apartment buildings. These housing types should be integrated into Springfield's existing neighborhoods to increase housing diversity and provide a wider, more equitable range of housing choices.
5. Missing middle housing types provide opportunities for the City to increase the diversity of its housing stock through moderate increases in density, while maintaining the neighborhood character Springfield residents cherish. They range from low density duplexes to mid density multiplexes and triplexes, which can be integrated into the City's housing mix by using single-family lots to accommodate two to three units in a context-sensitive manner.
6. The Plan recommends a "stepped down" approach to be used to transition from higher density/intensity residential and non-residential uses to single-family residential homes and uses, with greater densities/intensities located on higher functioning roadways, at the periphery of the neighborhood. Traffic from the proposed development will access Parkhill Avenue and be able to use Walnut Lawn Street, classified as a secondary arterial.
7. The subject property has access to City Utilities infrastructure, and any necessary extension of such services can be provided via City Utilities' extension policy, though new easements may be necessary to accommodate this.
8. There are few changing conditions in the area affected that make the proposed rezoning necessary. Minor development of property within the vicinity has been occurring.
9. The range of uses in the proposed R-TH district is compatible with the uses permitted on other property in the immediate vicinity. Single-family homes are the predominant use in this area. However, this application will allow for the development of the housing stock on the edge of the neighborhood.

## DEVELOPMENT REVIEW STAFF REPORT

10. There are adequate utility and sewer and water facilities existing or can be provided to serve the uses that would be permitted on the property if it were rezoned.
11. The impact of the uses, which would be permitted if the property were rezoned, is not expected to significantly increase the volume of vehicular and pedestrian traffic or reduce traffic safety in the vicinity.
12. The proposed zoning will not correct an error in the application of this article but rather will provide a viable use of the property subject to the provisions of the zoning district.
13. A reasonably viable economic use of the subject property will not be precluded if the proposed rezoning is denied.
14. The proposed rezoning was reviewed by City departments and comments are contained in the staff report (above).
15. The applicant held a neighborhood meeting on January 22, 2026 regarding the rezoning request. A summary of the meeting is attached (Attachment 2).
16. The public notice was advertised in the News-Leader at least 15 days prior to the public hearing. The property was posted by the applicant at least 10 days prior to the public hearing. Public notice letters were sent out at least 10 days prior to the public hearing to all property owners within 185 feet.

### STAFF RECOMMENDATION:

1. Staff recommend approval based on the proposal's general conformance to the Comprehensive Plan's Traditional neighborhood placetype and on the finding of facts above.

### PLANNING AND ZONING OPTIONS:

The planning and zoning commission shall make one of the following recommendations in connection with each proposed change in zoning district classification of this article:

1. Recommend against the proposed change in the zoning district classification.
2. Recommend a change in the zoning district classification.  
Recommend a change in the zoning district classification together with recommendations which, in the judgment of the planning and zoning commission, will protect adjacent property and ensure that the proposed amendment is consistent with the purpose and intent of this article.

**AFFIDAVIT OF NEIGHBORHOOD NOTIFICATION AND MEETING SUMMARY**

1. Request change to zoning from: R-SF to R-Th  
*(existing zoning)* *(proposed zoning)*
2. Meeting Date & Time: January 22, 2026 4:00-6:30 p.m.
3. Meeting Location: The Library Station N Kansas Expressway
4. Number of invitations that were sent: \_\_\_\_\_
5. How the mailing list was generated: City provided
6. Number of neighbors in attendance (attach a sign-in sheet): 1
7. List the verbal comments and how you plan to address any issues:  
(City Council does not expect all the issues to be resolved to the neighborhood's satisfaction; however, the developer must explain why the issues cannot be resolved).

No Issues raised.

8. List or attach the written comments and how you plan to address any issues:

N/A

I, Justin Crighan (*print name*), attest that the neighborhood meeting was held on 1/22/2026 (*month/date/year*), and is at least twenty-one (21) days prior to the Planning and Zoning Commission public hearing and in accordance with the attached "Neighborhood Notification and Meeting Process."

  
*Signature of person completing affidavit*

Justin Crighan, Assistant Director Planning & Development.  
*Printed name of person completing affidavit*

# Neighborhood Meeting

1/22/2026

**NAME**

*Sherry Blair*

**ADDRESS**

*430 E Bob Baker*

NAME	ADDRESS
<i>Sherry Blair</i>	<i>430 E Bob Baker</i>

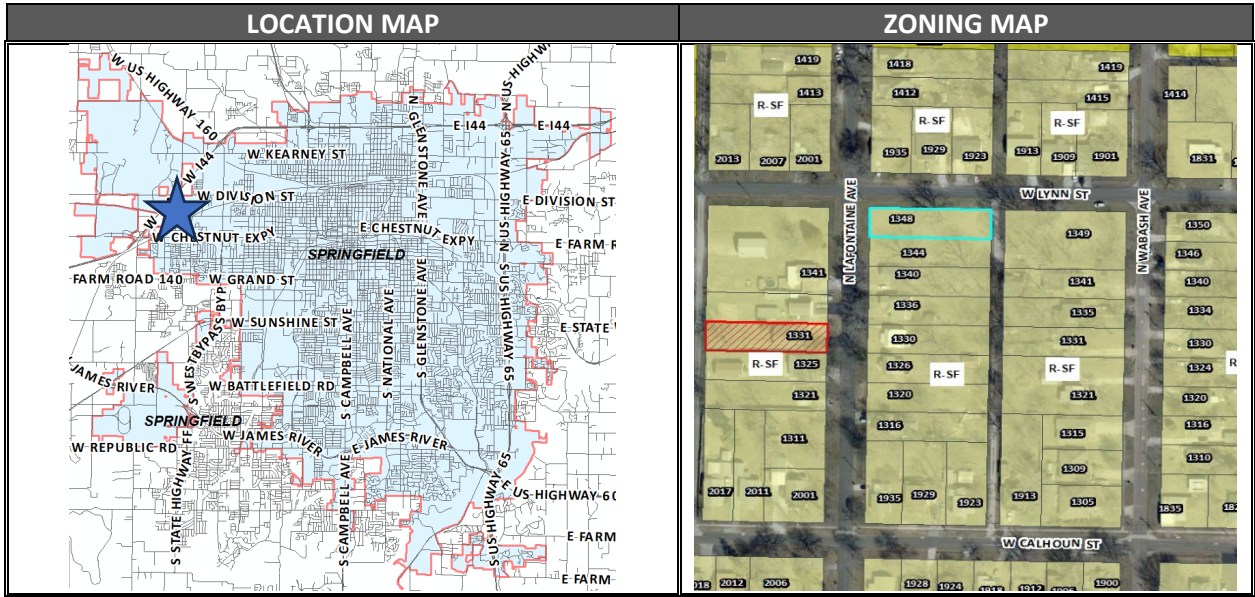
## DEVELOPMENT REVIEW STAFF REPORT

### PROJECT INFORMATION

<b>Case Number:</b>	Z-12-2026
<b>Location:</b>	1348 N. LaFontaine Avenue
<b>Total Acres:</b>	0.21 acres
<b>Applicant:</b>	City of Springfield
<b>Existing Land Use:</b>	Vacant/undeveloped land
<b>Neighborhood Meeting:</b>	January 15, 2026
<b>Planning and Zoning Commission:</b>	February 12, 2026
<b>City Council:</b>	March 9, 2026
<b>Public Notification:</b>	Mail, posted property, and legal in the Springfield News-Leader
<b>Staff:</b>	Justin Crighton, Assistant Director
<b>Staff recommendation:</b>	Staff recommends approval
<b>Proposed motion:</b>	I move to recommend approval of rezoning case Z-12-2026 (All commission motions are made in the affirmative).
<b>Required Vote:</b>	A majority of those present (5 members are a quorum).

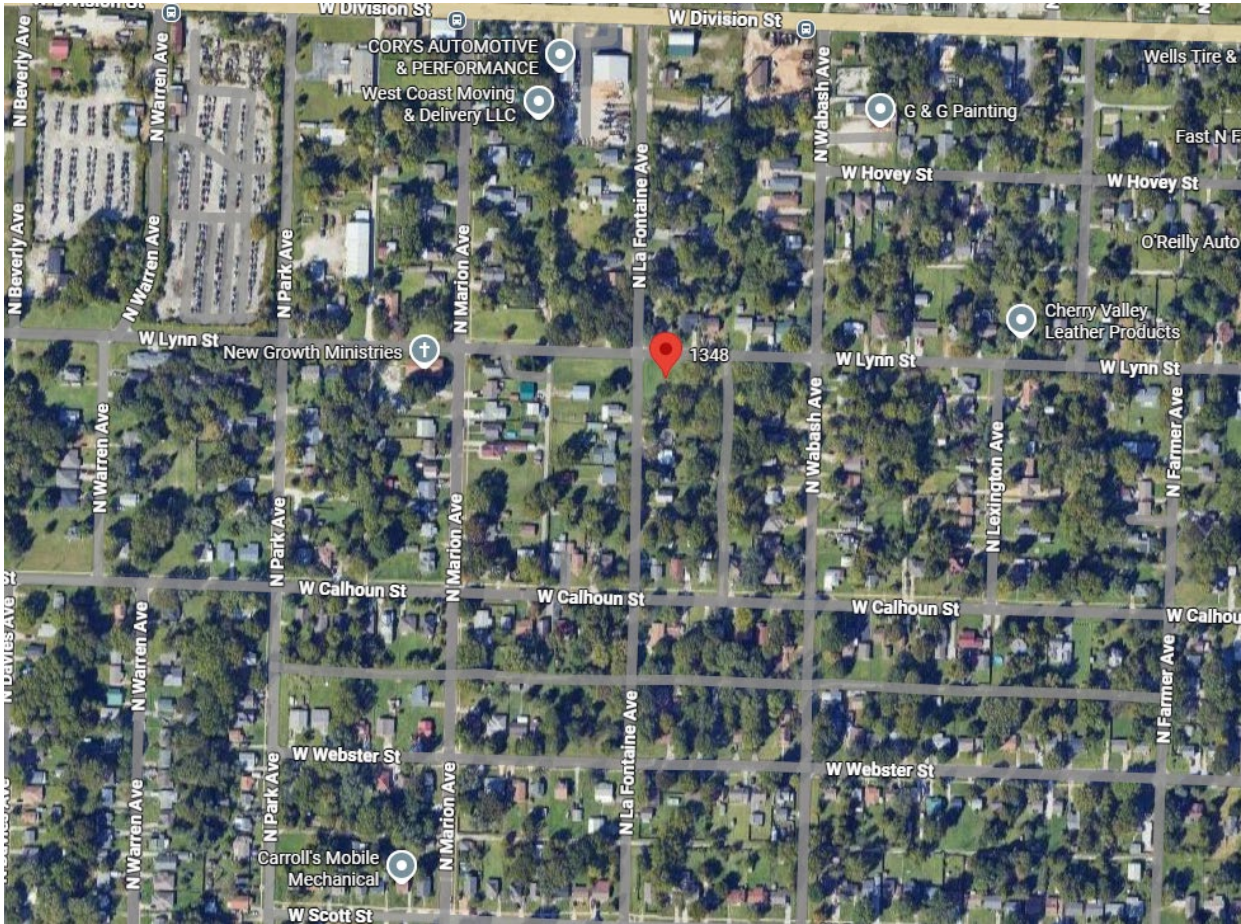
### PROJECT SUMMARY:

Request to rezone approximately 0.21 acre generally located at 1348 N. LaFontaine Avenue from R-SF Residential - Single Family Residential District to R-TH, Residential Townhouse District



## DEVELOPMENT REVIEW STAFF REPORT

### GOOGLE AERIAL OF LANDMARKS, BUSINESSES, AND ATTRACTIONS:



### GOOGLE MAPS STREET VIEW:



**DEVELOPMENT REVIEW STAFF REPORT**

The subject property was zoned R-SF in 1995 city-wide remapping.

**PLANNING AND ZONING COMMISSION AUTHORITY:****Sec. 36-367. – Amendments**

(7) Findings by the commission.

- (a) Rezoning. If the application is for a reclassification of property to a different zoning district classification on the zoning map, the report of the planning and zoning commission may consider:
1. Whether the proposed zoning district classification is consistent with the Springfield Comprehensive Plan;
  2. Whether there are any changed or changing conditions in the area affected that make the proposed rezoning necessary;
  3. Whether the range of uses in the proposed zoning district classification are compatible with the uses permitted on other property in the immediate vicinity;
  4. Whether adequate utility and sewer and water facilities exist or can be provided to serve the uses that would be permitted on the property if it were rezoned;
  5. The impact the uses, which would be permitted if the property were rezoned, will have upon the volume of vehicular and pedestrian traffic and traffic safety in the vicinity;
  6. Whether the proposed rezoning would correct an error in the application of this article as applied to the subject property;
  7. Whether a reasonably viable economic use of the subject property will be precluded if the proposed rezoning is denied; and
  8. Information submitted at the public hearing.

## DEVELOPMENT REVIEW STAFF REPORT

### ZONING ORDINANCE REQUIREMENTS:

CODE ITEM	REQUIREMENTS FOR R-TH DISTRICT
Use Limitations	<ul style="list-style-type: none"> <li>(a) There shall be a separate platted lot of record for each single-family semi-detached or townhouse dwelling unit.</li> <li>(b) All uses shall operate in accordance with the noise standards contained in section 36-485, noise standards.</li> <li>(c) No use shall emit an odor that creates a nuisance as determined by chapter 2A, article X, Springfield City Code.</li> </ul>
Minimum Lot Size	<ul style="list-style-type: none"> <li>1. Single-family detached dwellings and residential group homes: 5,000 square feet.</li> <li>2. Duplexes: 7,500 square feet.</li> <li>(b) <i>Minimum lot width:</i> <ul style="list-style-type: none"> <li>1. Single-family detached and duplex dwellings and residential group homes: 45 feet.</li> <li>2. Townhouses:                             <ul style="list-style-type: none"> <li>a. End lots: 40 feet.</li> <li>b. Interior lots with driveway in front yard: 30 feet.</li> <li>c. Interior lots without driveway in front yard: 24 feet.</li> </ul> </li> <li>3. Single-family semi-detached dwelling units: 30 feet.</li> <li>4. All other uses: 45 feet.</li> </ul> </li> <li>(c) <i>Minimum lot depth:</i> 80 feet.</li> </ul>
Maximum Height	<ul style="list-style-type: none"> <li>1. When side yards are less than 15 feet in width: 35 feet or two and one-half stories above the finished grade.</li> <li>2. When side yards are 15 feet in width or greater: 45 feet or three stories above the finished grade.</li> </ul>
Bulk Plane	None
Minimum Yard Requirements	<ul style="list-style-type: none"> <li>1. <i>Front yard:</i> <ul style="list-style-type: none"> <li>a. Twenty-five feet along a street classified as a collector or higher classification street or as required by section 36-453, supplemental open space, and yard regulations.</li> <li>b. Fifteen feet along a street classified as a local street or as required by section 36-453, supplemental open space, and yard regulations.</li> </ul> </li> <li>2. <i>Side yards:</i> Ten feet on each side of a lot or as required by section 36-453, supplemental open space and yard regulations, provided that no side yard is required for any building that has a common wall on a lot line.</li> <li>3. <i>Rear yards:</i> Ten percent of the lot depth but may not be less than ten feet nor more than 20 feet be required.</li> </ul>

## DEVELOPMENT REVIEW STAFF REPORT

Minimum Open Space	Not less than 20 percent of the total lot area shall be devoted to open space including required yards and bufferyards unless modified in accordance with subsection 36-482(15). Open space shall not include areas covered by buildings, structures, parking, loading and other paved areas and internal streets. Open space shall contain living ground cover and other landscaping materials.
Density Requirements	The maximum density shall be 3,750 square feet per dwelling unit provided the requirements of subsection 36-303(22) are met.
Design Requirements	<ul style="list-style-type: none"> <li>(a) A site plan meeting the requirements of section 36-360, site plan review, shall be submitted and approved.</li> <li>(b) A landscape plan meeting the requirements of section 36-482, landscaping and bufferyards, and 36-483, off-street parking and loading area design standards, shall be submitted, and approved.</li> <li>(c) All off-street parking and vehicular use areas shall be screened from all residential uses in accordance with section 36-480, screening, and fencing.</li> <li>(d) All outdoor storage and refuse storage areas shall be screened from view in accordance with section 36-480, screening, and fencing.</li> <li>(e) Mechanical and electrical equipment, including air conditioning units, shall be screened from view in accordance with section 36-480, screening, and fencing.</li> <li>(f) Lighting shall be designed to reflect away from any adjacent or nearby residential area and in accordance with section 36-484, lighting standards.</li> <li>(g) Accessory buildings and structures shall meet the requirements of section 36-450, accessory structures and uses.</li> </ul>
Buffering and Landscaping	Whenever any development in an R-TH district is located adjacent to a different zoning district, screening and a bufferyard shall be provided in accordance with sections 36-480, screening, and fencing, and 36-482, landscaping and bufferyards.

## DEVELOPMENT REVIEW STAFF REPORT

### COMPATIBILITY WITH COMPREHENSIVE PLAN:

#### PLACETYPE:

The *Comprehensive Plan's Land Use & Development* chapter identifies the north portion of the subject property as the Traditional Neighborhood placetype.

**Center City Neighborhoods** are compact, walkable residential areas located within or immediately adjacent to the city's core. They feature a diverse mix of housing types—including single-family homes, townhomes, duplexes, and low- to mid-intensity multifamily buildings—often on smaller parcels with varied setbacks, lot sizes, and architectural styles. Buildings are oriented to the street and reflect incremental development patterns over time rather than uniform subdivision design. Residential uses are closely integrated with neighborhood-scale commercial, civic, and institutional uses, creating vibrant, mixed-use environments.

Housing types range from historic homes and small apartment buildings to contemporary infill, constructed using a variety of materials and design approaches. Neighborhood parks, plazas, schools, places of worship, and small commercial nodes are embedded throughout Center City Neighborhoods, providing daily services within walking distance. Street networks typically follow a connected grid pattern, with short blocks, sidewalks on both sides of the street, and strong connections to transit routes, trails, and surrounding districts.

Center City Neighborhoods are defined by proximity and access rather than separation. Rather than being isolated from services, residents are connected to employment centers, retail, entertainment, and civic destinations by walking, bicycling, and transit. Planning efforts should reinforce this integration while preserving the established scale and character of existing residential areas.

Planning for Center City Neighborhoods should prioritize complete neighborhood principles, including housing diversity, walkability, access to daily needs, and high-quality public spaces. Public and private reinvestment should support streetscape improvements, street tree planting, enhanced pedestrian and bicycle infrastructure, and improved access to transit and greenway systems. Low- to moderate-intensity multifamily housing, neighborhood commercial, and mixed-use development are appropriate throughout the neighborhood, particularly along corridors, at nodes, and near transit stops.

Preservation of existing residential buildings and patterns should be encouraged, especially where they contribute to historic character or neighborhood identity. Redevelopment and infill should respect surrounding context while allowing for increased density that supports walkability, housing choice, and local services. Higher-intensity development should be concentrated along major streets, near activity centers, and in locations where infrastructure and access can support additional demand.

#### LAND USES

## DEVELOPMENT REVIEW STAFF REPORT

### PRIMARY USES

- A mix of housing types, including single-family detached, single-family attached, duplexes, and low- to mid-intensity multifamily

### SUPPORTING USES

- Neighborhood-scale commercial and mixed-use
- Parks, plazas, greenways, and open space
- Public and private schools, civic buildings, and places of worship
- Small-scale office and live-work uses
- Urban agriculture and community gardens

### CHARACTERISTICS

#### TRANSPORTATION & INFRASTRUCTURE

Streets are designed to prioritize pedestrians, bicyclists, and transit through traffic-calming measures such as narrowed lanes, curb extensions, on-street parking, raised crossings, and landscaped stormwater features.

Best management practices for stormwater management are incorporated into private development and public rights-of-way, including permeable paving, rain gardens, native landscaping, and green infrastructure.

Continuous sidewalks, enhanced crossings, and bicycle facilities connect residences to transit routes, greenways, neighborhood services, and surrounding districts.

On-street parking is encouraged to support local businesses, calm traffic, and accommodate residents and visitors.

Alleys, where present, provide access to parking, service functions, and accessory uses while supporting pedestrian connectivity.

Sense of place is reinforced through streetscape design, public art, historic preservation, neighborhood signage, and coordinated public improvements.

As feasible, utilities are buried or consolidated to reduce visual clutter and improve streetscape quality.

#### URBAN DESIGN – BUILDING AND SITE TYPOLOGY

Buildings are oriented to the street with primary entrances facing sidewalks or public spaces.

Adaptive reuse of historic structures, including schools and surplus buildings, is strongly encouraged.

Residential buildings may be adapted for neighborhood-scale commercial or civic uses, particularly at corners, nodes, and along corridors.

Infill development complements the scale, massing, and rhythm of existing buildings while allowing for contemporary architectural expression.

Parking is located to the side or rear of buildings when feasible and is designed to minimize visual impact on the street.

#### CENTER CITY NEIGHBORHOOD FORM

Blocks are short and highly connected, supporting walkability and multiple travel options.

Lots and setbacks vary, reflecting historic development patterns rather than uniform subdivision design.

Garages are de-emphasized along primary streets and may be accessed from alleys or

## DEVELOPMENT REVIEW STAFF REPORT

secondary streets where possible.  
 Shared driveways, reduced parking requirements, and on-street parking are used to support compact development.  
 Neighborhoods evolve incrementally over time, allowing for reinvestment, infill, and adaptive reuse.

### TRANSITIONS

A gradual transition of scale and intensity is used between higher-intensity corridors or activity centers and lower-intensity residential areas.  
 Building height, massing, setbacks, and design elements are used to ensure compatibility between differing uses and housing types.  
 New development should respect established neighborhood character while supporting increased density in appropriate locations that enhance walkability and access to services.

### FUTURE PLACETYPE MAP:



# DEVELOPMENT REVIEW STAFF REPORT

PLACETYPES	LAND USES															
	Single Family Detached	Single Family Attached	Multi-family	Parks & Open Space	Sports Complexes & Recreational Facilities	Office, Hospitality, Retail Sales & Service	Neighborhood Commercial	Maker, Artisan & Innovation Spaces	Public & Private Schools & Places of Worship	Universities, Colleges & Vocational Schools	Government, Health Care & Institutional Facilities	Personal Storage, Outdoor Sales & Service	Light Industry	Warehousing & Distribution Facilities	Heavy Industry & Manufacturing	Airport, Railroad & Freight Facilities
Residential Neighborhood	●	○	◇	○	○	○	○	○	○	○	○	○	○	○	○	○
Mixed Residential	●	●	○	○	○	○	○	○	○	○	○	○	○	○	○	○
Downtown	○	○	○	○	○	○	○	○	○	○	○	○	○	○	○	○
Mixed-Use	○	○	○	○	○	○	○	○	○	○	○	○	○	○	○	○
City Corridor	○	○	○	○	○	○	○	○	○	○	○	○	○	○	○	○
Institutional & Employment Center	○	○	○	○	○	○	○	○	○	○	○	○	○	○	○	○
Business Flex	○	○	○	○	○	○	○	○	○	○	○	○	○	○	○	○
Industry & Logistics	○	○	○	○	○	○	○	○	○	○	○	○	○	○	○	○
Urban Green Space & Recreation	○	○	○	○	○	○	○	○	○	○	○	○	○	○	○	○

● **Primary Land Use:** More prominent and play a pivotal role in characterizing that placetype

○ **Supporting Land Use:** Less prevalent and serve to support the primary land use.

◇ **Low Intensity Supporting Land Use:** Less prevalent and serve to support the primary use at neighborhood scale

## MAJOR THOROUGHFARE MAP:



**DEVELOPMENT REVIEW STAFF REPORT**

**SURROUNDING ZONING, LAND USES AND PLACETYPES:**

	NORTH	SOUTH	EAST	WEST
ZONING	R-SF	R-SF	R-SF	R-SF
LAND USE	Single-family residence	Single-family residence	Single-family residence	Single-family residence
PLACETYPES	Center City Neighborhood	Center City Neighborhood	Center City Neighborhood	Center City Neighborhood

**DEPARTMENT OF BUILDING DEVELOPMENT SERVICES:**

No comments.

**CITY UTILITIES:**

No issues

**DEPARTMENT OF ENVIRONMENTAL SERVICES WASTEWATER MANAGEMENT DIVISION:**

No objections to the rezoning. Public sewer and a service lateral are available.

**FIRE DEPARTMENT:**

No objections to rezoning. Fire hydrant is required within 400 feet around the exterior portions of the building from the fire apparatus access lane measured along apparatus travel route per 2018 IFC Section 507.5.1 (Increases to 600 feet if building is protected by a fire sprinkler system.)

**DEPARTMENT OF PUBLIC WORKS TRAFFIC ENGINEERING DIVISION:**

No objections to rezoning.

**DEPARTMENT OF PUBLIC WORKS STORMWATER ENGINEERING DIVISION:**

No objections to rezoning.

## DEVELOPMENT REVIEW STAFF REPORT

### STAFF ANALYSIS AND RECOMMENDATION:

1. The applicant is requesting rezone approximately 0.21 acre generally located at 1349 N. Wabash Avenue from R-SF Residential - Single Family Residential District to R-TH , Residential Townhouse District.
2. The applicant has no plans for construction at this time.
3. Single-family attached and low-intensity multifamily is listed as a supporting use in the Center City Neighborhood placetype.
4. This application is consistent with the *Comprehensive Plan's Housing and Neighborhoods* chapter which encourages creative housing solutions to add housing diversity and support downsizing households, young professionals, and aging-in-place. The *Plan* encourages the use of “missing middle” housing types. Missing middle housing sits in the middle of the development spectrum between single-family homes and mid-rise to high-rise apartment buildings. These housing types should be integrated into Springfield’s existing neighborhoods to increase housing diversity and provide a wider, more equitable range of housing choices.
5. Missing middle housing types provide opportunities for the City to increase the diversity of its housing stock through moderate increases in density, while maintaining the neighborhood character Springfield residents cherish. They range from low density duplexes to mid density multiplexes and triplexes, which can be integrated into the City’s housing mix by using single-family lots to accommodate two to three units in a context-sensitive manner.
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8. There are few changing conditions in the area affected that make the proposed rezoning necessary. Minor development of property within the vicinity has been occurring.
9. The range of uses in the proposed R-TH district is compatible with the uses permitted on other property in the immediate vicinity. Single-family homes are the predominant use in this area. However, this application will allow for the development of the housing stock on the edge of the neighborhood.

## DEVELOPMENT REVIEW STAFF REPORT

10. There are adequate utility and sewer and water facilities existing or can be provided to serve the uses that would be permitted on the property if it were rezoned.
11. The impact of the uses, which would be permitted if the property were rezoned, is not expected to significantly increase the volume of vehicular and pedestrian traffic or reduce traffic safety in the vicinity.
12. The proposed zoning will not correct an error in the application of this article but rather will provide a viable use of the property subject to the provisions of the zoning district.
13. A reasonably viable economic use of the subject property will not be precluded if the proposed rezoning is denied.
14. The proposed rezoning was reviewed by City departments and comments are contained in the staff report (above).
15. The applicant held a neighborhood meeting on January 22, 2026, regarding the rezoning request. A summary of the meeting is attached (Attachment 2).
16. The public notice was advertised in the News-Leader at least 15 days prior to the public hearing. The property was posted by the applicant at least 10 days prior to the public hearing. Public notice letters were sent out at least 10 days prior to the public hearing to all property owners within 185 feet.

### STAFF RECOMMENDATION:

1. Staff recommend approval based on the proposal's general conformance to the Comprehensive Plan's Traditional neighborhood placetype and on the finding of facts above.

### PLANNING AND ZONING OPTIONS:

The planning and zoning commission shall make one of the following recommendations in connection with each proposed change in zoning district classification of this article:

1. Recommend against the proposed change in the zoning district classification.
2. Recommend a change in the zoning district classification.  
Recommend a change in the zoning district classification together with recommendations which, in the judgment of the planning and zoning commission, will protect adjacent property and ensure that the proposed amendment is consistent with the purpose and intent of this article.

**AFFIDAVIT OF NEIGHBORHOOD NOTIFICATION AND MEETING SUMMARY**

1. Request change to zoning from: R-SF to R-Th  
*(existing zoning)* *(proposed zoning)*
2. Meeting Date & Time: January 22, 2026 4:00-6:30 p.m.
3. Meeting Location: The Library Station N Kansas Expressway
4. Number of invitations that were sent: \_\_\_\_\_
5. How the mailing list was generated: City provided
6. Number of neighbors in attendance (attach a sign-in sheet): 1
7. List the verbal comments and how you plan to address any issues:  
(City Council does not expect all the issues to be resolved to the neighborhood's satisfaction; however, the developer must explain why the issues cannot be resolved).

No Issues raised.

8. List or attach the written comments and how you plan to address any issues:

N/A

I, Justin Crighon (*print name*), attest that the neighborhood meeting was held on 1/22/2026 (*month/date/year*), and is at least twenty-one (21) days prior to the Planning and Zoning Commission public hearing and in accordance with the attached "Neighborhood Notification and Meeting Process."

  
*Signature of person completing affidavit*

Justin Crighon, Assistant Director Planning & Development.  
*Printed name of person completing affidavit*

